



Planning & Development Division
Planning & Economic Development Department

Room 160
411 West First Street
Duluth, Minnesota 55802



218-730-5580



planning@duluthmn.gov

TO:

Joe Miller, Duluth Parks
Jim Filby Williams, Public Administration
Jim Benning, Duluth Public Works & Utilities
Tom Johnson, Duluth Project Engineer
Chris Kleist, Duluth Utility Operations
Cindy Voigt, Duluth City Engineer
Howard Smith, Chief Engineer of Utilities
Greg Guerro, Duluth Utility Ops Mngr
Peggy Billings, Engineering Technician
Bill Bergstrom, Engineering Technician
Cari Pedersen, Chief Engineer of Transportation
Andy Swanson, Duluth Utility Operations
Ryan Granlund, Duluth Utility Programs Coordinator
Shawn Krizaj, Duluth Fire Chief
Lisa Consie, Fire Marshal
Mike Ceynowa, Duluth Police
Mark Bauer, Duluth Parking
Jim Shoberg, Duluth Parks
Jessica Peterson, Duluth Parks
Cliff Bentley, MnDNR
John Hinzmann, MnDOT
Jim Miles, MnDOT
Clark Christensen, City of Duluth Forester
Ron Chika, MIC
Duncan Schwensohn, Duluth Public Works & Utilities
Patricia Fowler, DNR Liaison
Jason Mozol, Duluth Planning & Development
Patrick F. Loomis, Duluth Engineering

Brandon Kohlts, WLSSD
Jim Foldesi, St Louis Co. Pub. Works
Stacy Caldwell Melcher, SLC County Land Dept.
Jill Helmer, Minnesota Power
Dean Dulinski, Minnesota Power
Sue Larkin, Lumen
Joe Kutter, CenturyLink/Lumen
Michael Coughlin, CenturyLink/Lumen
Darren Kitchak, Charter Spectrum
Chad Lawrence, Charter Spectrum
James Gittemeier, Planning & Development
Ben VanTassel, Planning and Economic Development Director
Anne Sims, SLC Assessor's Office
Steven Robertson, Duluth Construction Services
Blake Nelson, Building Inspector, CSI
Armella Bijold, Construction Services
Ryan Pervenance, Planning & Development
Suzanne Kelley, Planning & Development
Jenn Reed Moses, Planning & Development
Kyle Deming, Planning & Development
Chris Lee, Planning & Development
Chris Belden, DTA
Cliff Knettel, Duluth Parks

DATE: April 18, 2025

SUBJECT: Planning Commission Meeting Agenda Items for **May 13, 2025**

The Duluth City Planning Commission has received **22** new application(s) for review. Please review the technical aspects and desirability of the proposals and provide comments at your earliest convenience. **Note that City of Duluth reviewers with access to EPL can view the applications there as well, by searching the project number under "Manage Plans"**

- PLIUP-2503-0017** Interim Use Permit for Vacation Dwelling Unit at 1004 S Lake Ave by Southbridge Properties LLC
PLIUP-2503-0018 Interim Use Permit for Vacation Dwelling Unit at 1235 Minnesota Ave by Lake View Land CO LLC
PLIUP-2503-0015 Interim Use Permit for Vacation Dwelling Unit at 10 Industrial Ave by Nancy Nilsen
PLIUP-2503-0020 Interim Use Permit for Vacation Dwelling Unit at 1210 S Lake Ave by Steven Pitschka
PLIUP-2503-0021 Interim Use Permit for Vacation Dwelling Unit at 1535 S Lake Ave by Steven Pitschka
PLIUP-2503-0022 Interim Use Permit for Vacation Dwelling Unit at 13402 W 3rd St by Matthew Evingson
PLIUP-2504-0023 Interim Use Permit for Laundromat and Multifamily Dwelling (Adaptive Reuse) at 2403 W 6th St by Festies INC
PLIUP-2504-0024 Interim Use Permit for Vacation Dwelling Unit at 215 N 1st Ave E by Saturday Zenith LLC
PLIUP-2504-0025 Interim Use Permit for Vacation Dwelling Unit at 702 S Lake Ave by Jeffrey Huotari
PLSUP-2412-0029 Special Use Permit for Automobile Service at 421 Anderson Rd by The Jigsaw LLC
PLSUP-2412-0030 Special Use Permit for Restaurant at 421 Anderson Rd by The Jigsaw LLC

PLSUP-2502-0018 Special Use Permit for Wireless Facility at 1602 London Rd by Mastec Network Solutions
PLSUP-2503-0043 Special Use Permit for Bed & Breakfast at 5820 London Rd by Marius & Meredith Anderson
PLSUP-2504-0049 Special Use Permit for Daycare at 404 E 5th St by St Mary's Medical Center
PLSUP-2504-0052 Special Use Permit for Personal Service and Repair, Small at 2517 W 1ST ST by Lara Hill
PLCUP-2503-0001 Concurrent Use Permit for Skybridge at 333 E Superior St by Lakeview Properties LLC
PLSUB-2504-0005 Minor Subdivision at 930 Swan Lake Rd by Alvin Berg
PLSUB-2501-0001 Minor Subdivision at 421 Anderson Rd by The Jigsaw LLC
PLUMA-2503-0002 UDC Map Amendment from MU-B to R-1 near 46th Ave E and Regent St by Jason Kleiman
PLVAC-2502-0002 Vacation of Street near 625 125th Ave W by Mistica Blazevic
PLVAC-2504-0003 Vacation of Easement near 230 W 3rd St by Center City Housing Corp
PLUTA-2503-0001 UDC Text Amendment to Trash Enclosure Screening

We appreciate your time and input. If you have any questions, comment or need additional background information, please feel free to call me at 218-730-5326 or e-mail me at nlavenstein@duluthmn.gov. Thank you!

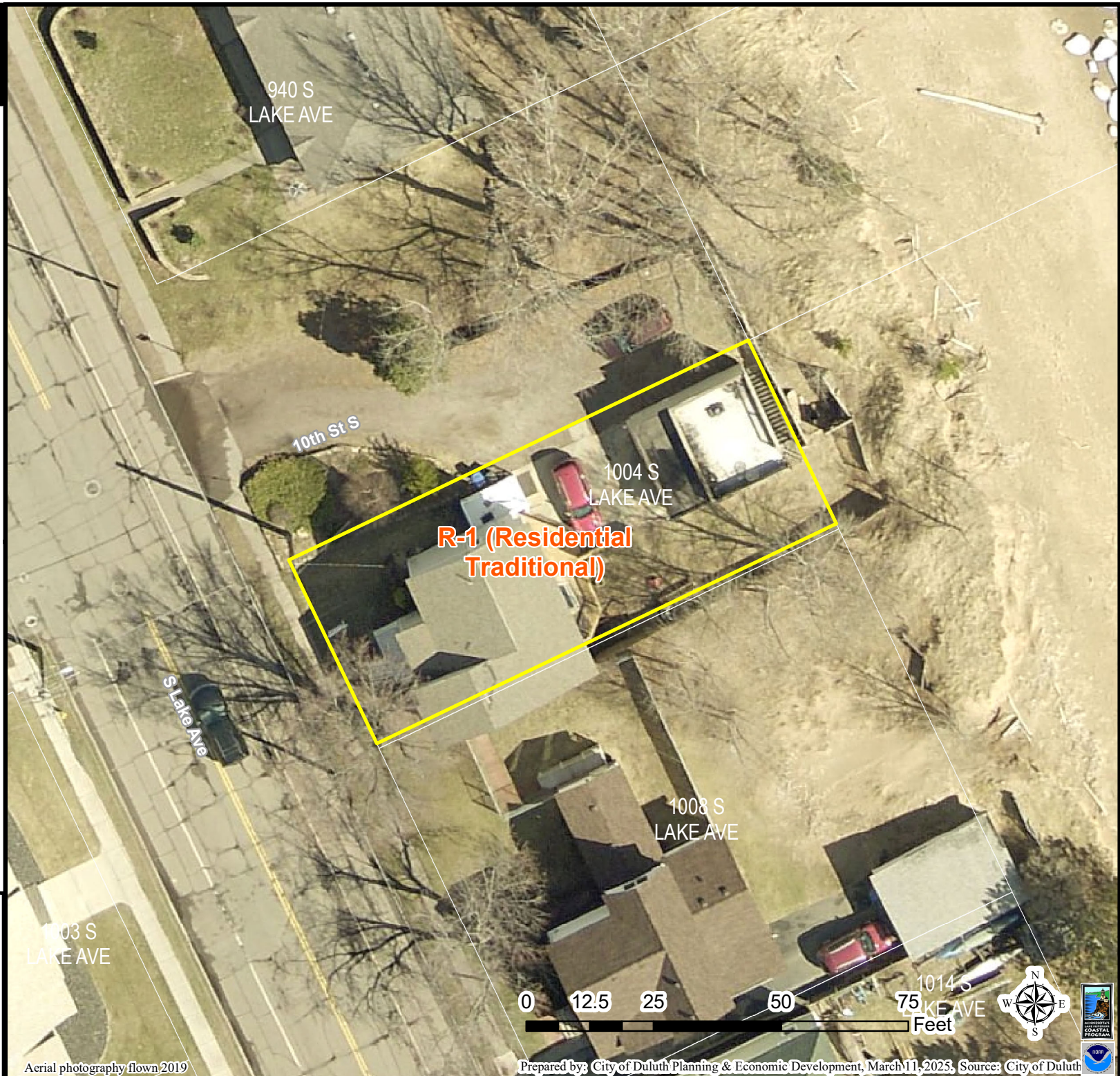
Natalie Lavenstein, Planner I



PLIUP-2503-0017
Interim Use Permit - Renewal
1004 S Lake Ave

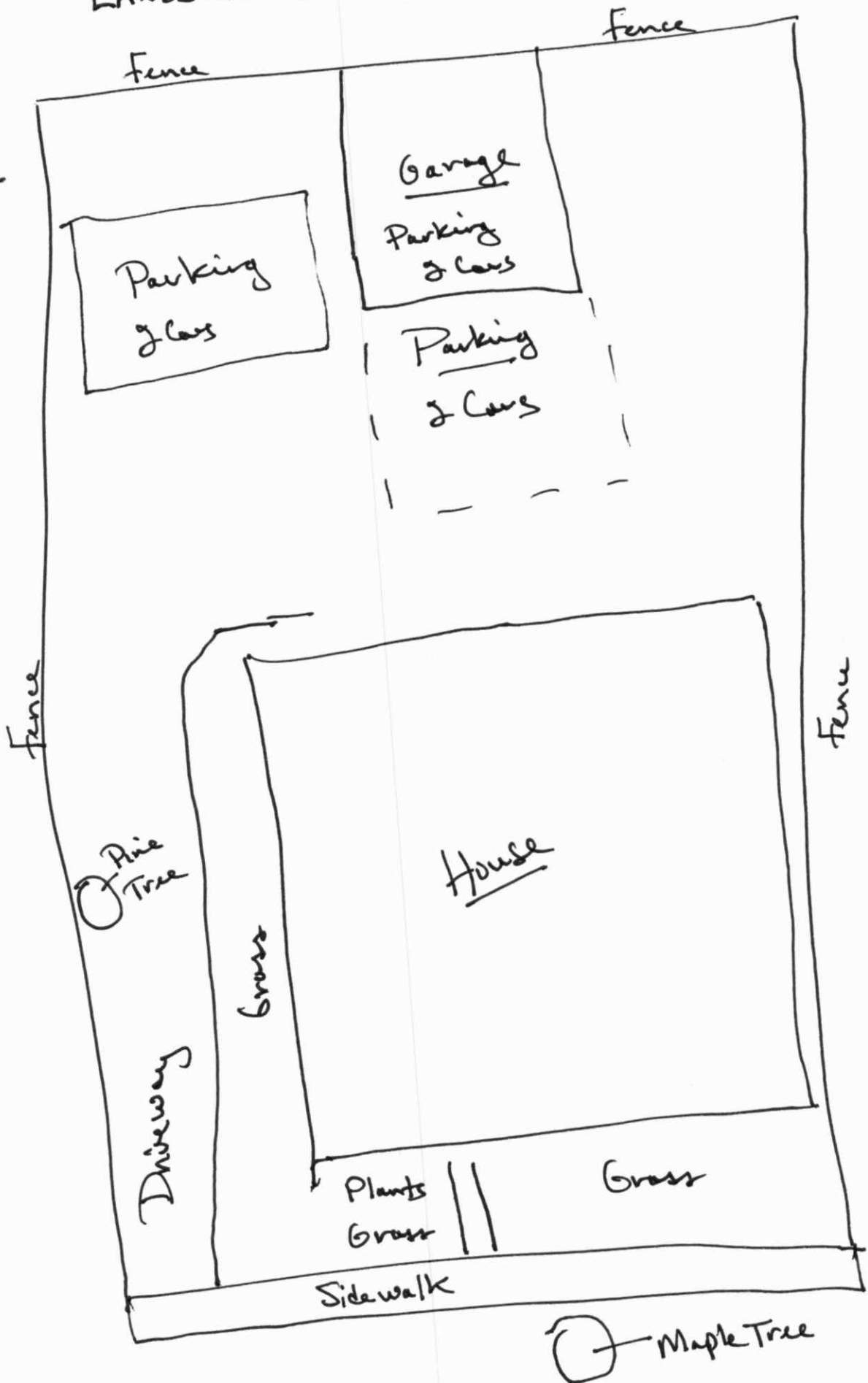
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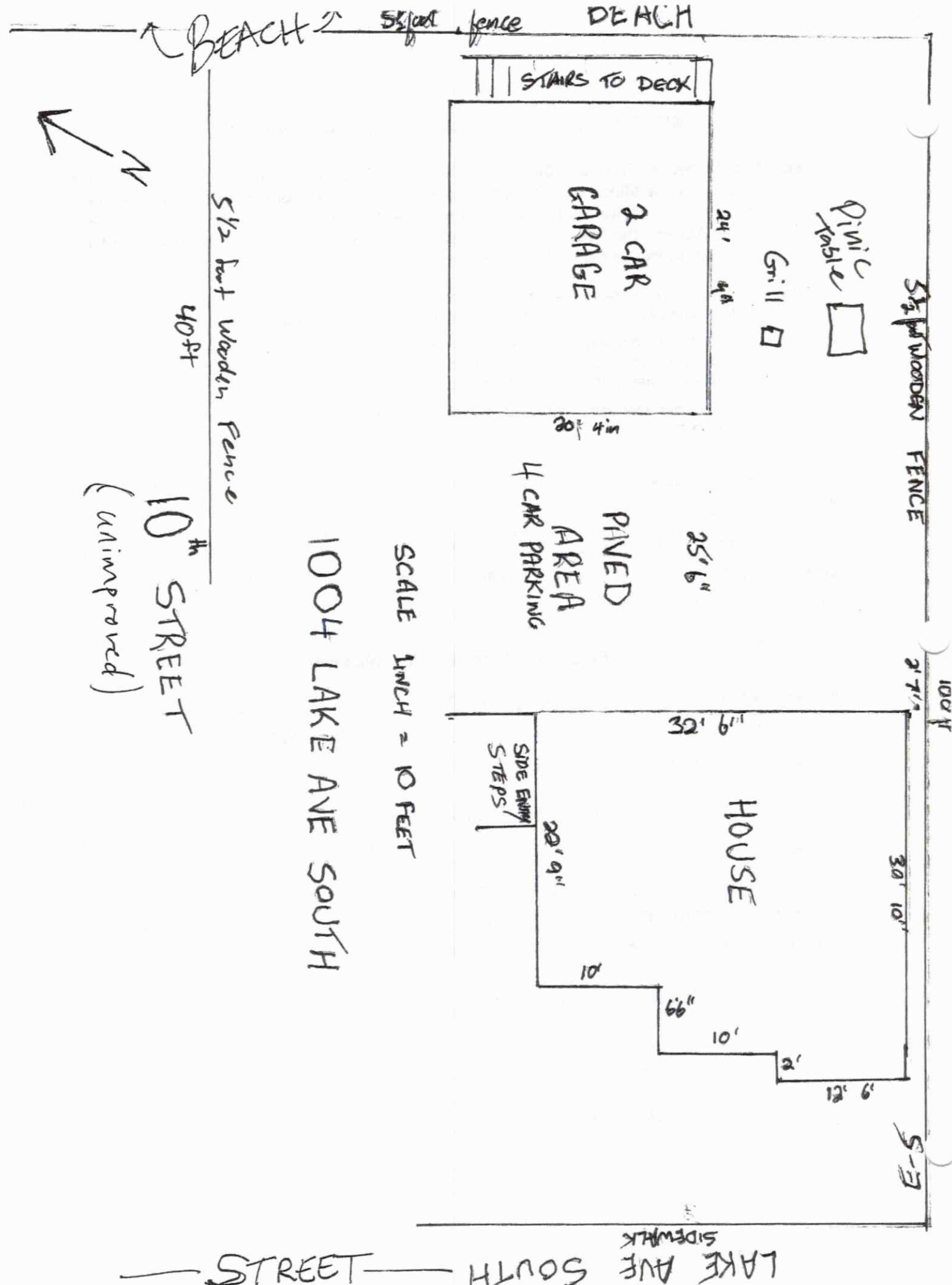
Aerial photography flown 2019



LANDSCAPE & PARKING PLAN

Only 2 Trees
on our
Property





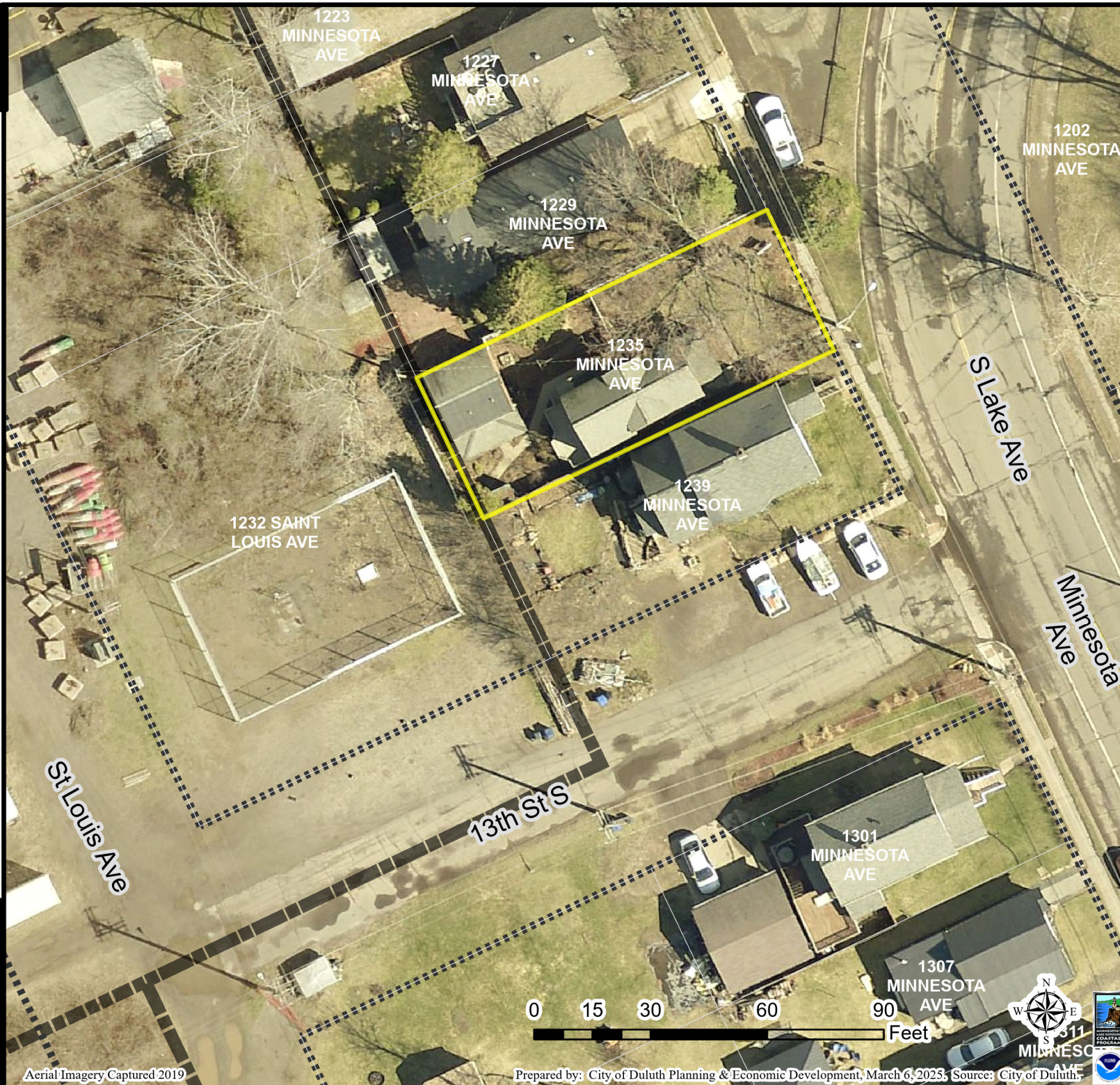


PLIUP-2503-0018

Interim Use Permit
1235½ Minnesota Ave

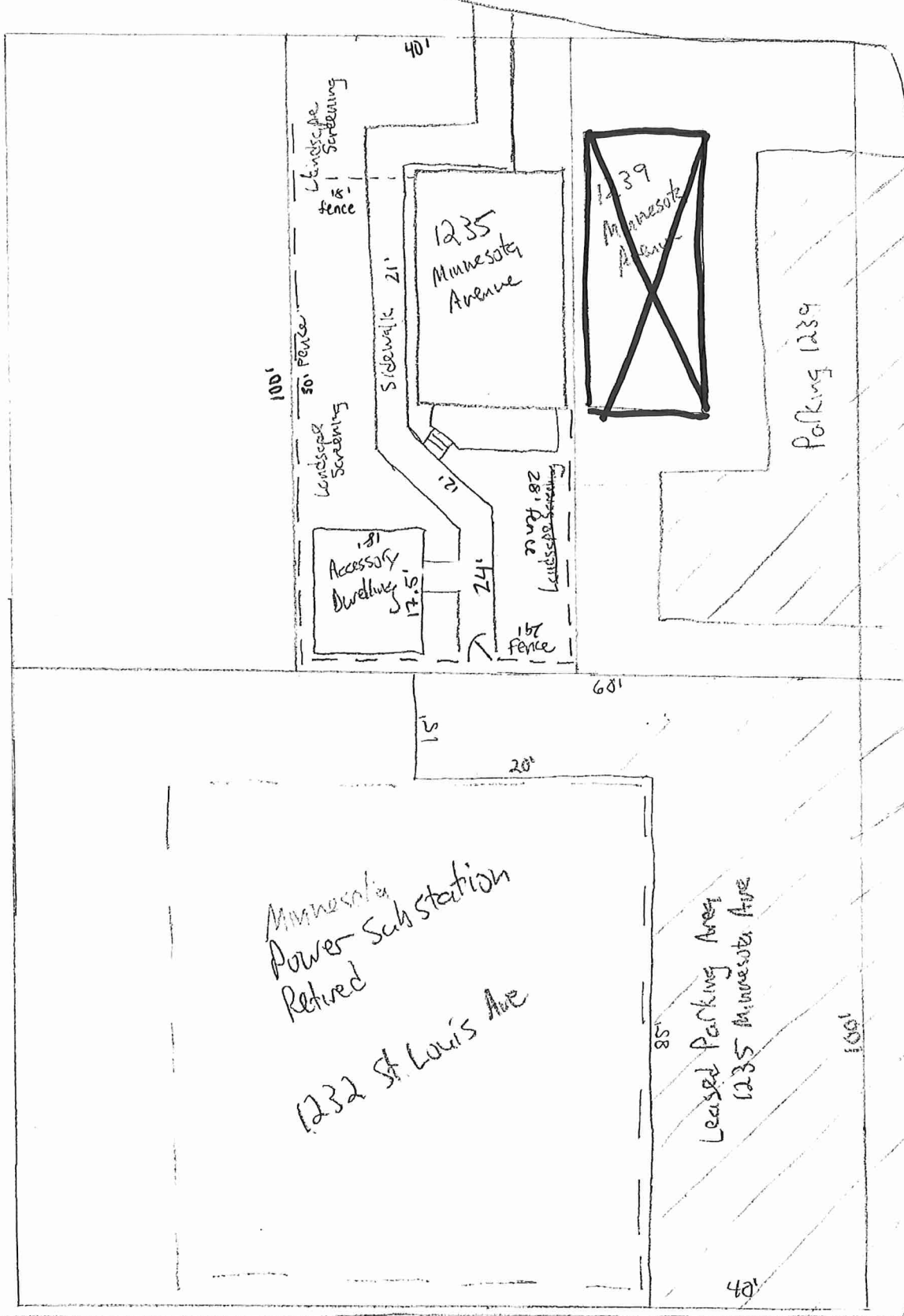
Legend

- Zoning Boundaries
- Road or Alley ROW
- County Parcel Data



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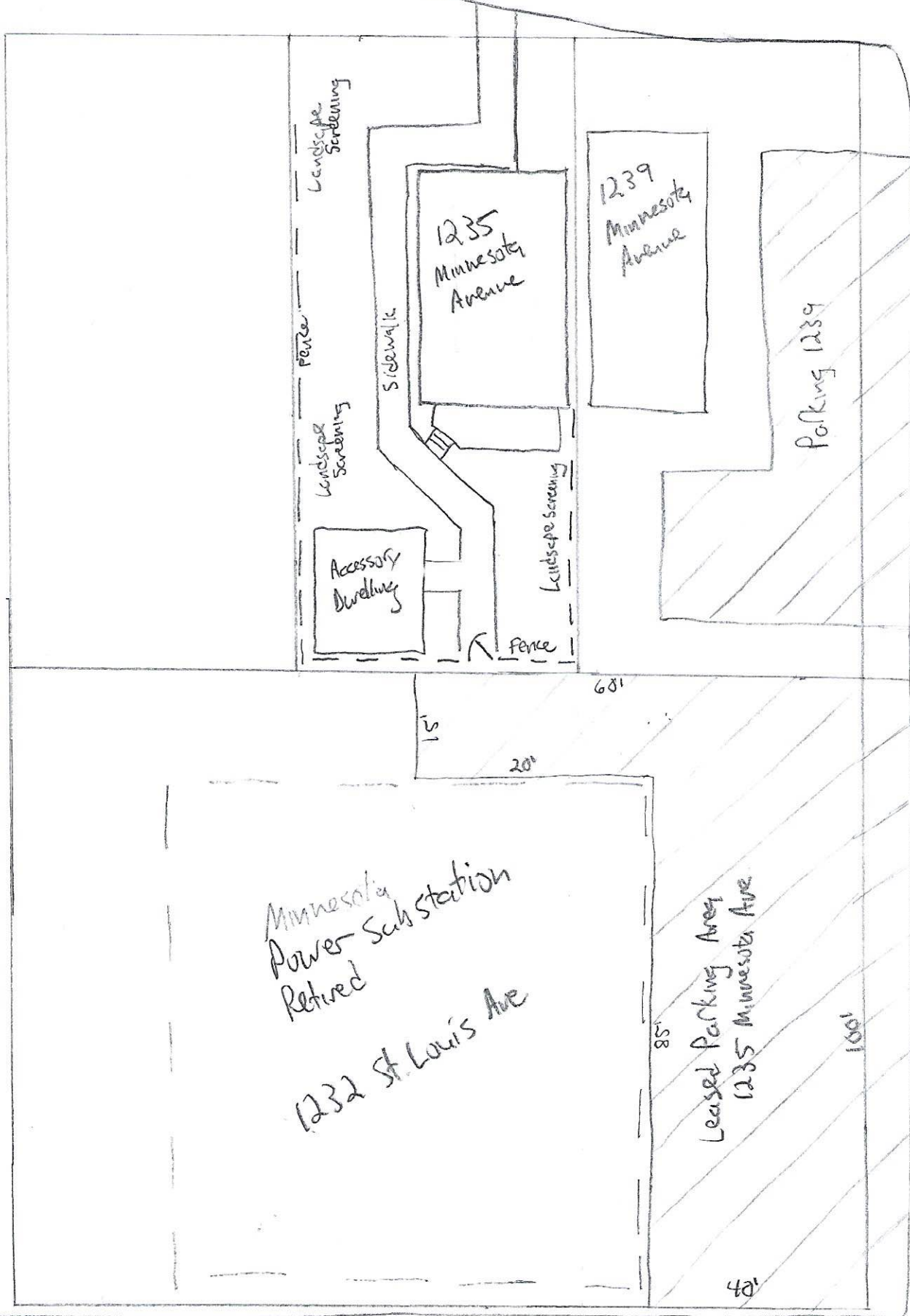
Minnesota Avenue



13th Street

St. Louis Ave

Minnesota Avenue



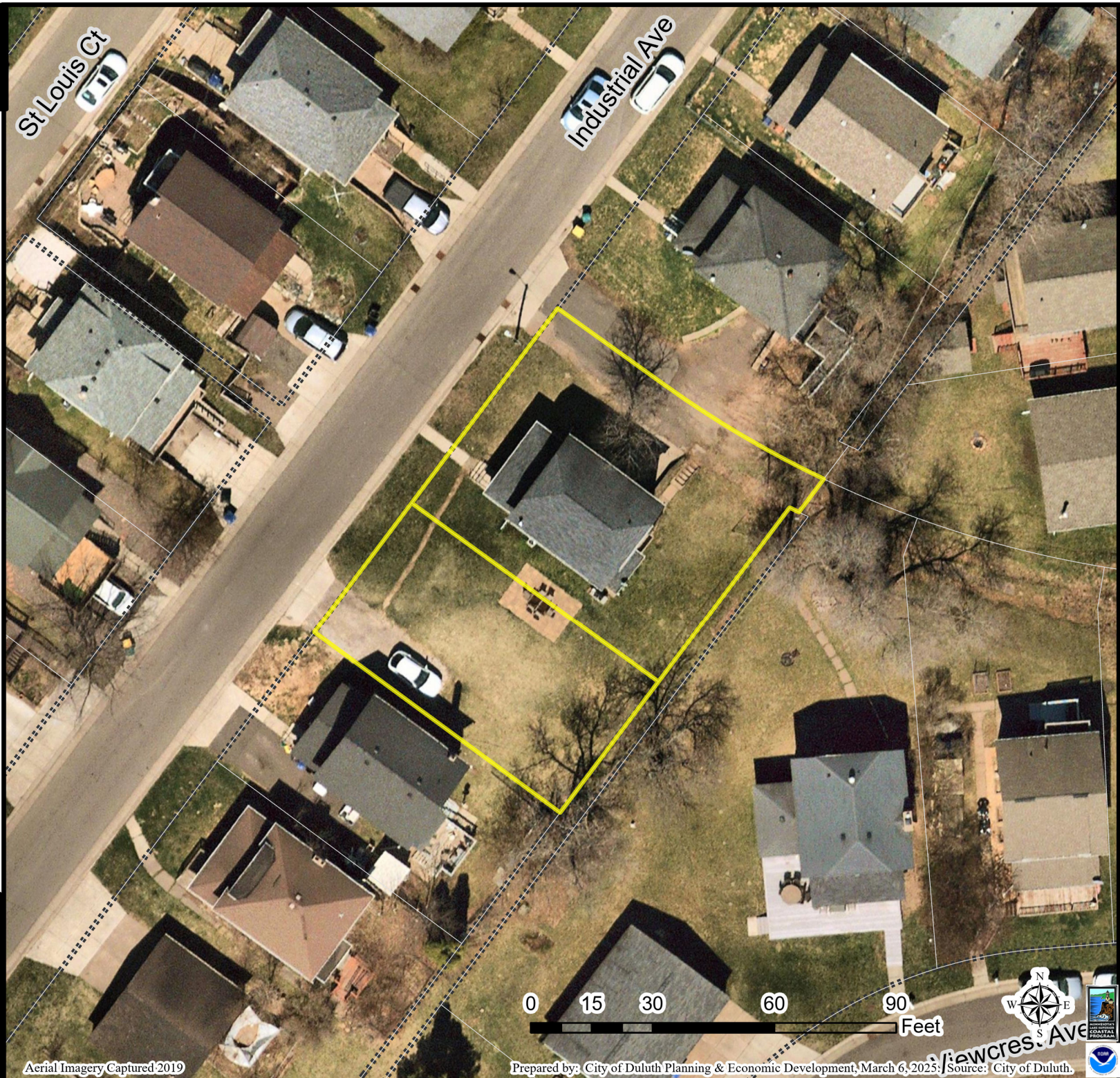
13th Street

St. Louis Ave



PLIUP-2503-0015

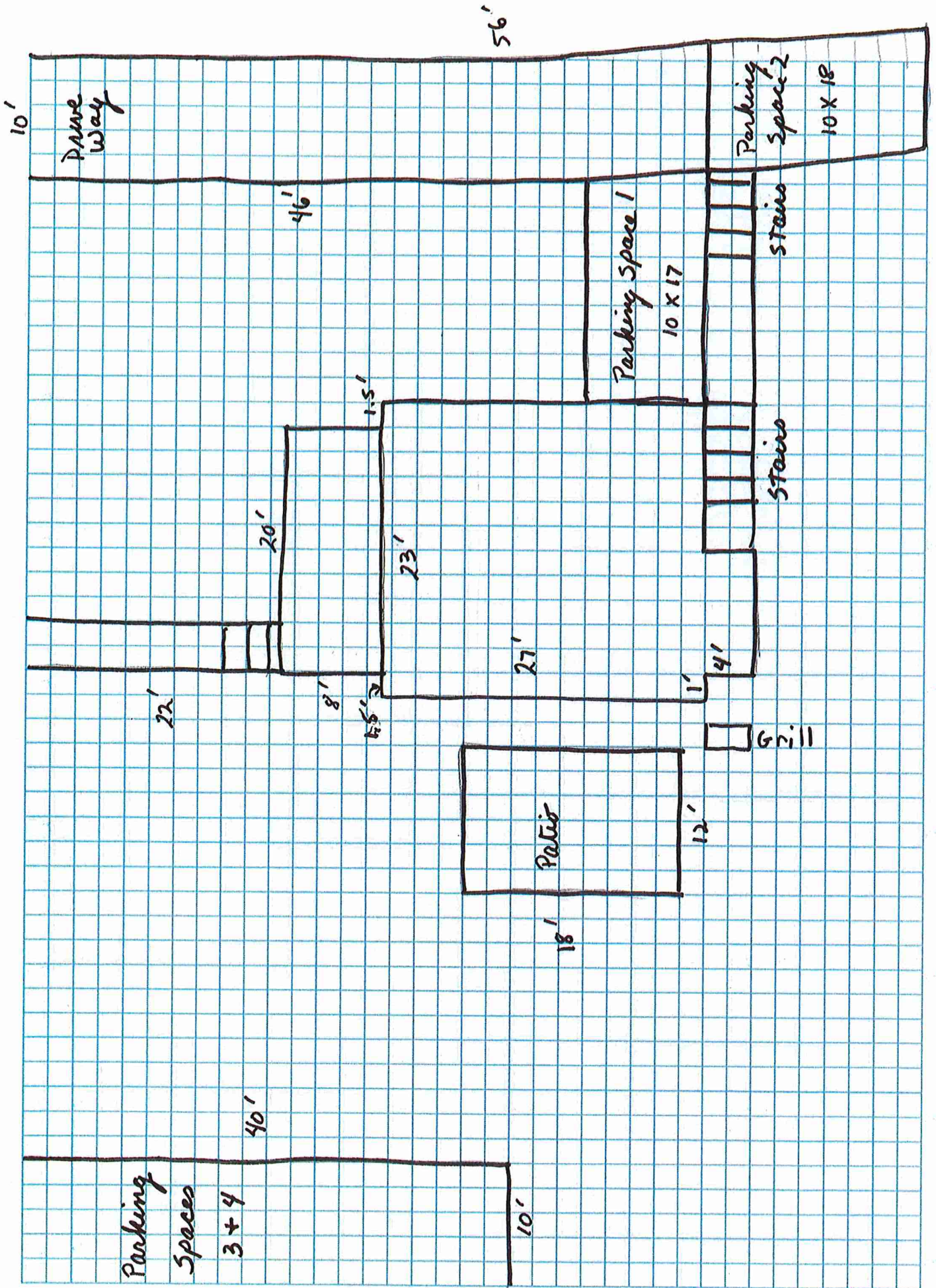
Interim Use Permit
10 Industrial Ave



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Aerial Imagery Captured 2019

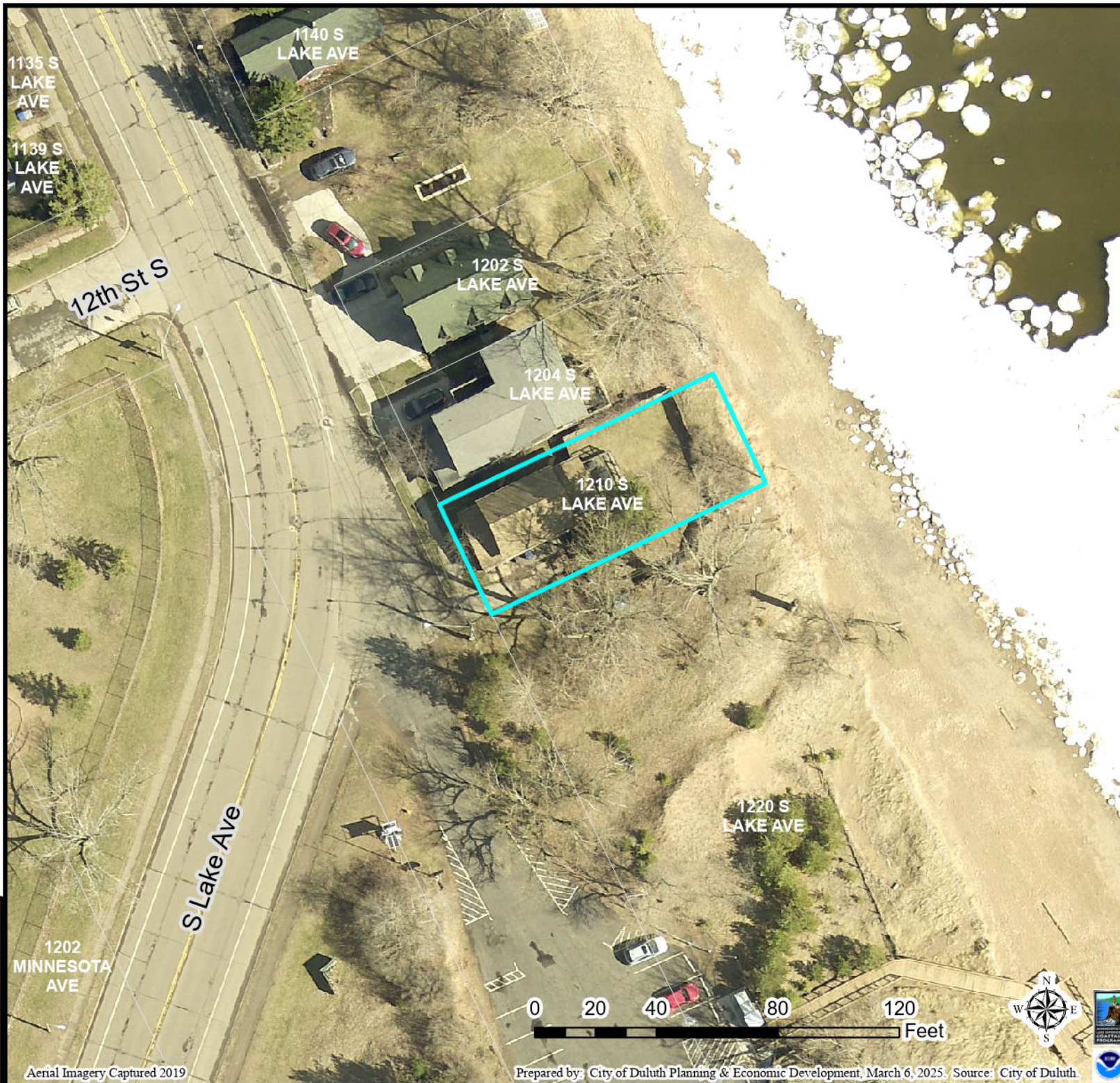
Prepared by: City of Duluth Planning & Economic Development, March 6, 2025; Source: City of Duluth.





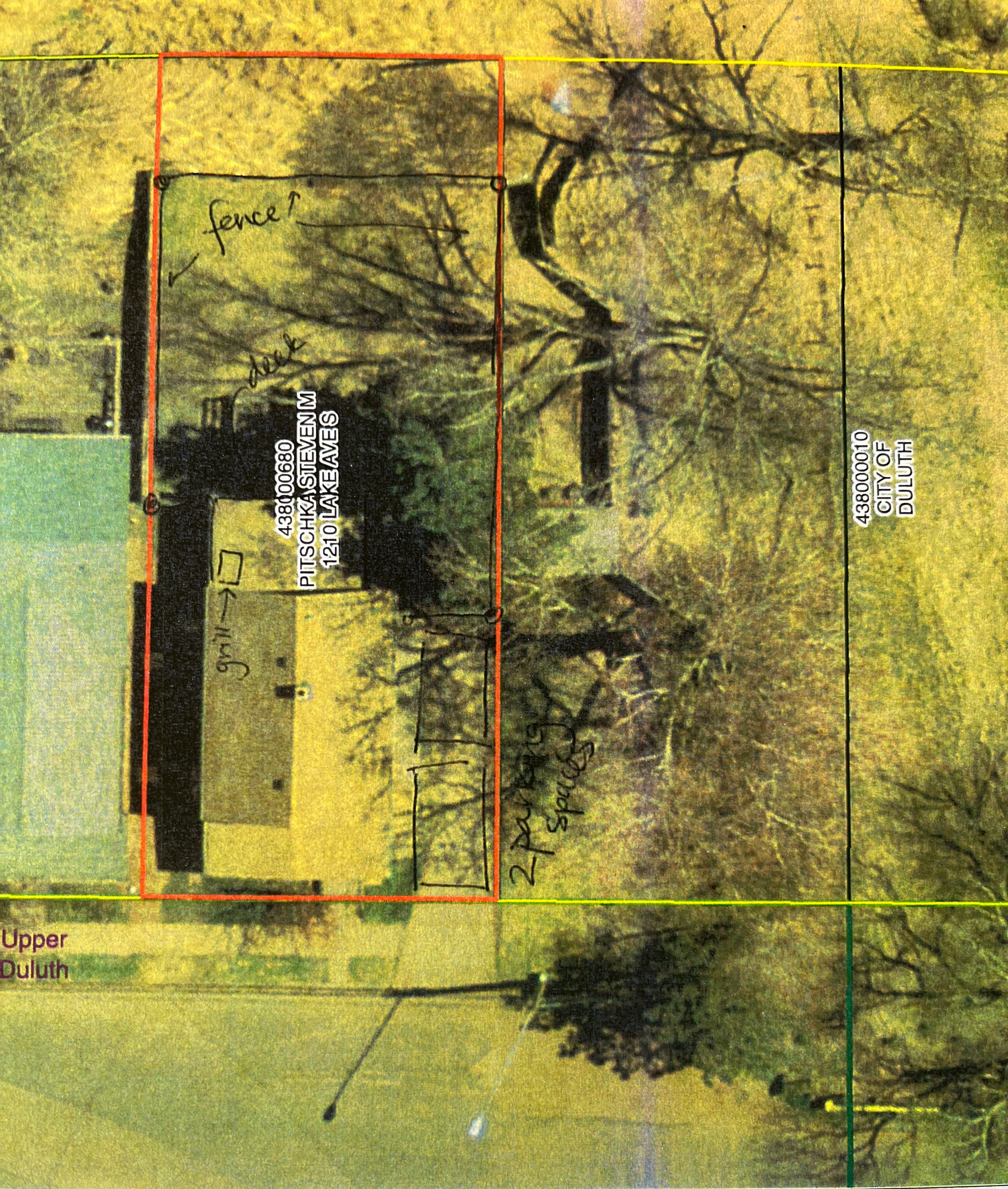
PLIUP-2503-0020

Interim Use Permit
1210 S Lake Ave

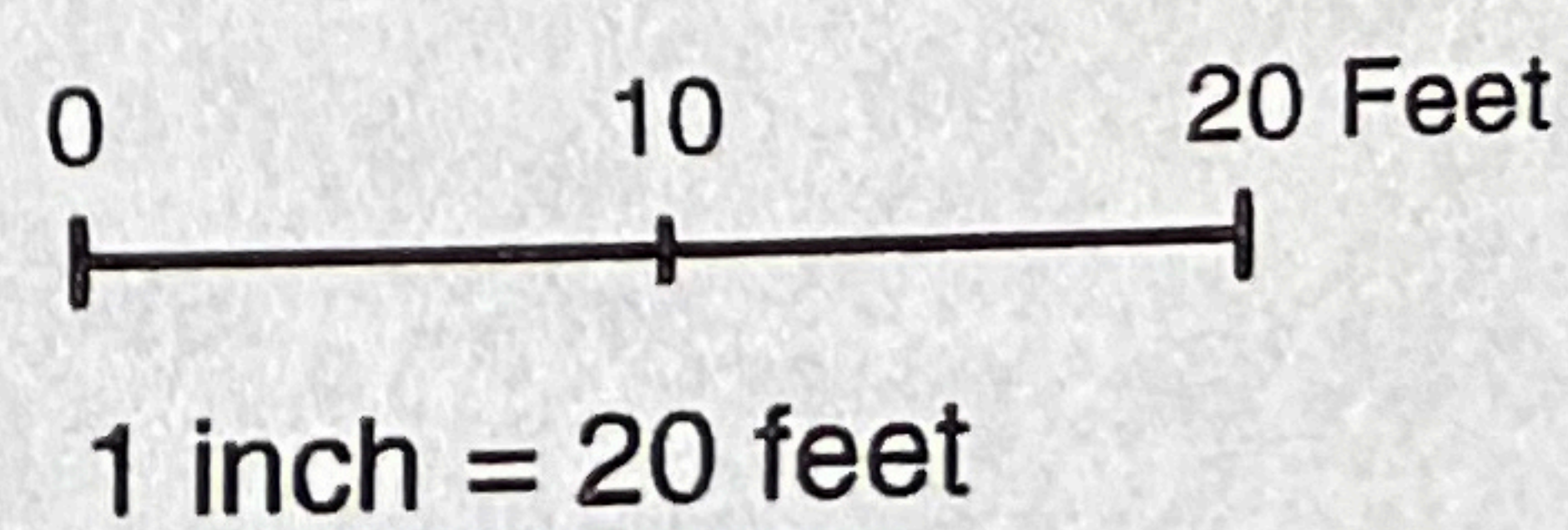
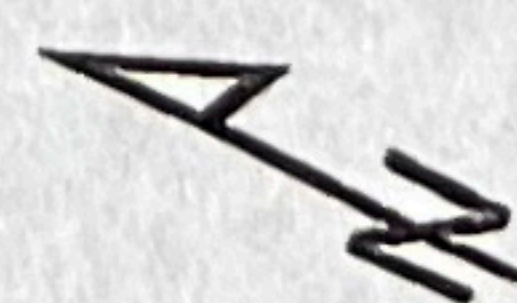


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Duluth GIS Mapping





PLIUP-2503-0021

Interim Use Permit
1535 S Lake Ave



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Aerial Imagery Captured 2019

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1531 S LAKE AVE

63

439000330
DARTANKAN, ALI

gall

438001530
PITSCHKA STEVEN
1535 S LAKE AVE

Upper
Duluth

Deck

← bushes

deck

fence

2 parking
spaces

16th St S

Upper
Duluth

9-9



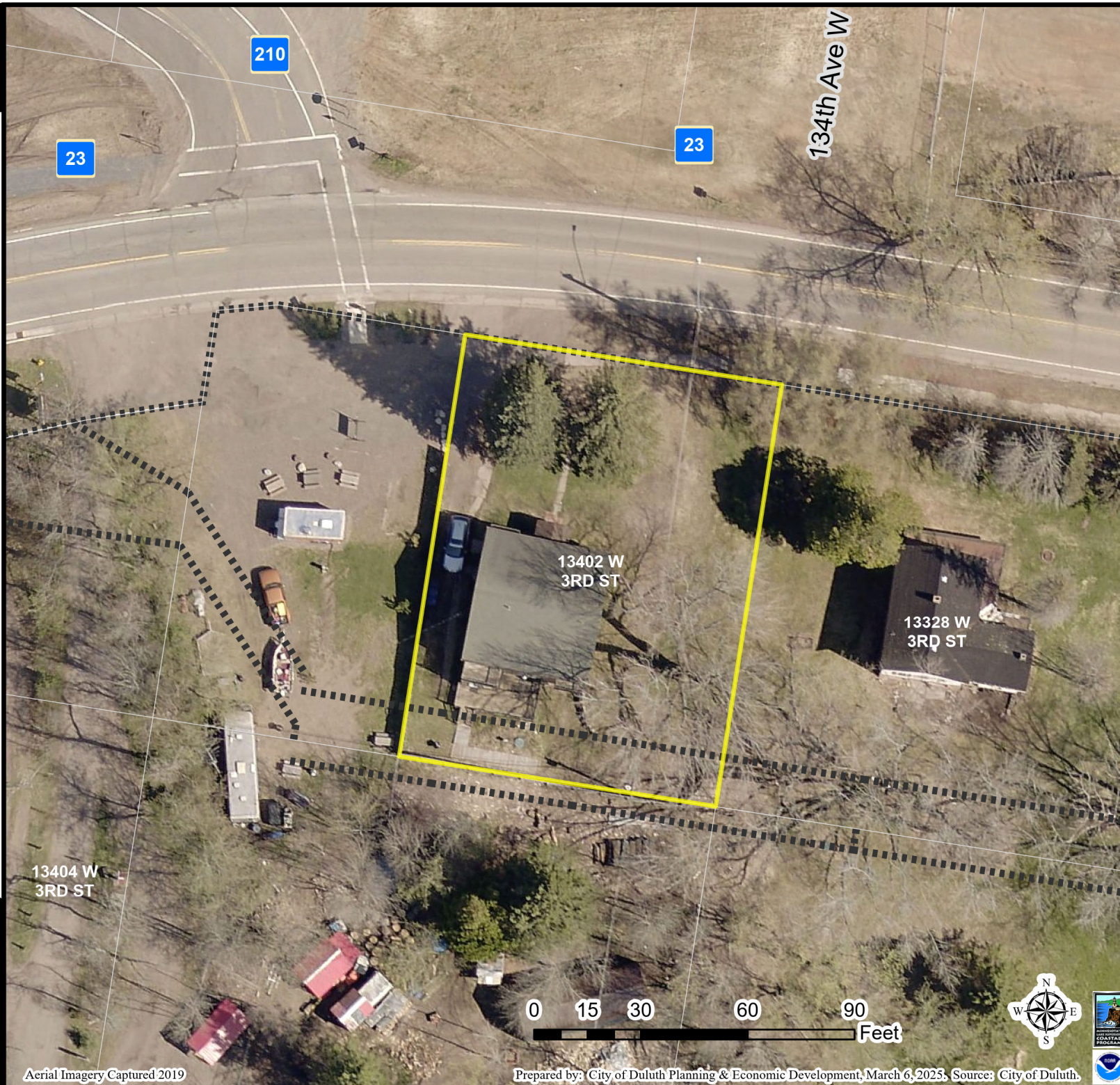
PLIUP-2503-0022

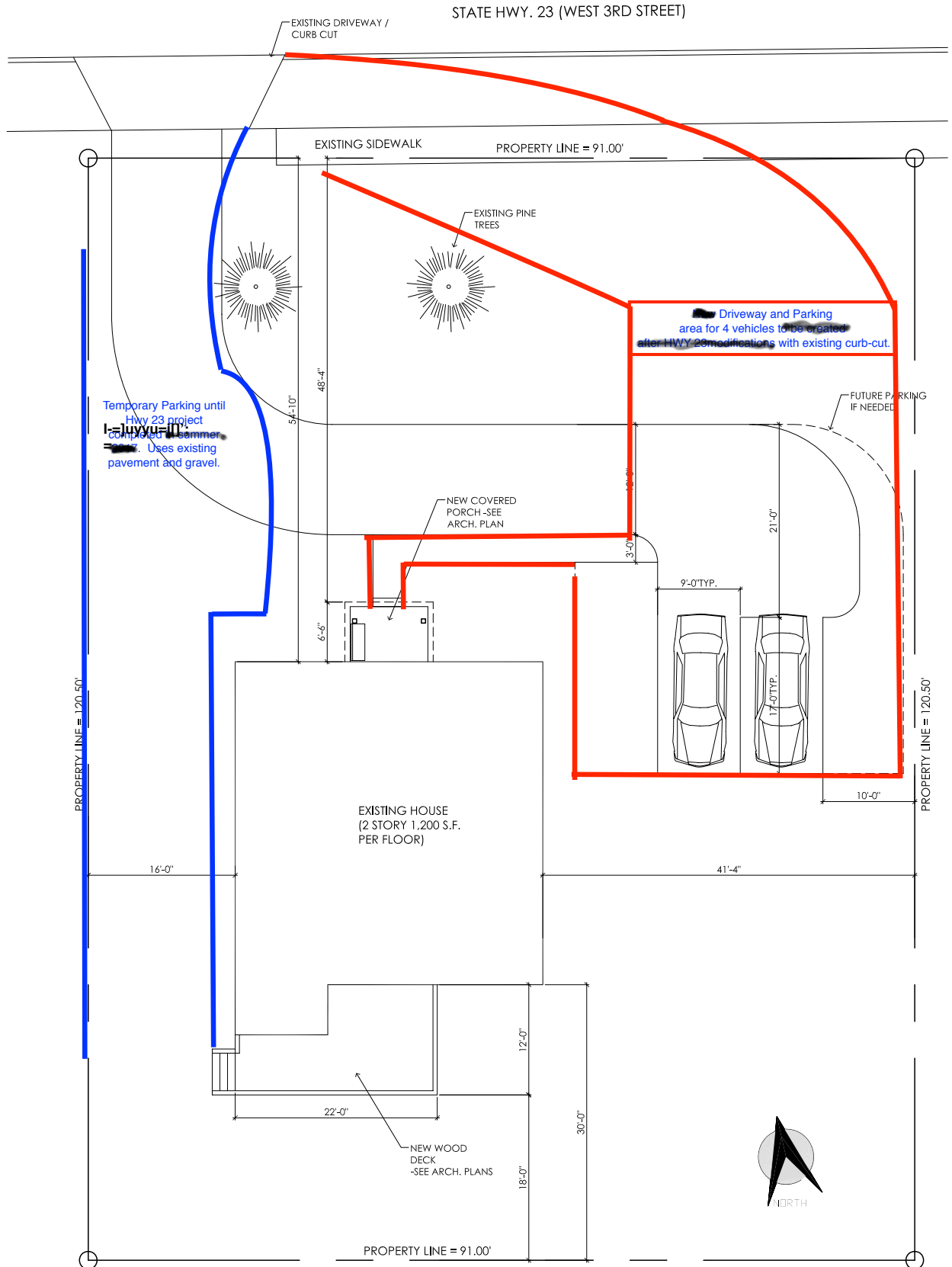
Interim Use Permit
13402 W 3rd St

Legend

- Road or Alley ROW
- County Parcel Data

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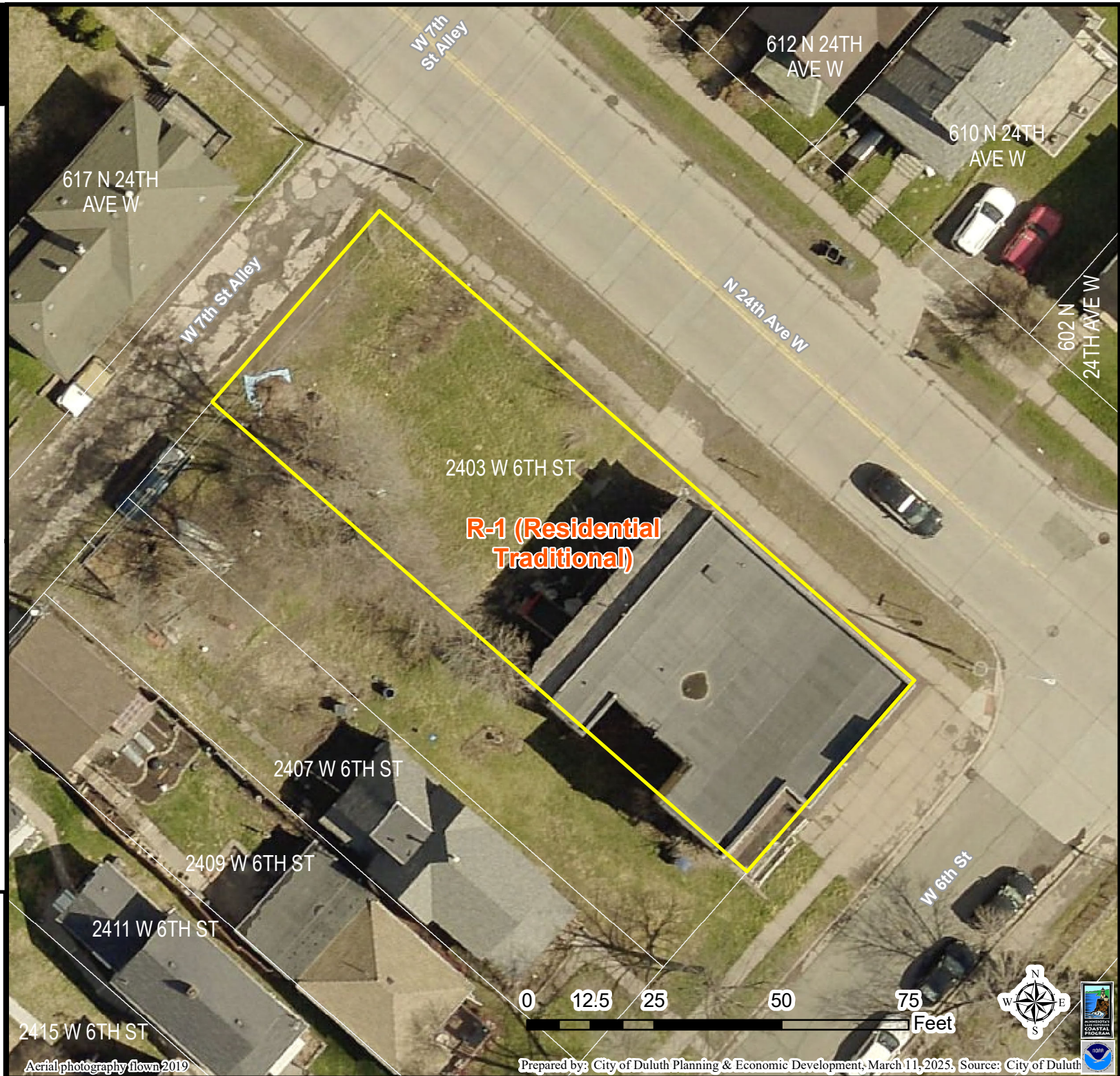




1 architectural site plan
1/8" = 1'-0"



PLIUP-2504-0023
Interim Use Permit
Adaptive Reuse
2403 W 6th St



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Aerial photography flown 2019

Prepared by: City of Duluth Planning & Economic Development, March 11, 2025, Source: City of Duluth



County Land Explorer

St. Louis County, Minnesota



Title... **FESTIES INC**
ADAPTIVE RE-USE PARKING
(6) ADDED PARKING EA 9'X17'
LANDSCAPING PLAN

Map created using County Land Explorer
www.stlouiscountymn.gov/explorer

0 0.0035 0.007 0.014 0.021



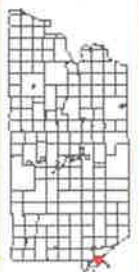
County Land Explorer

St. Louis County www.stlouiscountymn.gov/explorer Minnesota

Disclaimer

This is a compilation of records as they appear in the Saint Louis County Offices affecting the area shown. This drawing is to be used only for reference purposes and the County is not responsible for any inaccuracies herein.

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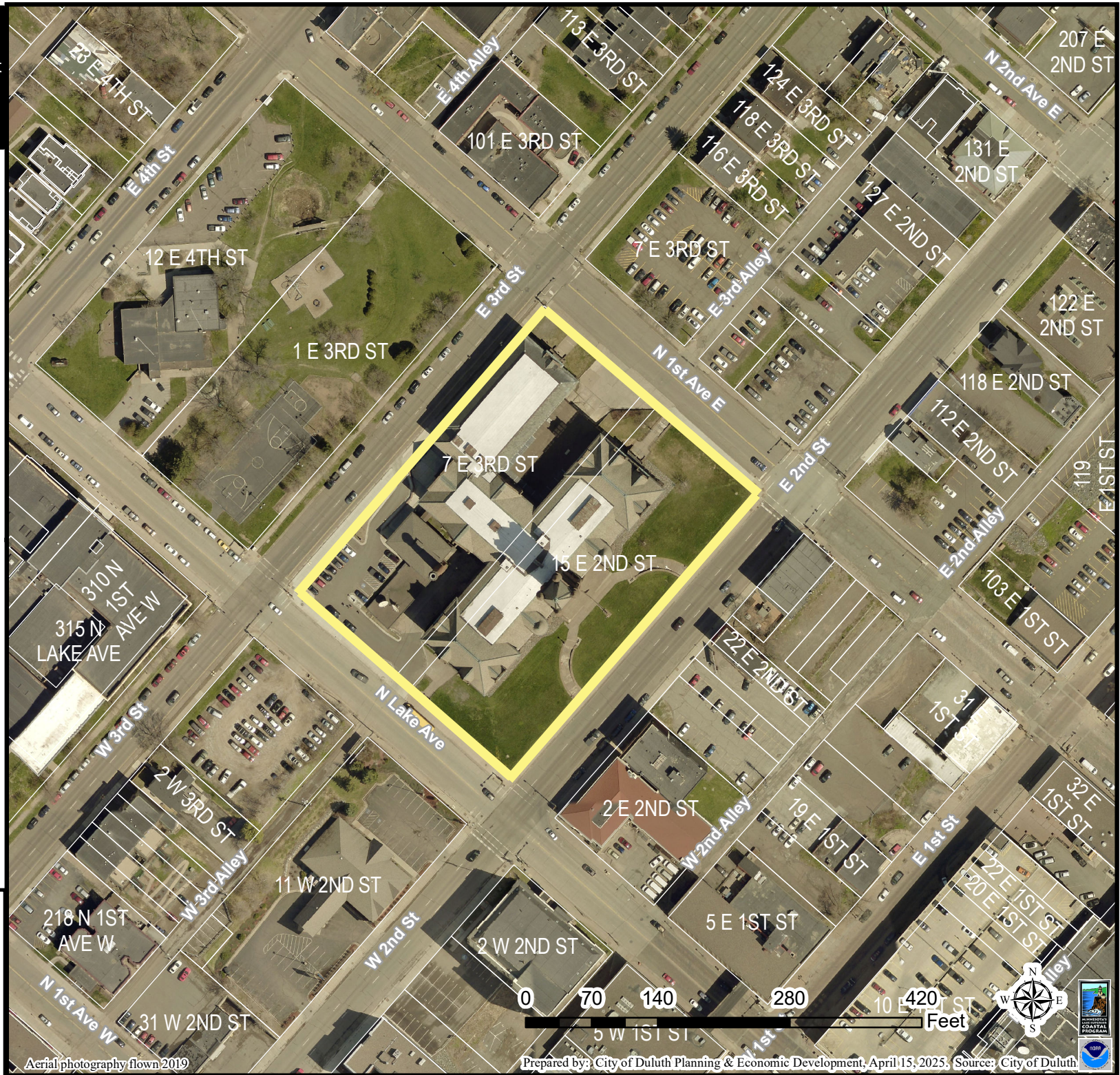


PLIUP-2504-0024
Interim Use Permit
Vacation Dwelling Unit
215 N 1st Ave E
Unit 226

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Aerial photography flown 2019

Prepared by: City of Duluth Planning & Economic Development, April 15, 2025. Source: City of Duluth





Alex Haecker, AIA
12 E 25th St
Minneapolis, MN 55404
alex@awharchitects.com
612-558-5383
ARCHITECT

STRUCTURAL ENGINEER

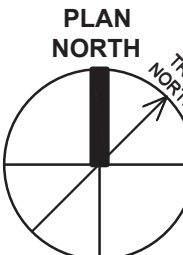
BARR

Project Office: BARR ENGINEERING CO. 325 SOUTH LAKE AVENUE, SUITE 200, MINNEAPOLIS, MN 55408
Corporate Headquarters: BARR ENGINEERING CO. 4300 MARINETTE DR., SUITE 200, MINNEAPOLIS, MN 55408
Civil Engineer/LEA: PH: 612-558-5383 FAX: 612-558-5383

MEP

HISTORIC OLD CENTRAL HIGH SCHOOL,
DULUTH, MN
PRELIMINARY PRICING SET

KEY PLAN



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name:
Michelle Kimble, PE
Signature:

License #: 42012

Date: 07/16/21

ISSUE	DATE
60% DD SET	04/16/21
60% GMP SET	07/16/21

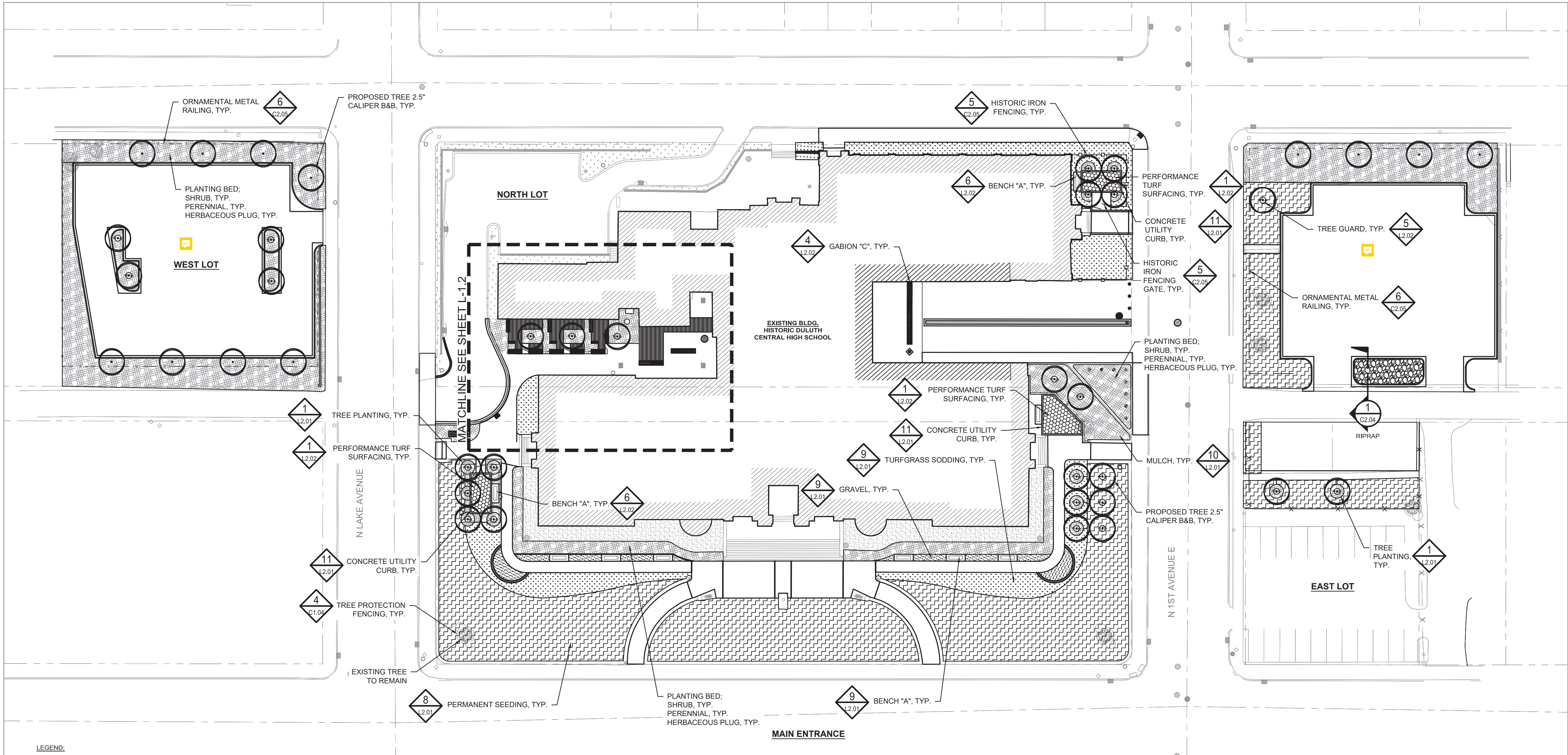
LANDSCAPING
PLAN

SHEET TITLE

L1.01

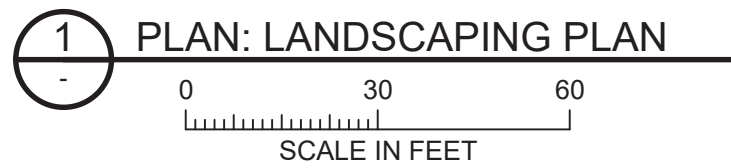
SHEET

FOR INFORMATION ONLY
(NOT FOR CONSTRUCTION)



LEGEND:

- EXISTING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED HISTORIC FENCE
- PROPOSED FENCE
- EXISTING BUILDING
- PROPOSED BUILDING
- CONCRETE SURFACE
- ARTIFICIAL TURF SURFACE
- SOD SURFACE
- GRASS SURFACE
- BITUMINOUS SURFACE
- PLANTING BED
- GRAVEL
- PROPOSED TREE
- PROPOSED TREE GUARD
- EXISTING TREE



1 PLAN: LANDSCAPING PLAN

MAIN ENTRANCE

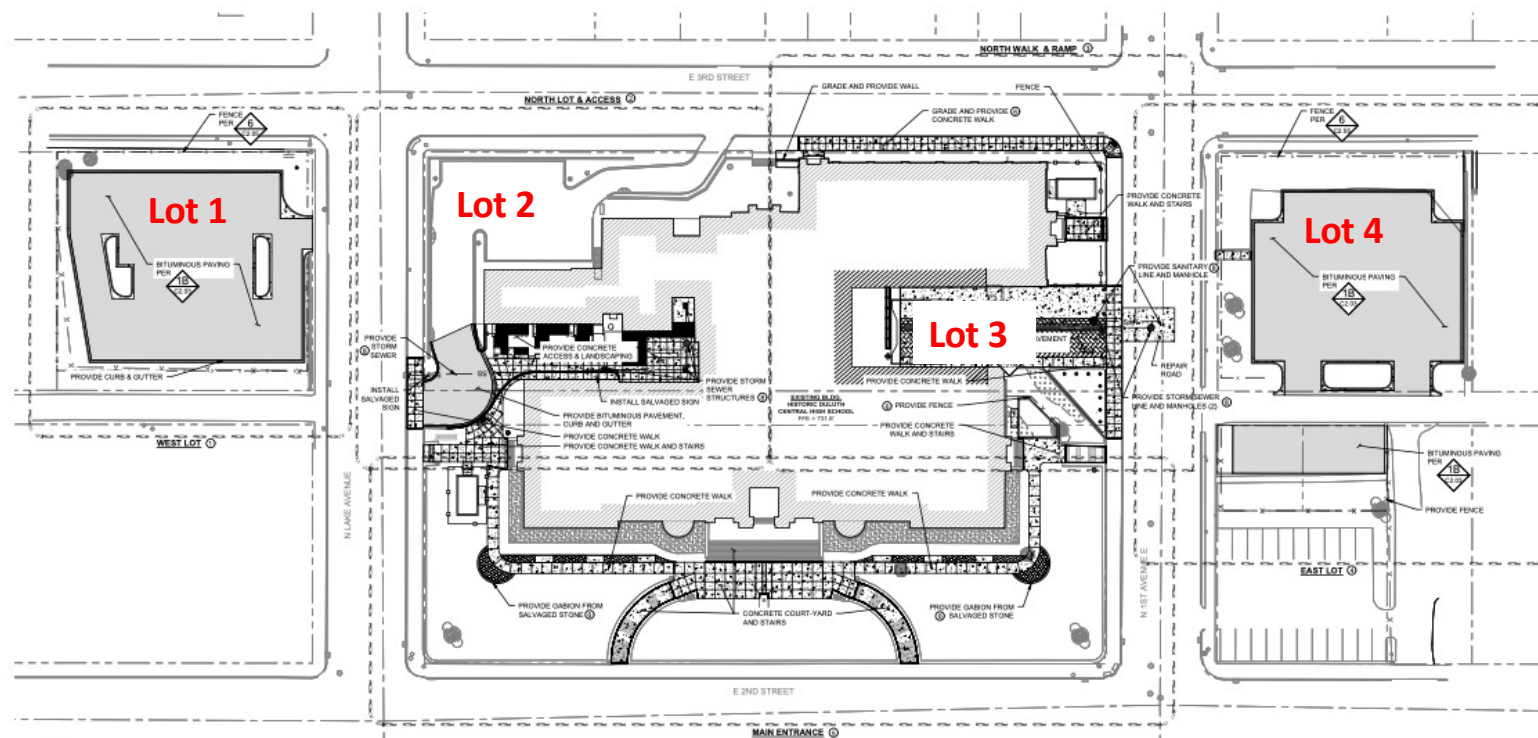
NORTH LOT

WEST LOT

EAST LOT

N LAKE AVENUE

N 1ST AVENUE E






PLIUP-2504-0025

Interim Use Permit for VDU
702 S Lake Ave

Legend

 County Parcel Data

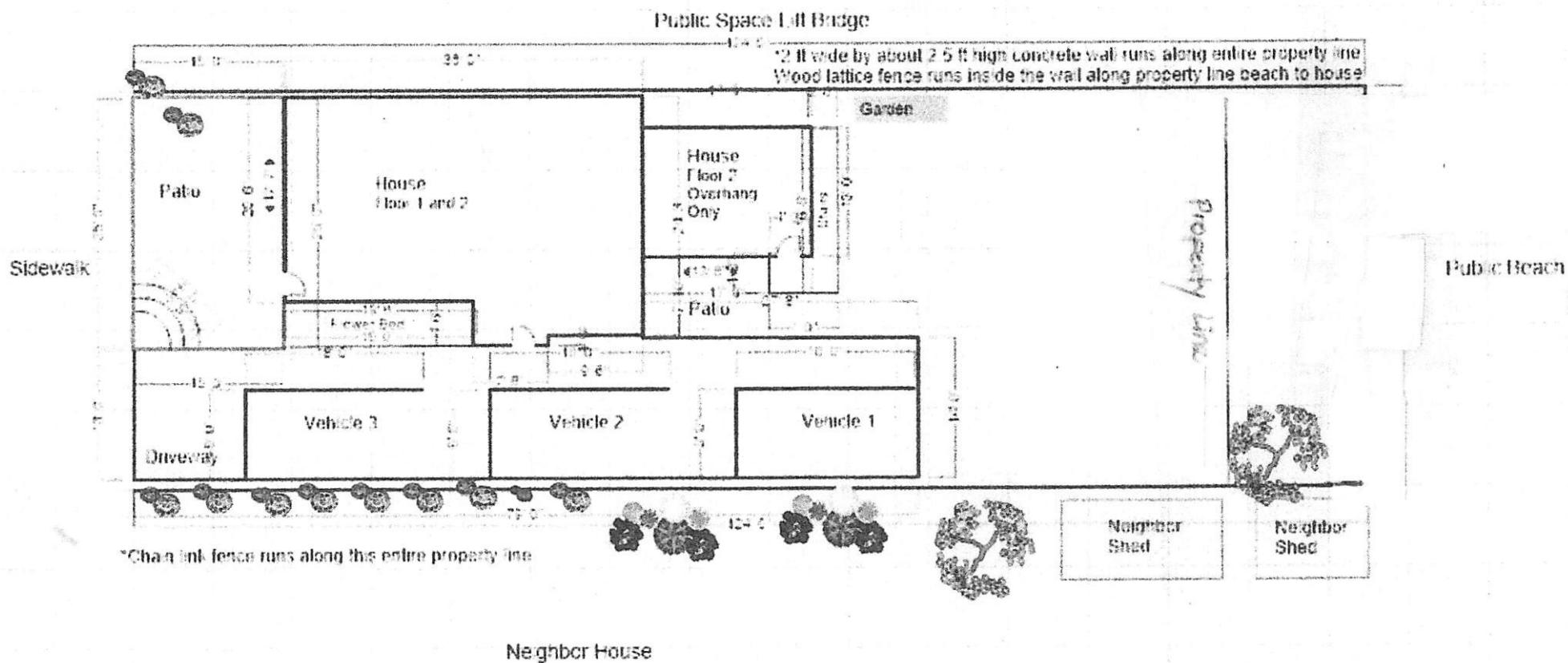
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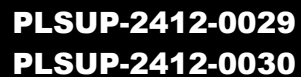
Aerial Imagery Captured 2019



Prepared by: City of Duluth Planning & Economic Development, March 6, 2025. Source: City of Duluth

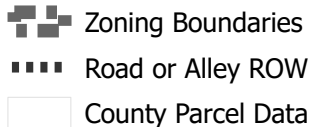
Site Plan for 702 South Lave Ave, Duluth, MN





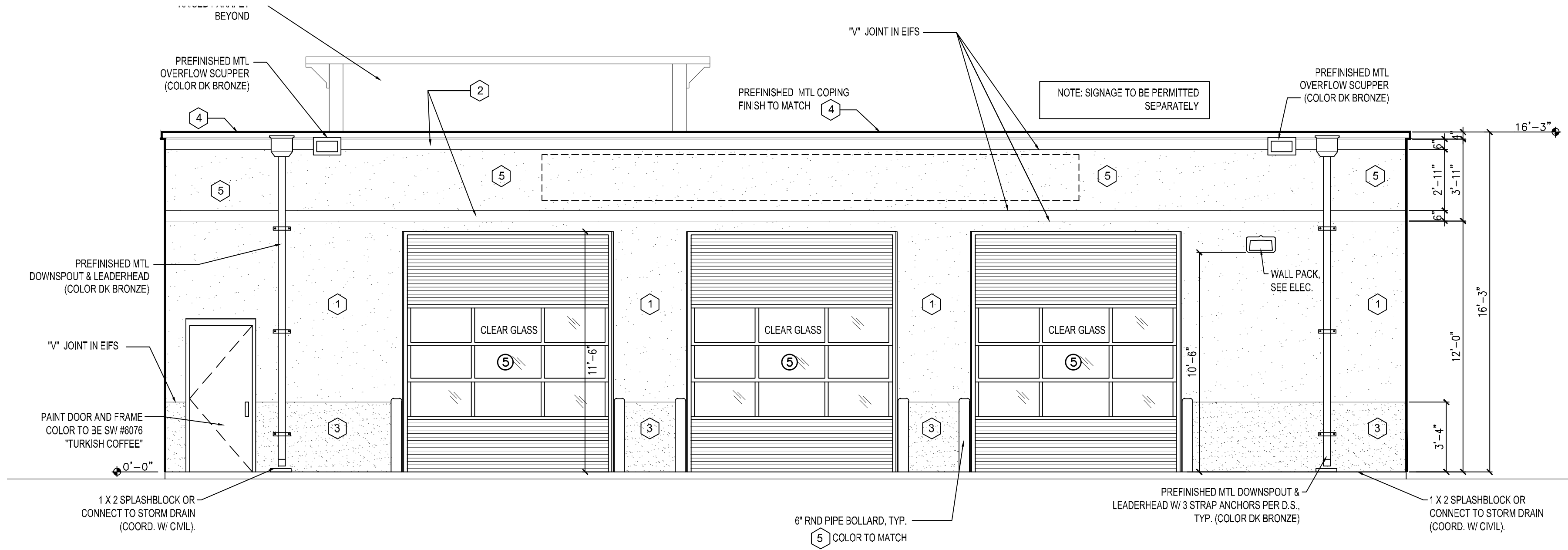
Special Use Permits
421 Anderson Rd

Legend

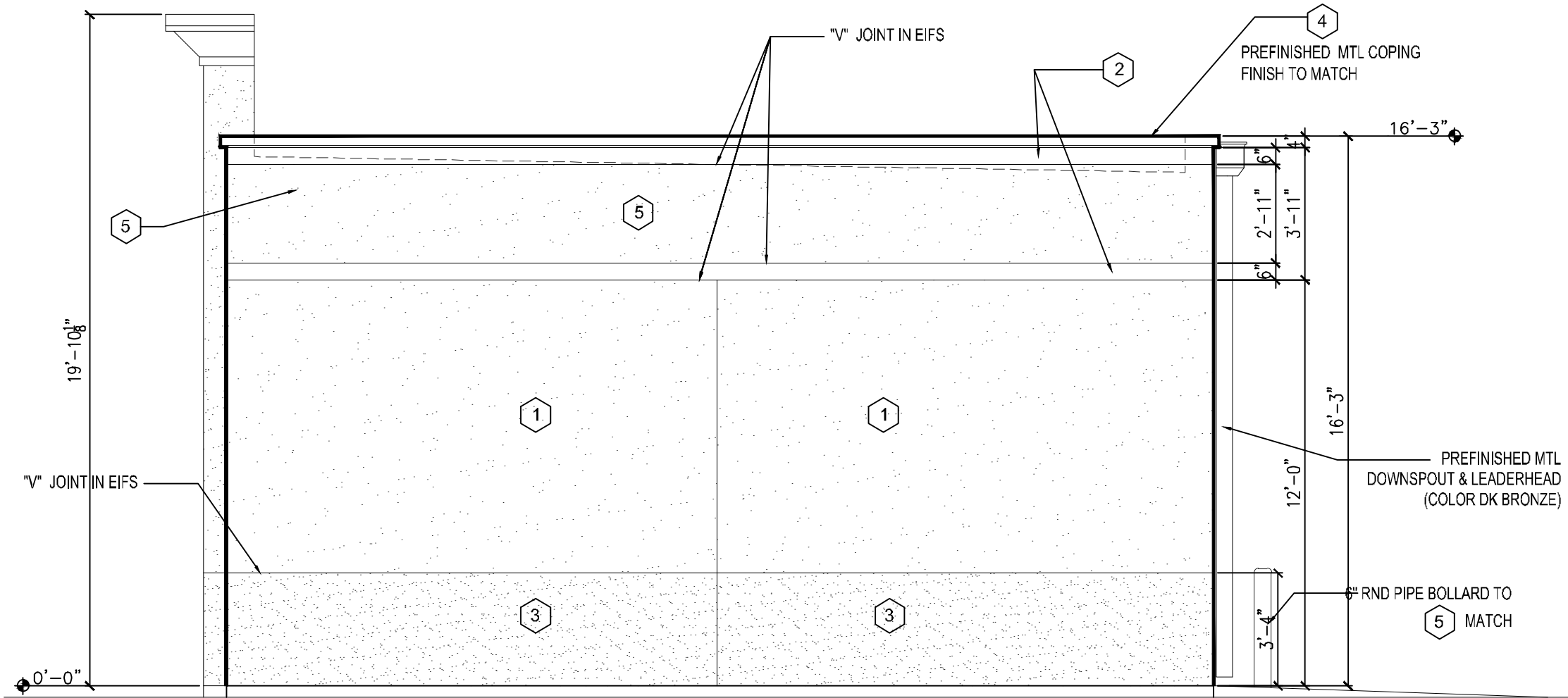


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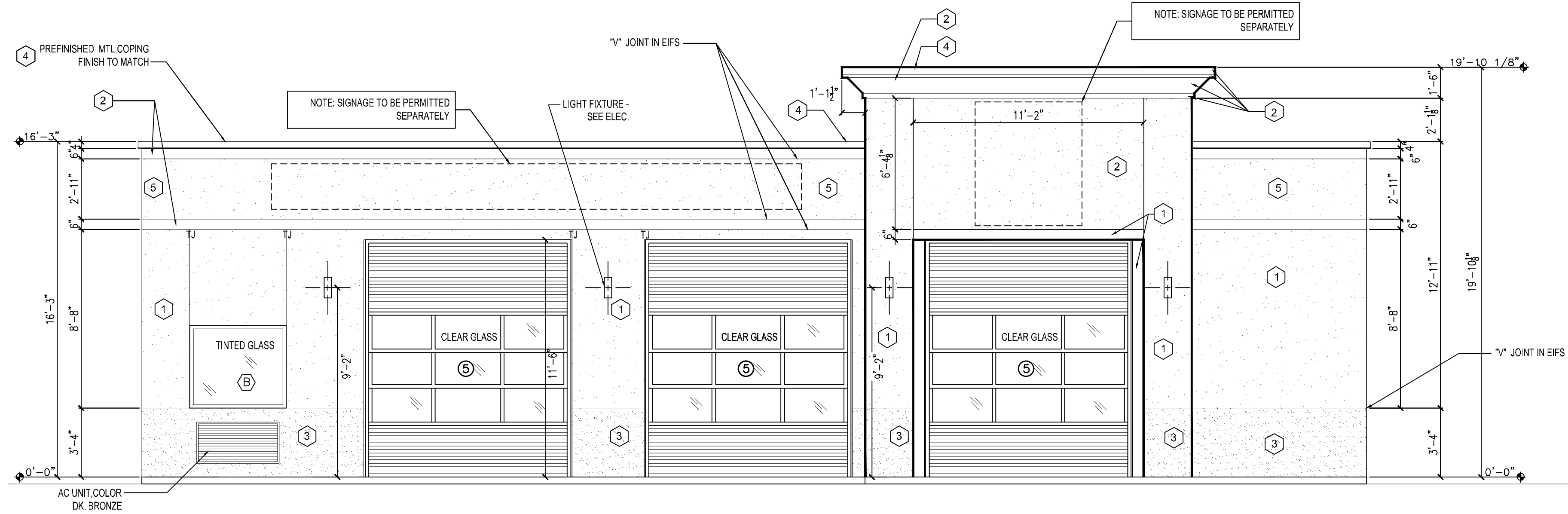




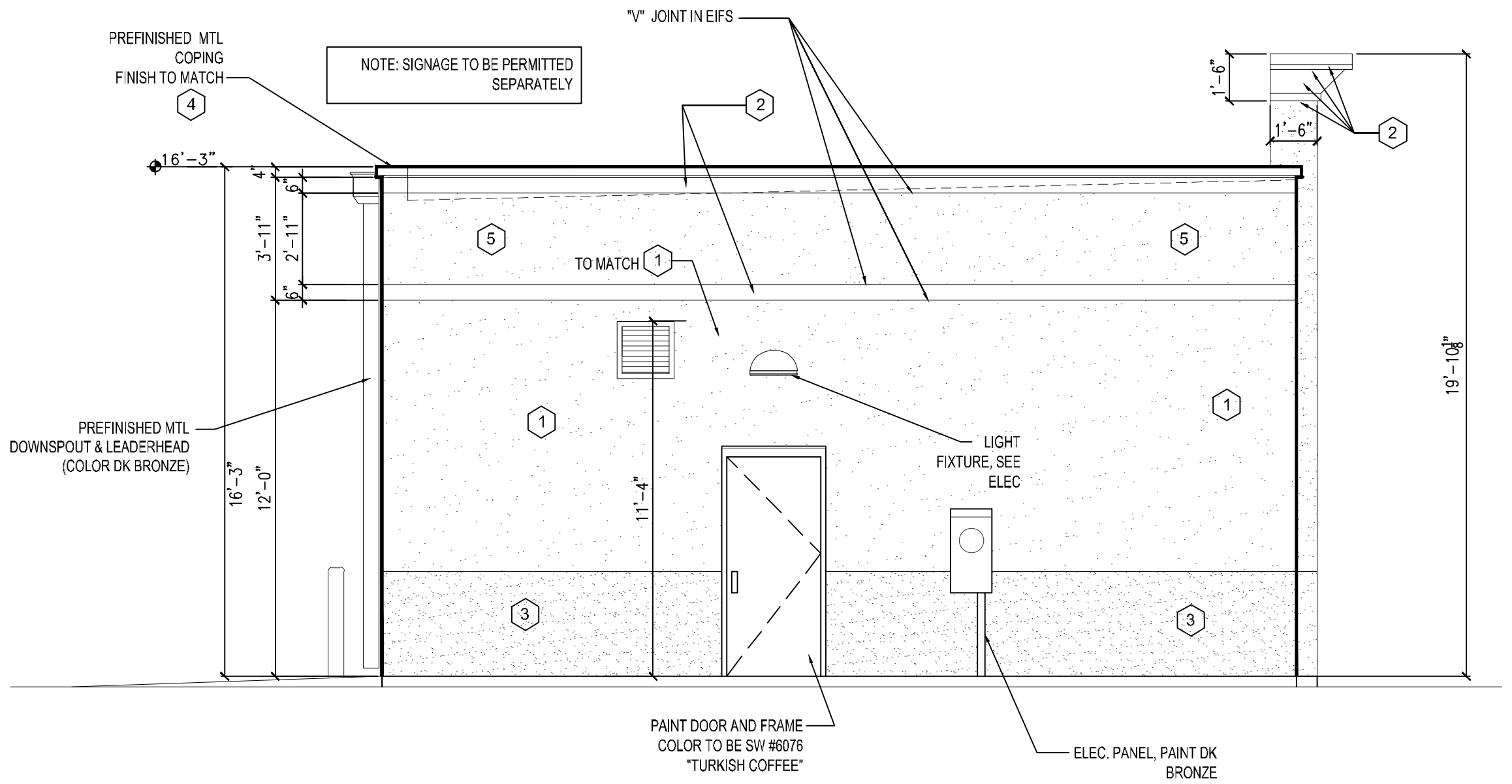
1 SOUTH ELEVATION
A-200 1/4"=1'-0"



3 EAST ELEVATION
A-200 1/4"=1'-0"



2 NORTH ELEVATION (WEST CENTRAL)
A-200 1/4"=1'-0"



4 WEST ELEVATION
A-200 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS OR STUCCO MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #7693, STONEBRIAR	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
2	EIFS OR STUCCO ACCENT BAND AND FACE EIFS OR STUCCO CORNICE	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #7678, COTTAGE CREAM	FINISH TO MATCH STO "FINE SAND" OR DRYVIT "SANDBLAST"
3	EIFS OR STUCCO WAINSCOT	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6097, STURDY BROWN	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE"
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS OR STUCCO SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
6				
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	----

HELT
DESIGN
ARCHITECTURE INTERIORS

6405 W. WILKINSON
BLVD, STE. 100
BELMONT, NC 28012

HELTDESIGN.COM
INFO@HELTDESIGN.COM

PROJECT NAME:

TAKE 5 OIL
CHANGE

PROJECT NO: 24154

PROJECT ADDRESS:

DULUTH, MN

SEAL: -/-/-

CORPORATE ENTITY:
C.L. HELT, ARCHITECT, INC. A NORTH CAROLINA
PROFESSIONAL CORPORATION DBA HELT
DESIGN

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OTHER THAN THE ONE TITLED HERE IN.

DRAWING RELEASE:

NO.	DATE	DESCRIPTION

DRAWN BY: J. ZINK
CHECKED BY: J. ZINK

DATE: 11/20/24

SHEET TITLE:
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A-200

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

UTILITY PLAN NOTES

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
8" PVC SDR35 PER ASTM D-3034, FOR PIPES LESS THAN 12' DEEP
8" PVC SDR26 PER ASTM D-3034, FOR PIPES MORE THAN 12' DEEP
6" PVC SCHEDULE 40 PER ASTM D-3034

3. WATER LINES SHALL BE AS FOLLOWS:
4" AND LARGER: POLYETHYLENE PIPE CONFORMING TO ASTM 3035 AND AWWA C906-15. PIPE SHALL BE PE4710 COMPOUND CONFORMING TO ASTM D3350 MINIMUM CELL SLASSIFICATION 44574C-CC3, PRESSURE CLASS 200, SDR 11, AT 73 DEG F AND HAVE OUTSIDE DIAMETERS SIMILAR TO ANSI A-21.51 DIP
4" AND SMALLER: POLYETHYLENE PIPE CONFORMING TO THE REQUIREMENTS OF AWWA C901 AND ASTM D2239 OR D3035. PIPE SHALL BE PE4710 COMPOUND CONFORMING TO ASTM D3350 MINIMUM CELL CLASSIFICATION 44574C-CC3, DR 9, SHALL HAVE A MINIMUM WORKING PRESSURE OF 250 PSI AT 73 DEG. F, AND HAVE OUTSIDE DIAMETERS SIMILAR TO IRON PIPE SIZE.

4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.

5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.

6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).

7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 7.5' COVER ON ALL WATERLINES.

8. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C900 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).

9. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.

10. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.

11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION
- STRENGTH AT 3000 P.S.I.

12. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.

13. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.

14. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF DULUTH AND/OR THE STATE OF MINNESOTA WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.

15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

16. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.

17. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

18. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.

19. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.

20. ALL ONSITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.

21. ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.

22. CONTRACTOR IS TO PROVIDE INSULATION PER DETAIL WHEN LESS THAN 7.5' OF COVER OVER PROPOSED PIPES AND GREASE TRAPS.

NOTE TO CONTRACTOR:

CONTRACTOR IS TO PERFORM AS-BUILT SURVEY SHOTS AS PUBLIC SANITARY SEWER AND WATERMAIN IS INSTALLED. SURVEY INFORMATION IS TO BE PROVIDED TO CITY PRIOR TO RECEIVING CERTIFICATE OF OCCUPANCY.

NOTE TO CONTRACTOR:

OBSERVATION OF PUBLIC UTILITY INSTALLATION IS REQUIRED. CONTRACTOR IS TO NOTIFY ENGINEER 72 HOURS PRIOR TO CONSTRUCTION OF PUBLIC UTILITIES.

NOTE TO CONTRACTOR:

CONTRACTOR TO CONFIRM LOCATION OF EXISTING UTILITIES WITHIN ANDERSON ROAD PRIOR TO CONSTRUCTION. WATERMAIN AND GAS MAIN SHOWN ARE LOCATED PER CITY OF DULUTH AS-BUILT INFORMATION.

KEYNOTE LEGEND

- (A)

8" X 6" MACHINED REDUCER
- (B)

6" GATE VALVE
- (C)

8" BEND
- (D)

CONNECT TO EXISTING 16" WATERMAIN WITH SS TAPPING SLEEVE AND VALVE
- (E)

PROPOSED 6" WATER SERVICE, REF. MEP PLANS FOR EXACT LOCATION OF EXIT FROM BUILDING
- (F)

PROPOSED 6" SANITARY SEWER SERVICE, REF. MEP PLANS FOR EXACT LOCATION OF EXIT FROM BUILDING
- (G)

STORM/SANITARY SEWER/ OR WATER CROSSING. MAINTAIN 18" MINIMUM OF SEPARATION
- (H)

PROPOSED 1" GAS SERVICE. COORDINATE WITH DULUTH COMFORT SYSTEMS, REF. MEP PLANS FOR EXACT LOCATION OF ENTRY TO BUILDING.
- (I)

COMMUNICATIONS. COORDINATE WITH CENTURYLINK/CHARTER, REF. MEP PLANS FOR EXACT LOCATIONS OF ENTRY TO BUILDING.
- (J)

POWER. COORDINATE WITH MNPOWER, REF. MEP PLANS FOR EXACT LOCATIONS OF ENTRY TO BUILDING.
- (K)

PROPOSED FIRE HYDRANT.
- (L)

PROPOSED TRANSFORMER. COORDINATE WITH MNPOWER.
- (M)

6" WATER SERVICE STUB
- (N)

8" X 8" MOLDED TEE
- (O)

COORDINATE PRIVATE UTILITY RELOCATION WITH MNPOWER, CENTURY LINK, AND CHARTER.
- (P)

8" GATE VALVE
- (Q)

WYE CONNECTION TO SANITARY

LEGEND

- PROPERTY LINE
- SETBACK LINE
- EXISTING WATER
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED REDUCER
- PROPOSED TEE
- PROPOSED GATE VALVE
- PROPOSED HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND ELECTRIC
- TEL

TEL

PROPOSED TELEPHONE
- GAS

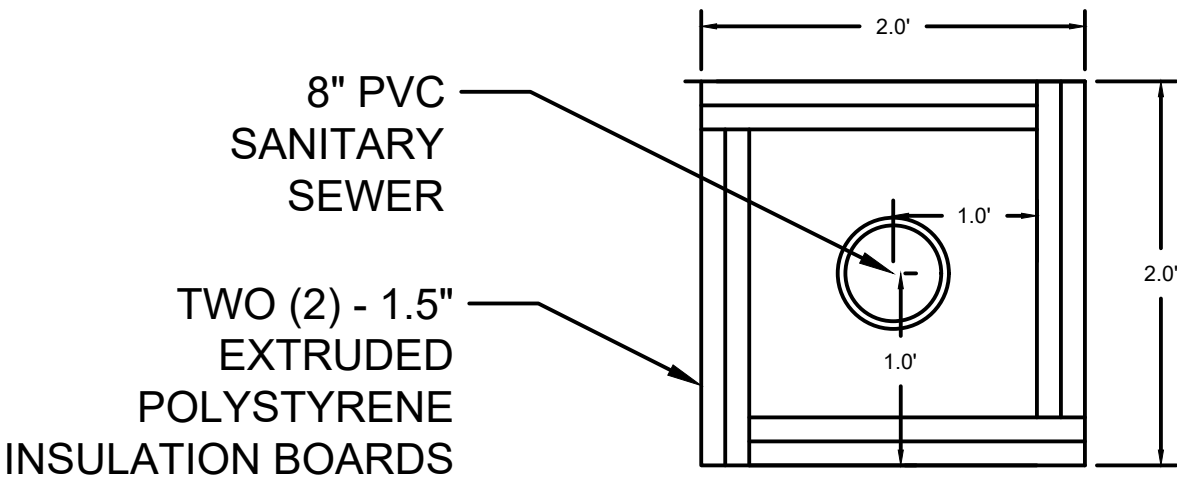
GAS

PROPOSED GAS MAIN

SANITARY SEWER SCHEDULE									
STRUCTURE NO.	STRUCTURE/CASTING TYPE	RIM/GRADE ELEVATION	INVERT ELEVATION IN	PIPE SIZE IN	PIPE SLOPE IN	INVERT ELEVATION OUT	PIPE SIZE OUT	PIPE SLOPE OUT	PIPE MATERIAL
CO-83	CLEANOUT	1347.26	N 1341.78	6"	2.51%	SW 1341.78	6"	2.51%	PVC
SSWR-100	MH	1331.48	NW 1320.50 NE 1319.92	8" 8"	4.37% 57.68%				
SSWR-101	48" SSWR MH	1346.62	NE 1340.68 NW 1334.06	6" 8"	2.00% 1.52%	SE 1334.06	8"	4.37%	PVC
SSWR-102	48" SSWR MH	1347.02	N 1339.48 NW 1334.70	6" 8"	3.27% 1.52%	SE 1334.60	8"	1.52%	PVC
SSWR-103	48" SSWR MH	1348.16	N 1336.05	8"	1.52%	SE 1335.95	8"	1.52%	PVC
SSWR-104	48" SSWR DROP MH	1349.34	N 1336.58 N 1343.50	8" 6"	1.52% 2.00%	S 1336.48	8"	1.52%	PVC
SSWR-105	48" SSWR MH	1343.76	W 1338.62	8"	1.52%	S 1338.52	8"	1.52%	PVC
SSWR-106	48" SSWR MH	1346.85	S 1340.10	6"	1.52%	E 1340.00	8"	1.52%	PVC
STR -85	Null Structure					S 1341.91	6"	2.51%	PVC
STR -86	CLEANOUT	1346.75	NE 1340.98 NW 1340.98	6" 6"	2.51% 2.00%	SW 1340.88	6"	2.00%	PVC
STR -87	CLEANOUT	1346.85	N 1341.22	6"	2.00%	SE 1341.22	6"	2.00%	PVC
STR -88	Null Structure					S 1341.91	6"	2.00%	PVC
STR -89	Null Structure					S 1341.35	6"	4.19%	PVC
STR -90	Null Structure					S 1341.35	6"	3.72%	PVC
STR -91	CLEANOUT	1347.15	N 1340.00	6"	3.72%	E 1340.00	6"	3.72%	PVC
STR -92	CLEANOUT	1347.11	W 1339.82 N 1339.83	6" 6"	3.72% 4.19%	S 1339.82	6"	3.27%	PVC
STR -100	STUB	1351.59				N 1340.48	6"	1.52%	PVC
STR -103	STUB	1349.91				S 1343.79	6"	2.00%	PVC

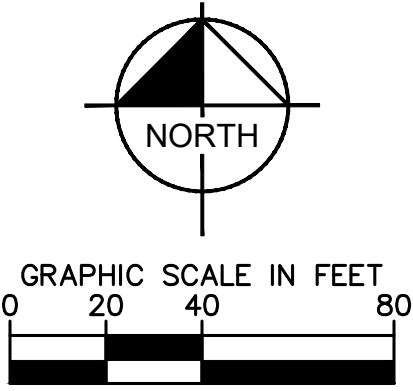
- *NOTE:
1. ALL 8" SANITARY SEWER PIPES ARE TO BE PUBLICLY OWNED AND MAINTAINED. ALL 6" AND SMALL SANITARY SEWER PIPES ARE TO BE PRIVATELY OWNED AND MAINTAINED.

2. CONTRACTOR TO PROVIDE INSULATION PER DETAIL WHEN LESS THAN 7.5' OF COVER FOR PROPOSED PIPES AND GREASE TRAPS



EXTRUDED POLYSTYRENE INSULATION BOARD

N.T.S.



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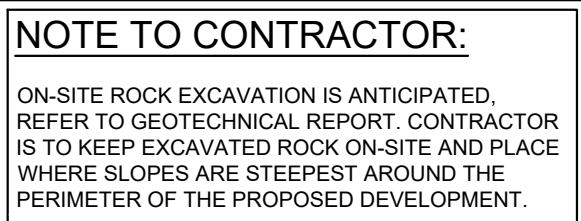
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1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF DULUTH, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
3. SITE STORM SEWER PIPE SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76
 - HDPE: 0' - 10' PER AASHTO M-252
 - POLYPROPYLENE PIPE: 12" OR GREATER PER AASHTO M330 AND MNDOT 2451.3D PVC SCH. 40 PER ASTM D-3034
- 3.1. SITE STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
 - HDPE PER ASTM 3212
 - POLYPROPYLENE PER AASHTO M330
 - PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
4. WITHIN MNDOT PUBLIC ROW STORM SEWER PIPE SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76
 - HDPE: 0' - 10' PER AASHTO M-252
 - POLYPROPYLENE PIPE: 12" OR GREATER PER AASHTO M330 AND MNDOT 2451.3D PVC SCH. 40 PER ASTM D-3034
- 4.1. WITHIN MNDOT PUBLIC ROW STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
 - HDPE PER ASTM 3212
 - POLYPROPYLENE PER AASHTO M330
 - PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
5. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER BY ANY DISCREPANCIES OR VARIATIONS.
6. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
8. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
9. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
10. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
11. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
12. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
13. INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
14. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
15. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED
16. GRADING FOR ALL ON SITE SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL ON SITE SIDEWALK RAMP SLOPES EXCEED 2%. IN NO CASE SHALL ON SITE LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING ENTRANCES AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
17. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
18. CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4' OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
19. ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION 1304.68 OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
20. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
21. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
22. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
23. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



NOTE TO CONTRACTOR:

CONTRACTOR IS TO PERFORM AS-BUILT SURVEY SHOTS AS STORM SEWER IS INSTALLED. SURVEY INFORMATION IS TO BE PROVIDED TO CITY PRIOR TO RECEIVING CERTIFICATE OF OCCUPANCY.

NOTE TO CONTRACTOR:

OBSERVATION OF STORMWATER MANAGEMENT INSTALLATION IS REQUIRED. CONTRACTOR IS TO NOTIFY ENGINEER 72 HOURS PRIOR TO CONSTRUCTION OF SURFACE FILTRATION BASINS.

DRAINAGE SCHEDULE									
STRUCTURE NO.	STRUCTURE/CASTING TYPE	RIM/GRATE ELEVATION	INVERT ELEVATION IN	PIPE SIZE IN	PIPE SLOPE IN	INVERT ELEVATION OUT	PIPE SIZE OUT	PIPE SLOPE OUT	SUMP
STR -55	CBMH 48" DIA.	1345.85	NW 1337.28	30"	0.45%	E 1337.28	30"	0.45%	
STR -56	CB 24"X36"	1346.65				W 1337.10	18"	0.50%	
STR -57	CBMH 48" DIA. (RECT.)	1347.51	SE 1340.39	6"	0.50%	SW 1340.39	12"	0.57%	
STR -58	STMH 48" DIA.	2693.71	E 1337.00	18"	0.50%				
STR -59	ROOF DRAIN	-----				N 1340.79	6"	0.50%	
STR -60	STMH 48" DIA.	1347.89	S 1340.75	6"	0.50%	W 1340.75	6"	0.50%	
STR -61	STMH 48" DIA.	1344.64	E 1340.39 S 1340.39	6" 6"	0.50% 0.50%	NW 1340.44	6"	0.50%	
STR -62	ROOF DRAIN	1341.14				N 1340.57	6"	0.50%	
STRM 100	FES	1320.79	NW 1320.00	8"	16.40%				
STRM 101	72" DIA. OUTLET CONTROL STRUCTURE	1348.03				SE 1335.00	8"	16.40%	
STRM 104	STMH 48" DIA.	1346.86	SW 1337.00	30"	0.45%				
STRM 104A	STMH 48" DIA.	1346.31							
STRM 105	CBMH 48" DIA. (RECT.)	1346.26	W 1337.07	30"	0.45%	NE 1337.07	30"	0.45%	
STRM 106	CBMH 48" DIA (RECT.)	1346.29	W 1338.82 NE 1338.82 N 1342.27	18" 18" 18"	1.00% 1.00% 1.00%	SE 1337.72	30"	0.45%	
STRM 107	CBMH 48" DIA. (CIR.)	-----				E 1340.04	18"	1.00%	
STRM 108	STMH 48" DIA.	1347.43	N 1339.45	18"	1.01%	SW 1339.35	18"	1.00%	
STRM 109	CBMH 48" DIA. (RECT.)	1343.17	NE 1340.23 NW 1340.22	12" 12"	0.57% 0.85%	S 1340.12	18"	1.01%	
STRM 110	CB 24"X36"	1343.67				SE 1340.44	12"		
STRM 118	FES	1337.79				SE 1336.00	18"	8.81%	
STRM 119	CB 24"X36"	1336.90	NW 1334.11	18"	8.81%	SE 1334.11	18"	2.65%	
STRM 120	CB 24"X36"	-----	NW 1333.20	18"	2.65%	SE 1333.20	18"	2.83%	
STRM 121	FES	1334.04	NW 1332.70	18"	2.83%				
STRM 122	STMH	1328.87	NW 1323.60	4"	3.12%				
STRM 123	48" DIA. OUTLET CONTROL STRUCTURE	1330.00				SE 1324.95	4"	3.12%	

SHEET NUMBER C4.0		THE JIGSAW		PREPARED FOR		LAUNCH PROPERTIES		DULUTH		MN	
KHA PROJECT 160734013 DATE 02/25/2023		SCALE AS SHOWN		DESIGNED BY ACL		DRAWN BY ACL		CHECKED BY BMW		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
		BRIAN N. WURDEMAN, P.E. DATE: 02/21/2016 LIC. NO. 53113								© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS ST. SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1197 WWW.KIMLEY-HORN.COM	
				1. GRADING/UTILITY REVISIONS		04/13/2023		BMW			
				2. DEVELOPER / CONTRACTOR COORDINATION		07/20/2023		BMW			
				No.		REVISIONS		DATE		BY	



1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF DULUTH, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTRACTOR TO CALL Gopher State Call One @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76
 - HDPE: 0" - 10" PER AASHTO M-252
 - HDPE: 12" OR GREATER PER ASTM F-2306
 - PVC SCH. 40 PER ASTM D-1785STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
 - RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
 - HDPE PER ASTM 3212
 - PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
7. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
8. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
12. INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
13. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
14. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
15. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATEMENTAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROWN SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5% IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1 IN 50 TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNA BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A D.A COMPLIANCE ISSUES.
16. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
17. CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
18. ROOF DRAIN INVERT CONNECTIONS AT THE BUILDING SHALL BE AT ELEVATION <XXX.XX" OR LOWER UNLESS NOTED OTHERWISE. REFERENCE MEP PLANS FOR ROOF DRAIN CONNECTION.
19. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
20. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
21. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
22. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

PRELIMINARY - NOT FOR CONSTRUCTION		7 BREW - DULUTH JIGSAW PREPARED FOR COLD BREW LLC		MIN	
SHEET NUMBER		C500			
KHA PROJECT 16/282000 DATE 12/10/2024		KHA PROJECT 16/282000 DATE 12/10/2024		KHA PROJECT 16/282000 DATE 12/10/2024	
SCALE AS SHOWN		SCALE AS SHOWN		SCALE AS SHOWN	
DESIGNED BY CGM		DESIGNED BY CGM		DESIGNED BY CGM	
DRAWN BY MOB		DRAWN BY MOB		DRAWN BY MOB	
CHECKED BY BMW		CHECKED BY BMW		CHECKED BY BMW	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICALLY THE PORTION PREPARED BY ME FOR THE DIRECT PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICALLY THE PORTION PREPARED BY ME FOR THE DIRECT PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		I HEREBY CERTIFY THAT THIS PLAN, SPECIFICALLY THE PORTION PREPARED BY ME FOR THE DIRECT PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	
BRIAN N. WURDEMAN P.E. DATE: 12/10/2024 L.C. NO. 53113		BRIAN N. WURDEMAN P.E. DATE: 12/10/2024 L.C. NO. 53113		BRIAN N. WURDEMAN P.E. DATE: 12/10/2024 L.C. NO. 53113	
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LN, SUITE 225 EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM		© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LN, SUITE 225 EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM		© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 11995 SINGLETREE LN, SUITE 225 EDEN PRAIRIE, MN 55344 PHONE: 612-315-1272 WWW.KIMLEY-HORN.COM	
Kimley»Horn		Kimley»Horn		Kimley»Horn	
No.		No.		No.	
REVISIONS		REVISIONS		REVISIONS	
DATE		DATE		DATE	
BY		BY		BY	



PLSUP-2502-0018

Special Use Permit
1602 London Rd



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Aerial Imagery Captured 2019

Prepared by: City of Duluth Planning & Economic Development, March 6, 2025. Source: City of Duluth.





SITE NAME:
SALTER SCHOOL

FA NUMBER:
10123822

ST. LOUIS COUNTY
EXISTING 52'-0" BUILDING

LTE 1C RRH SWAP

IWM	PACE	PTN
WSUMW0028902	MRUMW061234	3514A1AJYL
WSUMW0028838	MRUMW061252	3514A1AJPR
WSUMW0028349	MRUMW061271	3514A1AJHF
WSUMW0028669	MRUMW061373	3514A1AJD3
WSUMW0028410	MRUMW061376	3514A1AJDH
WSUMW0028758	MRUMW061444	3514A1AJ8P
WSUMW0029241	MRUMW061590	3514A1AK1S
WSUMW0029034	MRUMW061683	3514A1AJS1

PROJECT REFERENCES

THESE PLANS WERE COMPLETED PER FINAL/APPROVED LTE 1C RRH SWAP RFDS ID# 5891205 LAST MODIFIED DATE T.B.D. CONTRACTOR SHALL REQUEST CURRENT RFDS & WORKBOOK FROM CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.

GC SHALL REVIEW AND COMPLY WITH B+T GROUP MOUNT ANALYSIS DATED 08/22/2024.

GC SHALL REVIEW AND COMPLY WITH B+T GROUP STRUCTURAL ANALYSIS DATED 1/10/2025.

DRAWING INDEX

SHEET #	SHEET DESCRIPTION	REV. #
T-1	TITLE SHEET	2
GN-1	GENERAL NOTES	2
C-1	COMPOUND PLAN	2
C-2	EQUIPMENT PLANS	2
C-3 - C-3.1	TOWER ELEVATIONS	2
C-4 - C-4.1	ANTENNA PLANS	2
C-5	RF SCHEDULES	2
C-6 - C-6.4	EQUIPMENT DETAILS	2
G-1	GROUNDING DETAILS	2

SCOPE OF WORK

THIS IS NOT ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

ALPHA BETA GAMMA
|| REMOVE (3) EP80-654LBH6-L2 ANTENNAS
|| REMOVE (3) SBJAH4-1D65B-DL ANTENNAS
|| REMOVE (3) FLEXI RRH 4T4R B14 160W FRBI
|| REMOVE (3) B25 RRH4X30-4R
|| REMOVE (3) RRH2x40-07L-AT
|| REMOVE (3) RRH2x60-850
|| REMOVE (3) B66A RRH4X45-4R
|| REMOVE (12) DBC0061F1V51-2 DIPLEXERS
|| REMOVE (9) DC2's
|| REMOVE (3) FC12's
|| REMOVE (6) #8 DC TRUNKS
|| REMOVE (12) 7/8" COAX CABLES
|| REMOVE EXISTING FIBER TRUNKS
|| INSTALL SECTOR SLEDS @ DESIGN AZ: INSTALL CLOSE TO EDGE OF PARAPET AS POSSIBLE. (INCREASE RAD TO 61°)
|| INSTALL (3) NEW 120726 ANTENNA ON P1/P3 ABC
|| INSTALL (3) NEW AIR6419 B77D+AIR6419 B77G STACKED ANTENNA ON P2 ABC
|| INSTALL (3) NEW 4490 B5/B12A RADIO ON P1 ABC
|| INSTALL (3) NEW 4415 B30 RADIO ON P1 ABC
|| INSTALL (3) NEW 4494 B14/B29 RADIO ON P3 ABC
|| INSTALL (3) NEW 4890 B25/B66 RADIO ON P3 ABC
|| INSTALL (3) DC9-48-60-24-PC16-EV (1 PER SECTOR)
|| INSTALL (6) #6 DC TRUNKS (2 PER SECTOR)
|| INSTALL (3) 24 PAIR FIBER TRUNKS (1 PER SECTOR)
|| RE-USE EXISTING (2) OD DC12S
|| INSTALL NEW #6 TELCO TO MATCH DC TRUNKS

|| REMOVE NS700 POWER PLANT
|| REMOVE EXISTING BATTERY CABINET AND BATTERIES
|| REMOVE GSM AND UMTS CABINETS
|| INSTALL OUTDOOR NS 512 W/-58V CONVERSION
|| INSTALL (12) R482000E3 RECTIFIERS
|| INSTALL (11) C48/58 CONVERTERS
|| INSTALL NEW BATTERY CABINET
|| INSTALL COMMSCOPE 48V/24V DC CONV (PS-CONV-48-24)
|| INSTALL (20) 190 MAH BATTERIES
|| INSTALL FLX42
|| INSTALL (2) 6651
|| INSTALL (1) 6610
|| INSTALL (1) XMU

PROJECT SUMMARY

PROPERTY OWNER: AECKEL FAMILY TRUST
C/O DANIEL & LOIS JAECKEL TRUSTEES
1600 LONDON RD, DULUTH, MN 55812

TOWER OWNER: DANIEL & LOIS JAECKEL
SITE NAME: SALTER SCHOOL
SITE ADDRESS: 1602 LONDON ROAD
DULUTH, MN 55802

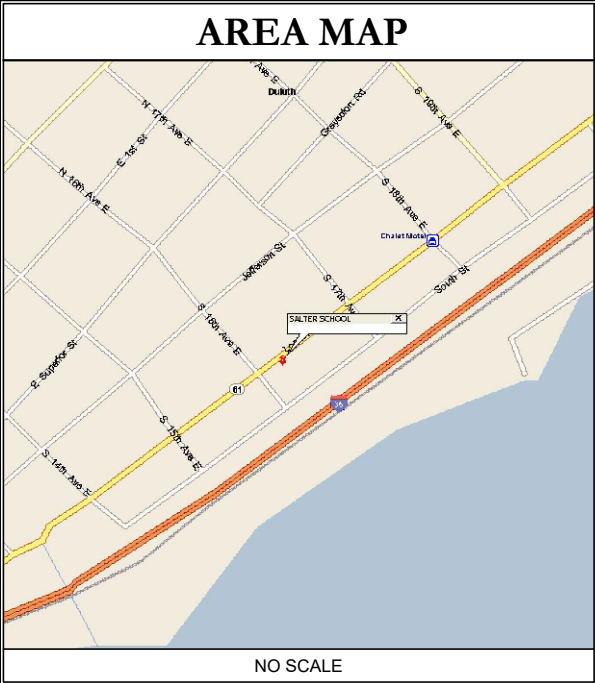
SITE#: MPLSMN5080
COUNTY: ST. LOUIS
ZONING JURISDICTION: DULUTH CITY

NAD83
LATITUDE: 46.8006111° N
LONGITUDE: 92.0755833° W
GROUND ELEVATION: 654' AMSL

CUSTOMER/
APPLICANT: AT&T MOBILITY CORPORATION
16221 NE 72ND WAY, RTC 3
P.O. BOX 97061
REDMOND, WA 98052

OCCUPANCY TYPE: UNMANNED
A.D.A. COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION

AREA MAP



LOCATION MAP



DRIVING DIRECTIONS

DEPART FROM DULUTH INTERNATIONAL AIRPORT. HEAD WEST ON GRINDEN DR. CONTINUE ON AIRPORT RD. TAKE RICE LAKE RD, W ARROWHEAD RD AND N 19TH AVE E TO S 16TH AVE E IN DULUTH. TURN LEFT ONTO S 16TH AVE E. TURN LEFT AND ARRIVE AT SALTER SCHOOL.

DO NOT SCALE DRAWINGS

ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11X17.
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SEE SHEET GN-1 FOR ADDITIONAL CONSTRUCTION NOTES

CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

CODE TYPE	CODE
BUILDING/DWELLING	2020 MN BUILDING CODE/2018 IBC
MECHANICAL	2020 MN MECHANICAL CODE/2018 IMC
ELECTRICAL	NEC 2023

CONTACT INFORMATION

A&E FIRM: B&T ENGINEERING, INC.
1717 S. BOULDER, SUITE 300
TULSA, OK 74119
CONTACT: JANNA SIMMONS
PHONE: (918) 587-4630

ELECTRIC PROVIDER: MP&L
PHONE: (800) 228-4966

TELCO PROVIDER: N/A
PHONE:

- THESE DRAWINGS ARE BASED AT&T SCOPING DOCUMENT DATED 2/15/24.
- CONTRACTOR TO USE LATEST VERSION WITH CDs PER SCOPE OF WORK.
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH CURRENT AT&T CONSTRUCTION INSTALLATION GUIDE.



CALL MINNESOTA ONE CALL
(800) 252-1166
CALL 3 WORKING DAYS
BEFORE YOU DIG!



2300 MAITLAND CENTER PKWY SUITE 300
MAITLAND, FL 32751
(866) 545-1782

FA: 10123822

SALTER SCHOOL

1602 LONDON ROAD

DULUTH, MN 55802

EXISTING ROOFTOP

PROJECT NO: 170635.001.01

CHECKED BY: TDG

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION
A	5/10/24	MW	PRELIMINARY REVIEW
0	8/23/24	CLS	CONSTRUCTION
1	1/15/25	CLS	CONSTRUCTION
2	2/12/25	CP	CONSTRUCTION

B&T ENGINEERING, INC.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: CHAD E. TUTTLE

Signature:

Date: 2/12/25 License #: 42966

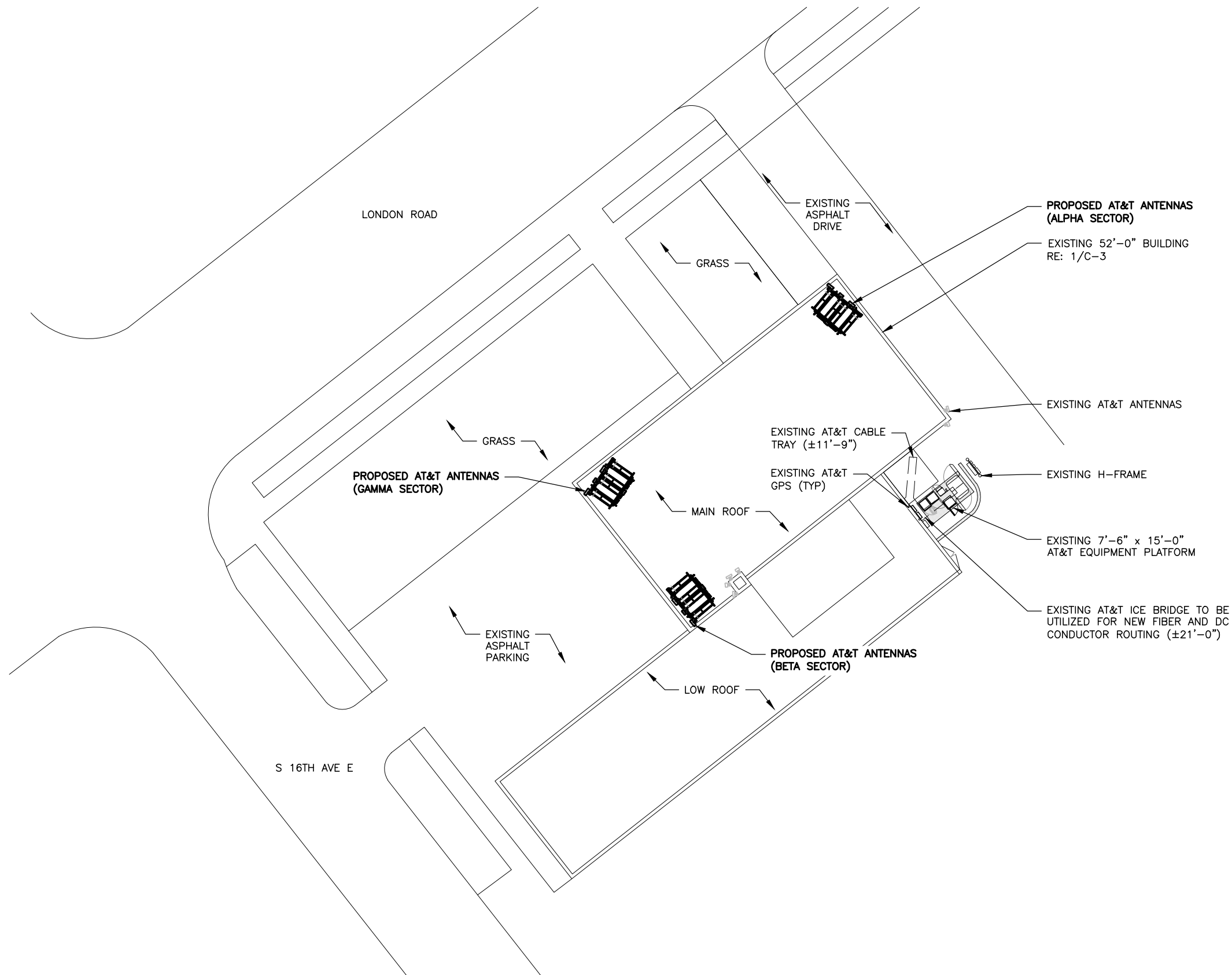
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET NUMBER: REVISION:

T-1

2

170635.001.01.0002_10123822_Solter_School.dwg -- User: tim.grave -- Feb 12, 2025 -- 8:21am



1 COMPOUND PLAN
SCALE: 0" 1" 2" 3" 4"



2300 MAITLAND CENTER PKWY SUITE 300
MAITLAND, FL 32751
(866) 545-1782

FA: 10123822
SALTER SCHOOL
1602 LONDON ROAD
DULUTH, MN 55802
EXISTING ROOFTOP

PROJECT NO: 170635.001.01

CHECKED BY: TDG

ISSUED FOR:

REV	DATE	DRWN	DESCRIPTION
A	5/10/24	MW	PRELIMINARY REVIEW
0	8/23/24	CLS	CONSTRUCTION
1	1/15/25	CLS	CONSTRUCTION
2	2/12/25	CP	CONSTRUCTION

B&T ENGINEERING, INC.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: CHAD E. TUTTLE

Signature:

Date: 2/12/25 License #: 42966

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

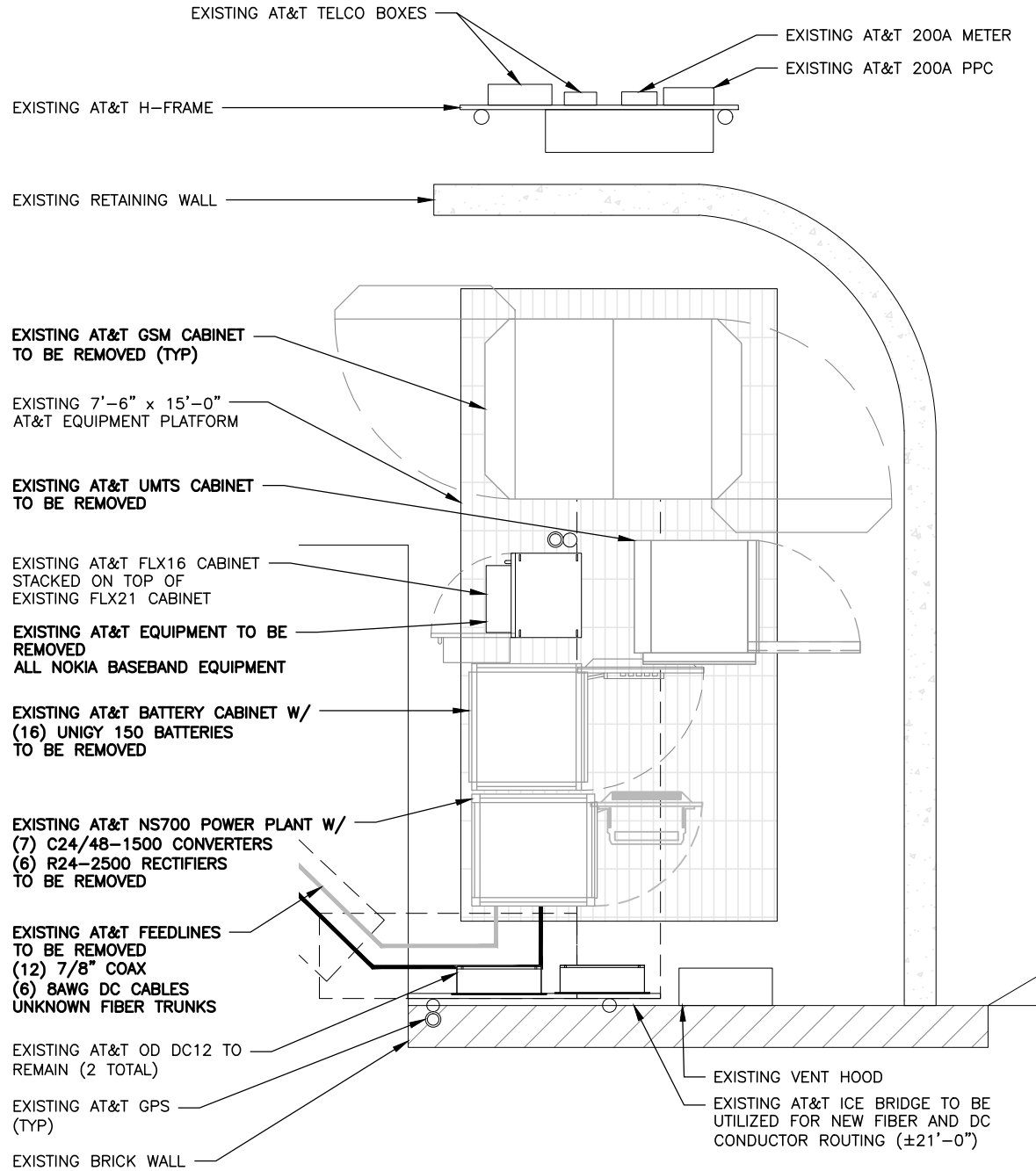
SHEET NUMBER:

C-1

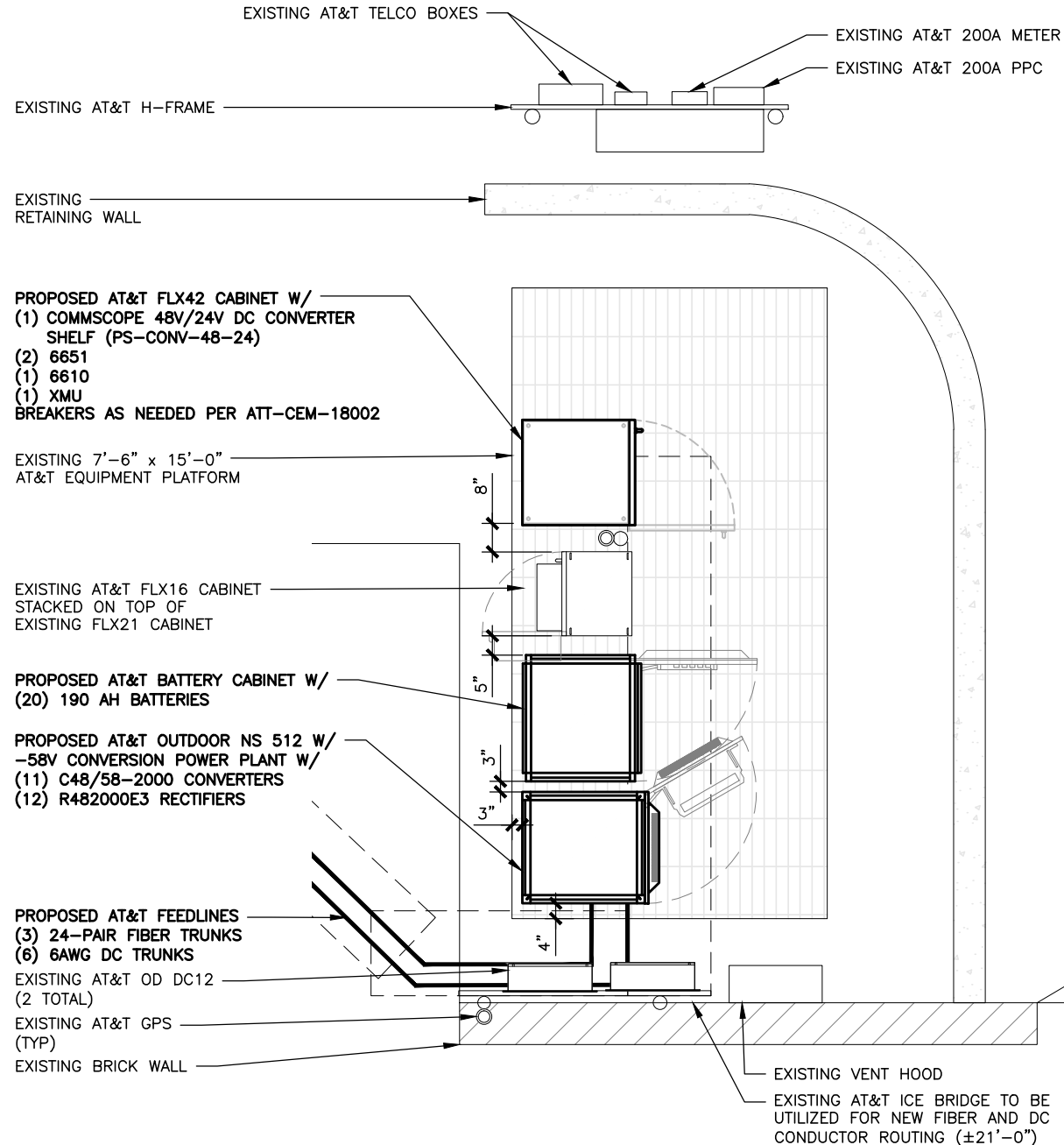
REVISION:

2

170635.001.01.0002_10123822_Salter School.dwg -- SheetC-2 -- User: tim.grove -- Feb 12, 2025 -- 8:21am



1 EXISTING EQUIPMENT PLAN
SCALE: 0' 1' 2' 4' 10'



2 PROPOSED EQUIPMENT PLAN
SCALE: 0' 1' 2' 4' 10'



2300 MAITLAND CENTER PKWY SUITE 300
MAITLAND, FL 32751
(866) 545-1782

FA: 10123822
SALTER SCHOOL
1602 LONDON ROAD
DULUTH, MN 55802
EXISTING ROOFTOP

PROJECT NO: 170635.001.01

CHECKED BY: TDG

ISSUED FOR:			
REV	DATE	DRWN	DESCRIPTION
A	5/10/24	MW	PRELIMINARY REVIEW
0	8/23/24	CLS	CONSTRUCTION
1	1/15/25	CLS	CONSTRUCTION
2	2/12/25	CP	CONSTRUCTION

B&T ENGINEERING, INC.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: CHAD E. TUTTLE

Signature:

Date: 2/12/25 License #: 42966

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SHEET NUMBER: REVISION:

C-2

2



PLSUP-2503-0043
Special Use Permit, Bed & Breakfast
5820 London Rd



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Aerial photography flown 2019

0 25 50 100 150 Feet



Prepared by: City of Duluth Planning & Economic Development, March 11, 2025, Source: City of Duluth

SITE PLAN

Address: 5820 London Rd

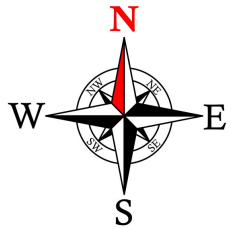
Duluth, MN 55804

Parcel ID: 010-2830-00190

Lot area: 0.63 Acres

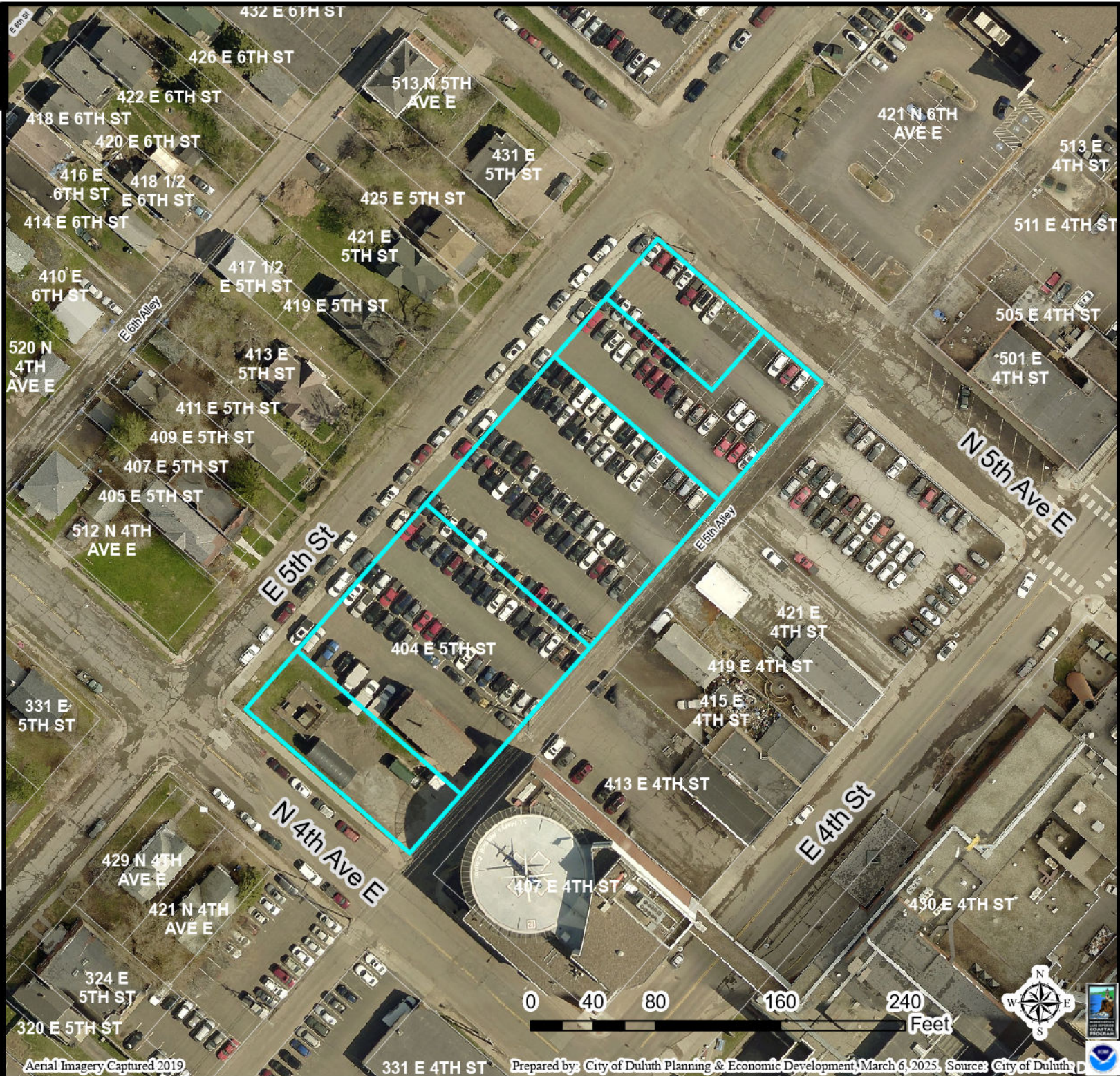
Plot Size: 11"x17"

Drawing scale: 1"=30'

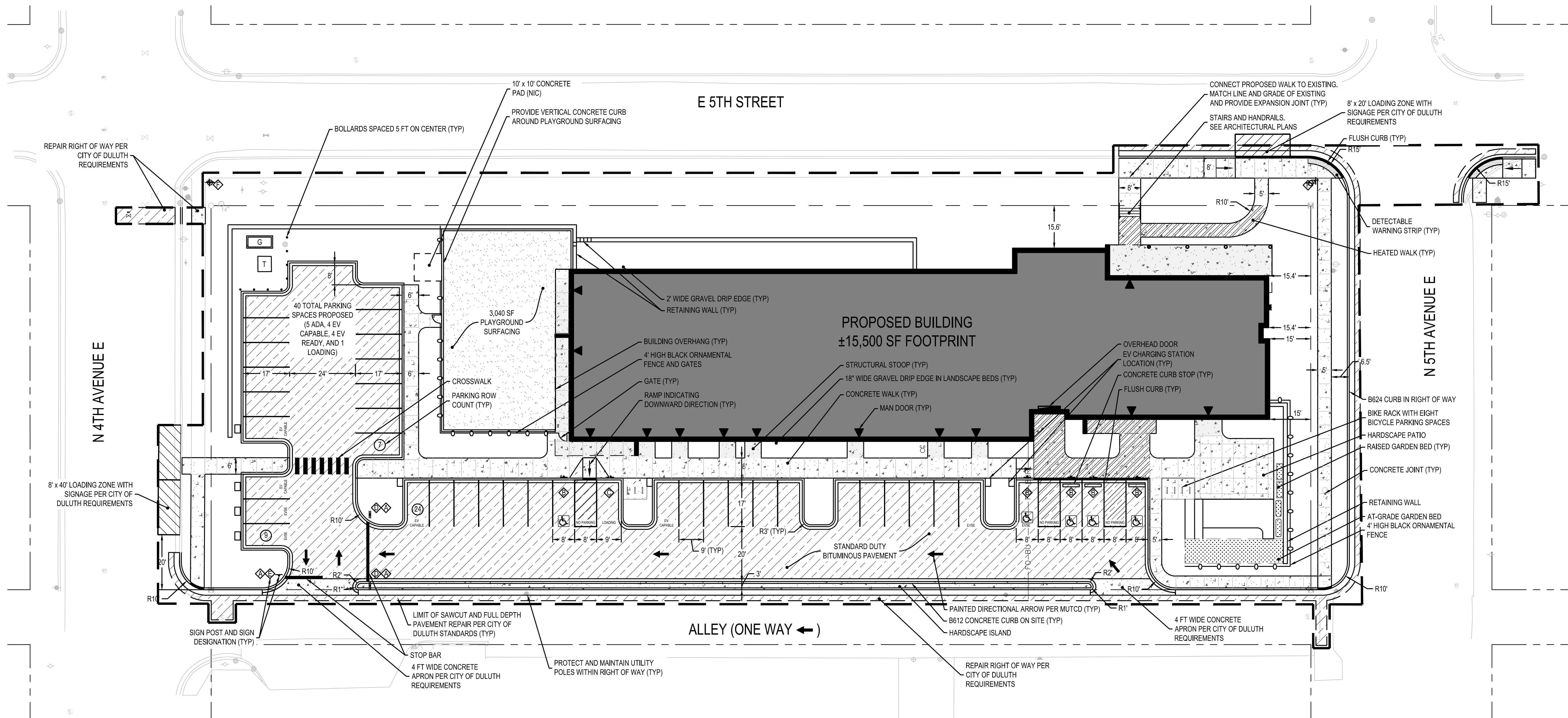




PLSUP-2504-0049
Special Use Permit
404 E 5th St



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THIS SQUARE APPEARS 1/2" x 1/2"
ON FULL SIZE SHEETS

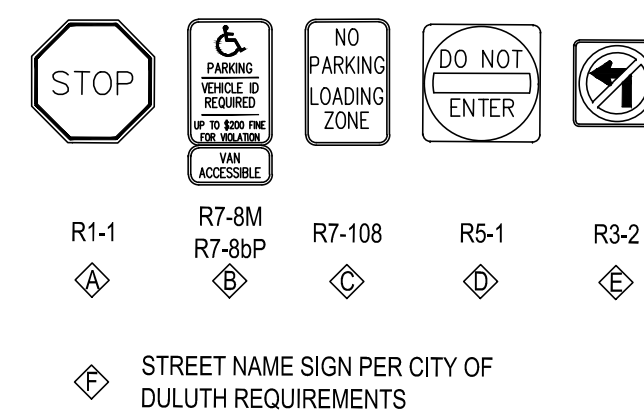
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2	10/11/2024	75% CD REVIEW SET
1	08/02/2024	50% DD PRICING SET
NO	DATE	ISSUED FOR

NO	DATE	REVISION
----	------	----------

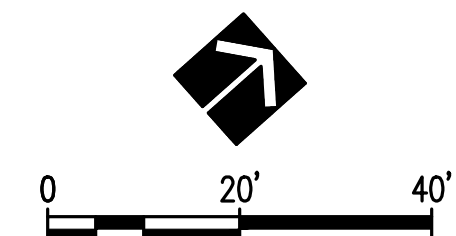
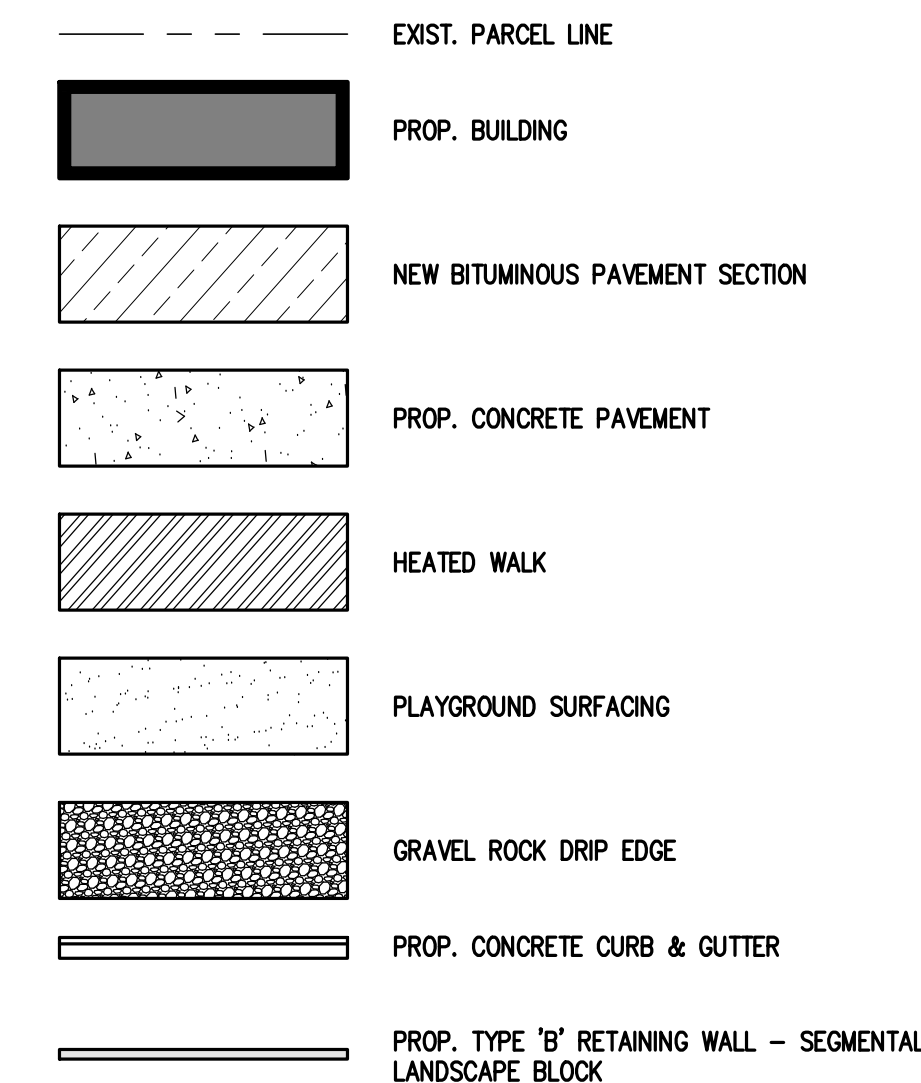
SHEET NOTES

1. ALL NEW CURBING ON SITE SHALL BE MOUNTABLE TYPE PROFILE B612. ALL NEW CURBING WITHIN THE RIGHT OF WAY SHALL BE PROFILE TYPE B624.
2. PARKING LOT STRIPPING SHALL BE 4" WIDE ZONE AND MARKING PAINT: MPI NO. 97 LATEX TRAFFIC MARKING PAINT, WHITE.
3. ELECTRIC VEHICLE PARKING SPACES
 - 3.1. EVSE: ALL ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED INCLUDING CHARGING STATION AND SIGNAGE.
EV CAPABLE: INSTEAD OF ELECTRICAL INFRASTRUCTURE NECESSARY FOR CONNECTION TO EVSE BUT DOES NOT INCLUDE INSTALL. OF CHARGING STATION OR SIGNAGE.
 - 3.3. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.

SIGN LEGEND



SHEET LEGEND



WARNING
LOCATION OF ALL UNDERGROUND
UTILITIES SHALL BE VERIFIED BY
THE CONTRACTOR.
CALL BEFORE DIGGING

MINNESOTA
ONE-CALL SYSTEM
1-800-252-1166
REQUIRED BY
MN STATUTE 216D

PRELIMINARY
NOT FOR CONSTRUCTION
11/15/2024

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PROJECT NAME:
BRAE VIEW APARTMENTS

DRAWING TITLE:
**LAYOUT AND
SURFACING PLAN**

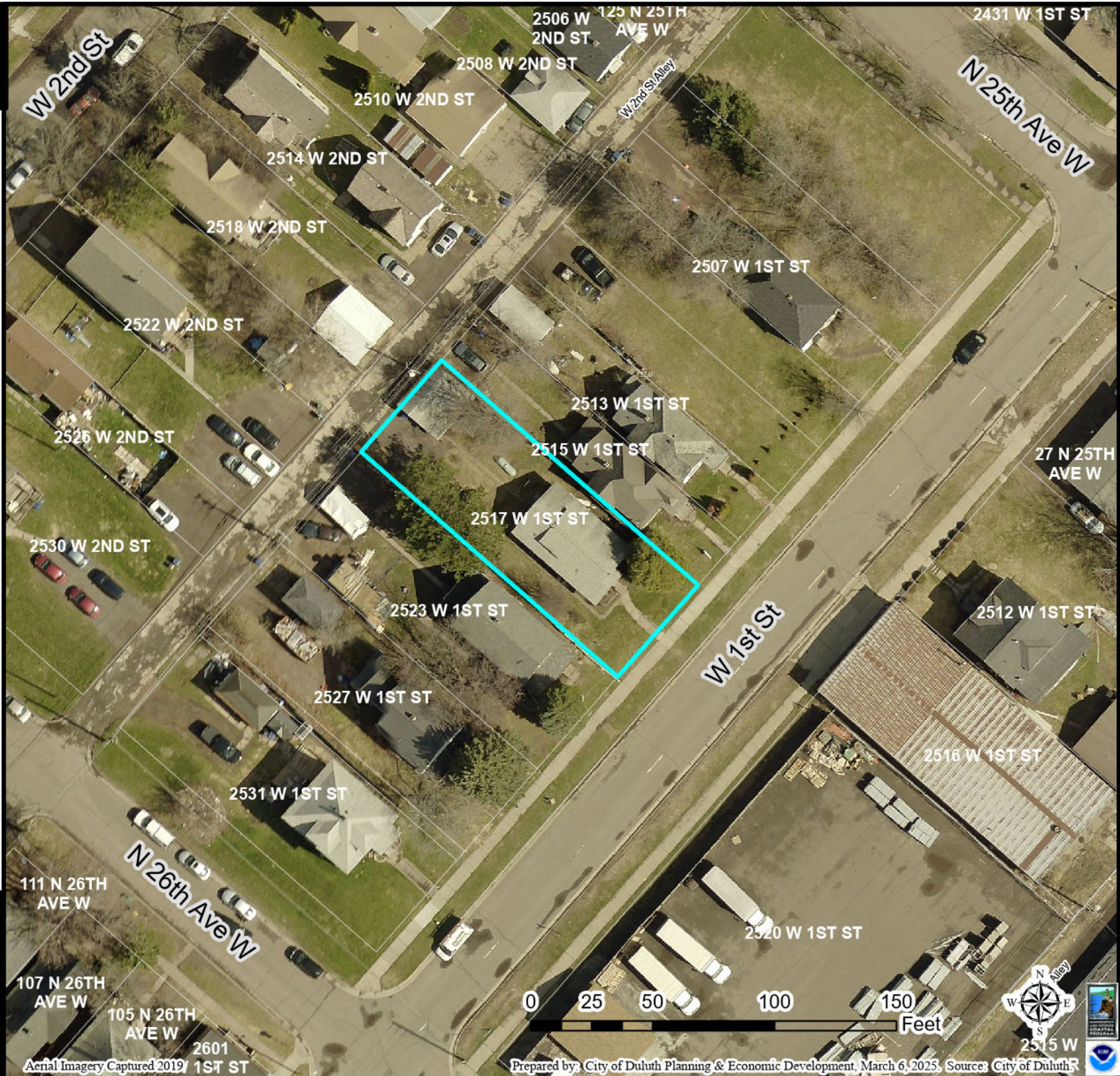
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CHECKED BY: KMS
PROJ. NO: 210808
DRAWING NO:

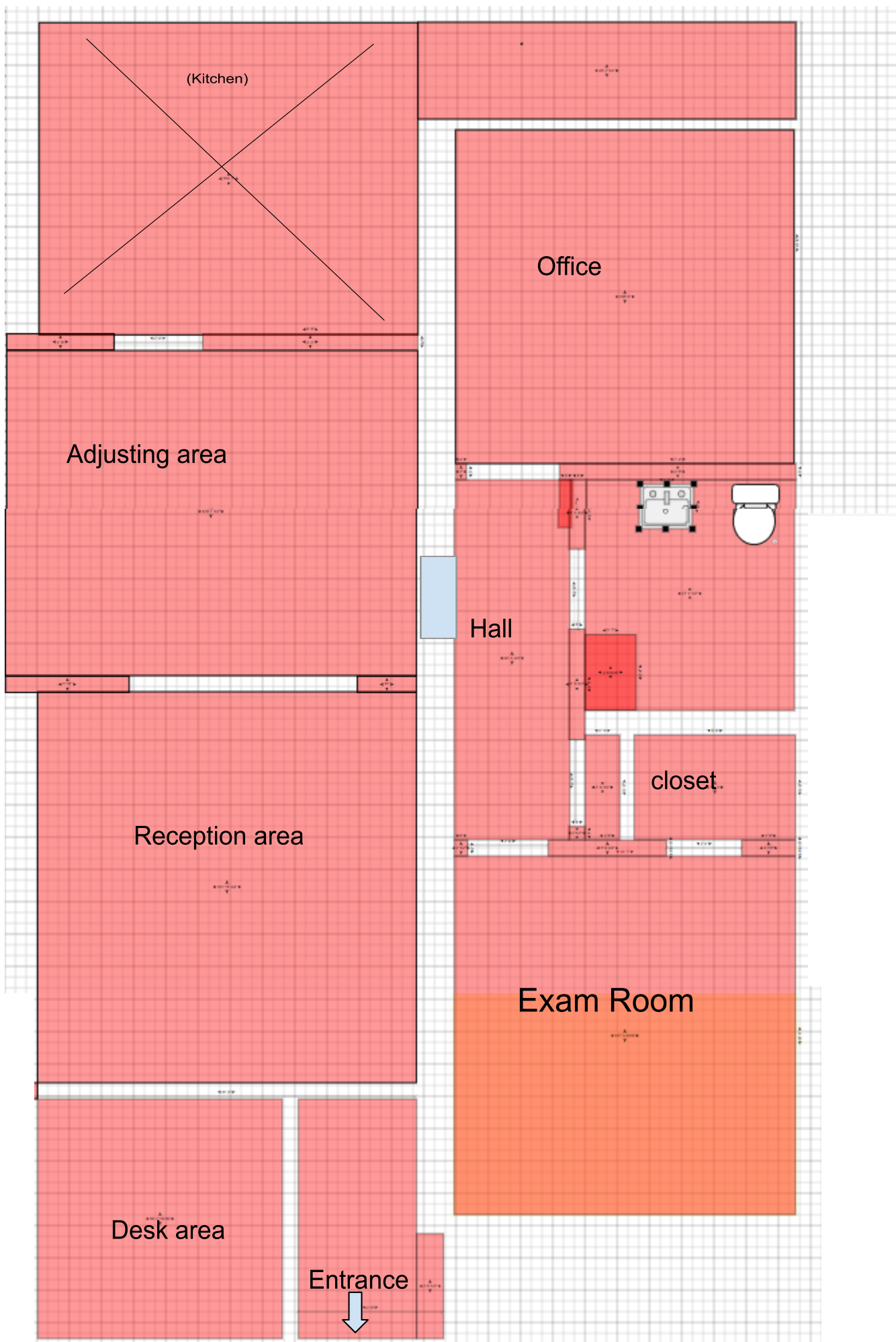
C401



PLSUP-2504-0052
Special Use Permit
2517 W 1st St

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PLCUP-2503-0001
Concurrent Use Permit
333 E Superior St

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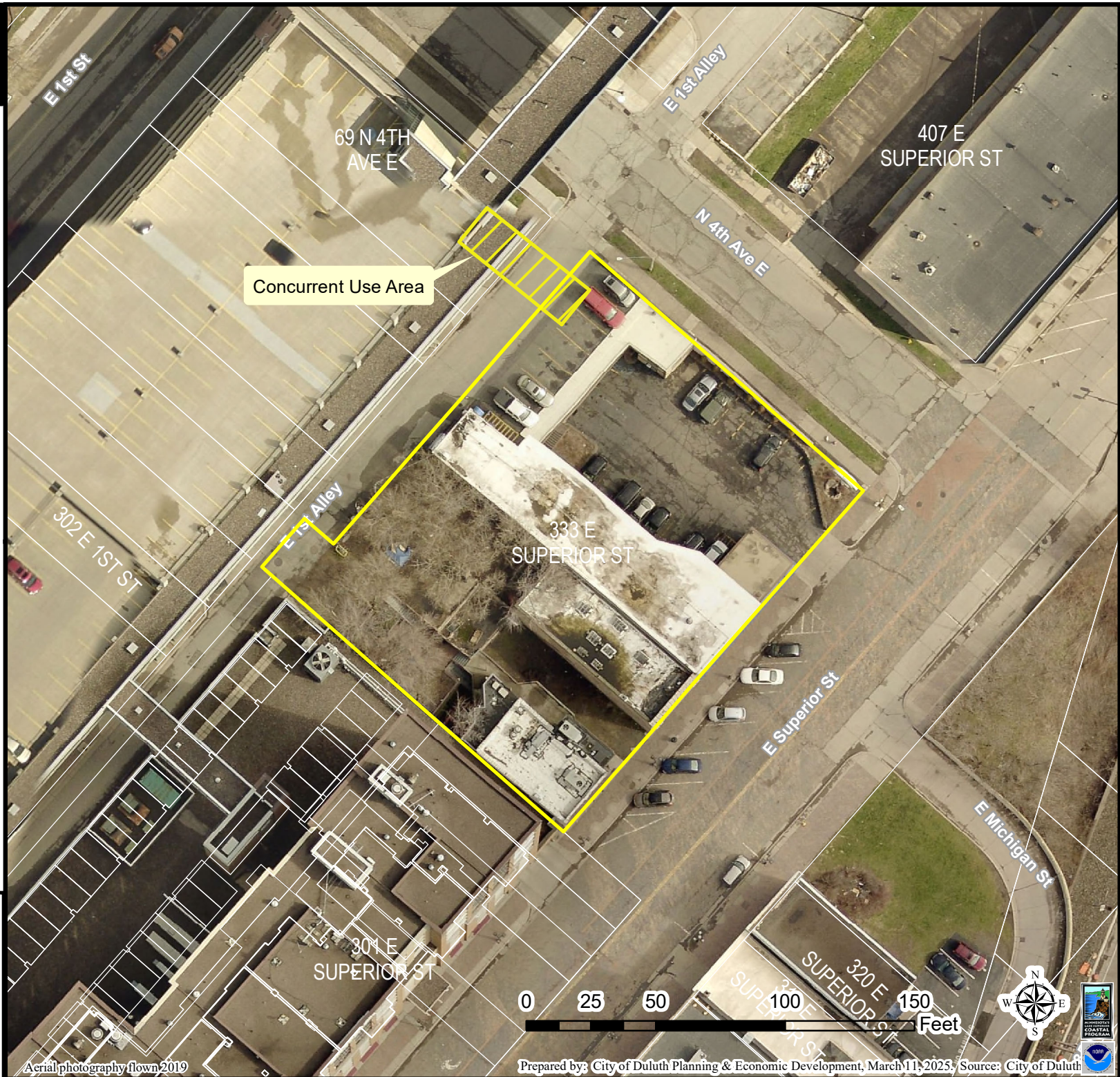



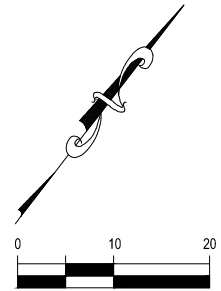
EXHIBIT CONCURRENT USE

SKYWALK

part of FIRST STREET ALLEY
PORTLAND DIVISION OF DULUTH

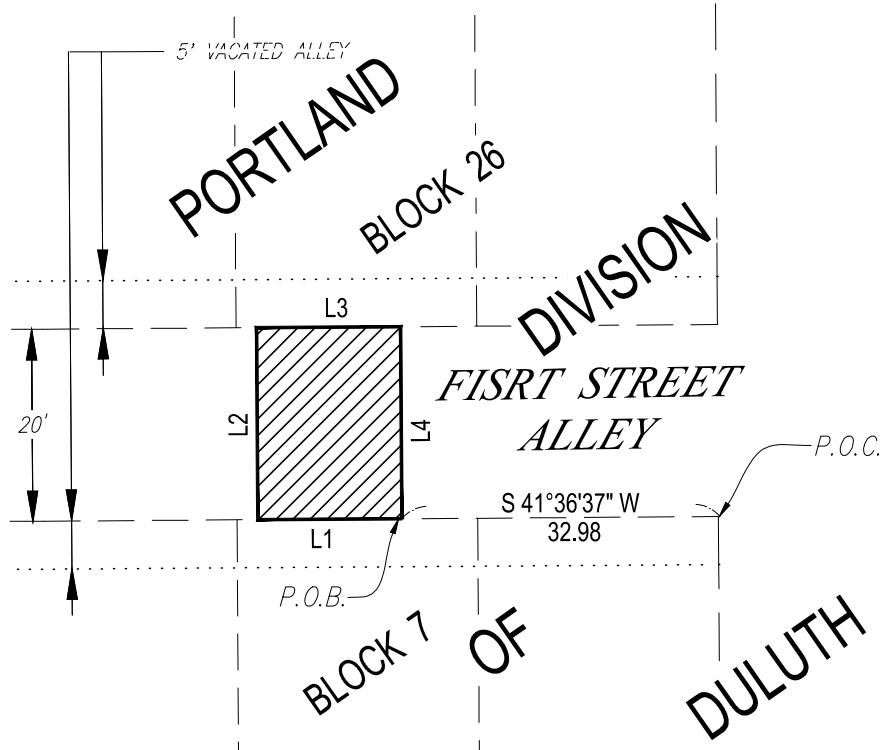
LEGEND

 = CONCURRENT USE AREA



APPROVED BY:

CITY ENGINEER



FOURTH AVENUE EAST

BLOCK 25

BLOCK 8

DESCRIPTION

THAT PART OF THE 20 FOOT WIDE FIRST STREET ALLEY BETWEEN ELEVATIONS 691.50 AND 709.00 (NORTH AMERICAN DATUM OF 1988 (NAVD 88) COMMENCING AT THE INTERSECTION OF THE NORTHWESTERLY EXTENSION OF THE NORTHEASTERLY LINE OF BLOCK 7, PORTLAND DIVISION OF DULUTH, CITY OF DULUTH, ST. LOUIS COUNTY, MINNESOTA AND THE SOUTHEASTERLY LINE OF FIRST STREET ALLEY; THENCE SOUTH 41 DEGREES 36 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE OF FIRST STREET ALLEY, A DISTANCE OF 32.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 41 DEGREES 36 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE OF SAID FIRST STREET ALLEY, A DISTANCE OF 15.00 FEET; THENCE NORTH 48 DEGREES 23 MINUTES 04 SECONDS WEST, A DISTANCE OF 20.00 FEET TO THE NORTHWESTERLY LINE OF SAID FIRST STREET ALLEY; THENCE NORTH 41 DEGREES 36 MINUTES 37 SECONDS EAST ALONG SAID NORTHWESTERLY LINE OF SAID FIRST STREET ALLEY, A DISTANCE OF 15.00 FEET; THENCE SOUTH 48 DEGREES 23 MINUTES 04 SECONDS EAST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

LINE TABLE

LINE	BEARING	LENGTH
L1	S 41°36'37" W	15.00
L2	N 48°23'23" W	20.00
L3	N 41°36'37" E	15.00
L4	S 48°23'23" E	20.00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Paul A. Vogel

License # 44075

Signature: 

Date: 03/10/2025

DATE PREPARED: 03/10/25

PROJ NO: 220747

FILE: 220747 Skywa

SHEET 1 of 1 SHEETS



21 W. Superior St., Ste. 500 | Duluth, MN 55802 | 218.727.8446



PLSUB-2504-0005
Minor Subdivision
930 Swan Lake Rd



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Aerial Imagery Captured 2019

Prepared by: City of Duluth Planning & Economic Development, March 6, 2025. Source: City of Duluth.



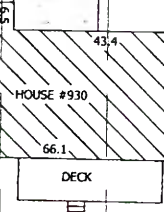


OAK ST
(NOT BUILT)

SWAN LAKE ROAD

CL OF SWAN LAKE RD
AS TRAVELLED

PARCEL B
31,859 Sq. Feet
0.73 Acres
BERG ALVIN & NELSON VINCENT
PID NO. 010-0890-00650



MAPLE GROVE ROAD
(NOT BUILT)

S89°36'39\"W 286.01

PARCEL A
11,223 Sq. Feet
0.26 Acres
BERG ALVIN & NELSON VINCENT
PID NO. 010-0890-00650

VACATED ALLEY

N00°04'20\"E 125.00

83.78(M) 84.4(R)
N00°04'20\"E 83.85
83.91(M) 84.4(R)

S89°55'40\"E 133.00

BASSWOOD AVE
(HIGHLAND AVENUE PER PLAT)

CERTIFICATE OF SURVEY

CLIENT: ALVIN BERG

ADDRESS: 330 SWAN LAKE ROAD

SUITY: 1N 55E11

DATE: 10/2/2024

REVISIONS:

JOB NO: 24-297

SHEET 7 OF 7

ALTA























LAND SURVEY COMPANY

1000 N. 17TH AVE. SUITE 100

MINNEAPOLIS, MN 55412

WWW.ALTA-SURVEY.COM

LEGEND

	CONCRETE SURFACE
	BITUMINOUS SURFACE
	GRAVEL SURFACE
	EXISTING BUILDINGS
	(M)-FIELD MEASURED DIMENSION
	(R)-RECORD DIMENSION
	C/-CENTER LINE
	OVERHEAD UTILITIES
	SECTION SUBDIVISION LINE
	CENTER LINE
	RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	BOUNDARY LINE AS SURVEYED
	EXISTING PLAT LINE
	PROPOSED PARCEL LINE
	⊕ GAS METER
	Ⓝ REFER TO SURVEYOR'S NOTES
	□ AC UNIT
	◆ FOUND CAPPED REBAR RLS. NO. 49505
	○ SET CAPPED REBAR RLS. NO. 49505
	⊖ ELEC METER
	● UTILITY POLE

SURVEYOR'S NOTES

1. STREET AND UTILITY EASEMENT PER TORRENS DOCUMENT NO. 1061361.
2. VACATED ALLEY LYING BLOCK 2 PER DOCUMENT NO. 1077536.
3. THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR SHOWING THE LOCATION OF RECORDED OR UNRECORDED EASEMENTS OR OTHER ENCUMBRANCES NOT PROVIDED TO THE SURVEYOR AS OF THE DATE OF THE SURVEY.
4. BEARINGS ARE BASED ON THE ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996. (NAD 83 2011)
5. NO SPECIFIC SOILS INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY ALTA LAND SURVEY COMPANY. THE SUITABILITY OF SOILS TO SUPPORT THE SPECIFIC STRUCTURE PROPOSED IS NOT THE RESPONSIBILITY OF ALTA LAND SURVEY COMPANY OR THE SURVEYOR.

PARENT LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 365364

Lot 25 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 27 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 29 Block 2 DULUTH HEIGHTS SIXTH DIVISION

PARENT LEGAL DESCRIPTION PER DOCUMENT NO. 1447664

Lot 31 and Lot 33, Block 2, DULUTH HEIGHTS SIXTH DIVISION

PARENT LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 353760

Lot 35 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 36 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 37 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 38 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 39 Block 2 DULUTH HEIGHTS SIXTH DIVISION
Lot 40 Block 2 DULUTH HEIGHTS SIXTH DIVISION

LEGAL DESCRIPTION FOR PARCEL A

Lots 36, 38 and 40, Block 2, DULUTH HEIGHTS SIXTH DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, including the East 8 feet of the vacated 16 foot wide alley adjacent. Said parcel contains 11,223 Sq. Feet or 0.26 Acres.

LEGAL DESCRIPTION FOR PARCEL B

Lots 25, 27, 29, 31, 33, 35, 37 and 39, Block 2, DULUTH HEIGHTS SIXTH DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, including the West 8 feet of the vacated 16 foot wide alley adjacent. Said parcel contains 31,895 Sq. Ft or 0.73 Acres.

CERTIFICATE OF SURVEY

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor under the laws of the State of Minnesota. David R. Evans David R. Evans MIN. LICENSE # 49505		CLIENT: ALVIN BERG ADDRESS: 930 SUWAN LAKE ROAD DULUTH, MN 55811 DATE: 10-02-2024	REVISIONS: DATE: 10-02-2024	JOB NO: 24-092 SHEET 1 OF 2
---	--	--	--------------------------------	-----------------------------





PLSUB-2502-0001
Vacation of Easement
230 W 3rd St



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Aerial Imagery Captured 2019

Prepared by: City of Duluth Planning & Economic Development, March 6, 2025, Source: City of Duluth.

CERTIFICATE OF SURVEY FOR:
Kimley-Horn and Associates

PROPOSED LEGAL DESCRIPTION:

Proposed Parcel 3-1

That part of Lot 2, Block 1, JIGSAW, St. Louis County, Minnesota lying easterly of and adjoining the following described line:

Commencing at the southwest corner of Lot 1, Block 1, JIGSAW; thence North 89 degrees 48 minutes 59 seconds East, assumed bearing, along the south line of said Lots 1 and 2, a distance of 250.69 feet to the point of beginning of the line to be described; thence North 00 degrees 00 minutes 00 seconds East, a distance of 72.36 feet; thence North 21 degrees 59 minutes 16 seconds East, a distance of 161.17 feet to the northerly line of said Lot 2 and said line there terminating.

And lying westerly of and adjoining the following described line:

Commencing at the southwest corner of Lot 1, Block 1, JIGSAW; thence North 89 degrees 48 minutes 59 seconds East, assumed bearing, along the south line of said Lots 1 and 2, a distance of 332.39 feet to the point of beginning of the line to be described; thence North 21 degrees 59 minutes 06 seconds East, a distance of 197.44 feet to the northerly line of said Lot 2 and said line there terminating.

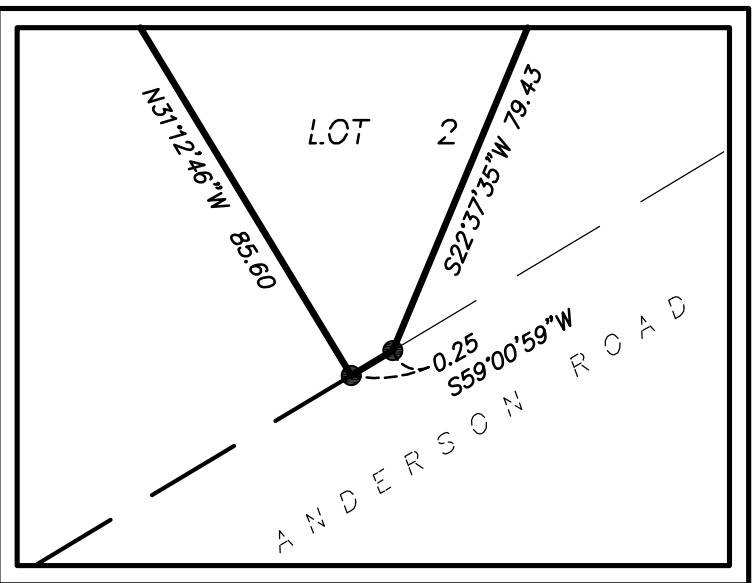
(Said Parcel 3-1 Contains 21,379 square feet or 0.49079 acres)

Proposed Parcel 3-2

That part of Lot 2, Block 1, JIGSAW, St. Louis County, Minnesota lying easterly of and adjoining the following described line:

Commencing at the southwest corner of Lot 1, Block 1, JIGSAW; thence North 89 degrees 48 minutes 59 seconds East, assumed bearing, along the south line of said Lots 1 and 2, a distance of 332.39 feet to the point of beginning of the line to be described; thence North 21 degrees 59 minutes 06 seconds East, a distance of 197.44 feet to the northerly line of said Lot 2 and said line there terminating.

(Said Parcel 3-2 Contains 57,291 square feet or 1.31522 acres)



DETAIL
NOT TO SCALE

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		SPK	NO.	DATE	DESCRIPTION
		DRAWN BY:			
		LS			
		PMD			
DRAWING NAME:		CHECKED BY:			
.42410 PARCEL 3 CERT 2024.dwg		CAI			
JOB NO. 42410					
FILE NO. 6011					

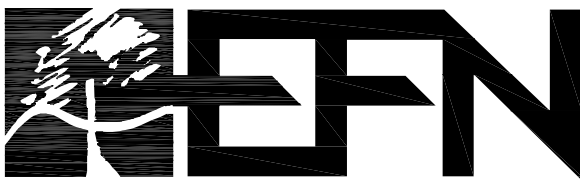
CERTIFICATE
OF SURVEY

SURVEY FOR:

Kimley-Horn and Associates

PROPERTY ADDRESS:

421 Anderson Road
Duluth, Minnesota 55811



Egan, Field & Nowak, Inc.
land surveyors since 1872

475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM

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CERTIFICATE OF SURVEY FOR:
Kimley-Horn and Associates

EXISTING LEGAL DESCRIPTION:

That part of Lot 2, Block 1, JIGSAW, St. Louis County, Minnesota lying easterly of and adjoining the following described line:

Commencing at the southwest corner of Lot 1, Block 1, JIGSAW; thence North 89 degrees 48 minutes 59 seconds East, assumed bearing, along the south line of said Lots 1 and 2, a distance of 250.69 feet to the point of beginning of the line to be described; thence North 00 degrees 00 minutes 00 seconds East, a distance of 72.36 feet; thence North 21 degrees 59 minutes 16 seconds East, a distance of 161.17 feet to the northerly line of said Lot 2 and said line there terminating.

NOTES:

- The orientation of this bearing system is based on the St. Louis County Transverse Mercator coordinate grid (NAD 83-96 Adj.).
- The total area of the property described hereon is 78,670 square feet or 1.80601 acres.
- Title work was not furnished to Egan, Field & Nowak, Inc. for the preparation of this survey to verify ownership, the legal description, or the existence of any easements or encumbrances.

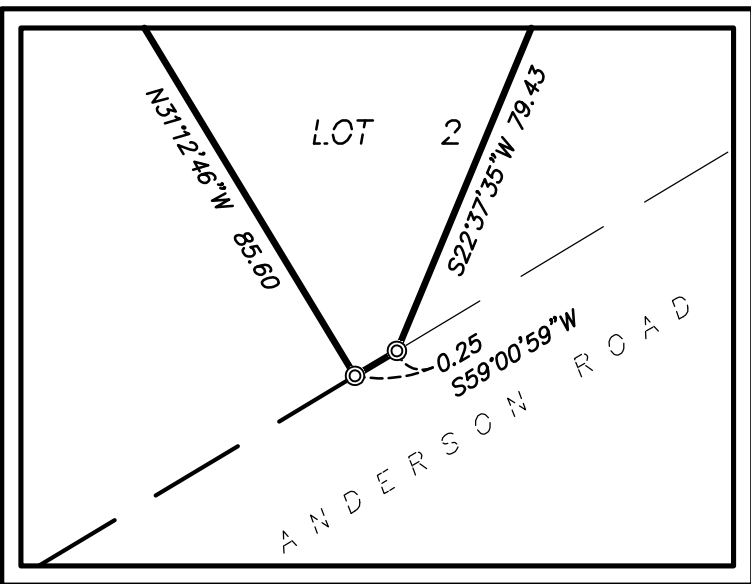
CERTIFICATION:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

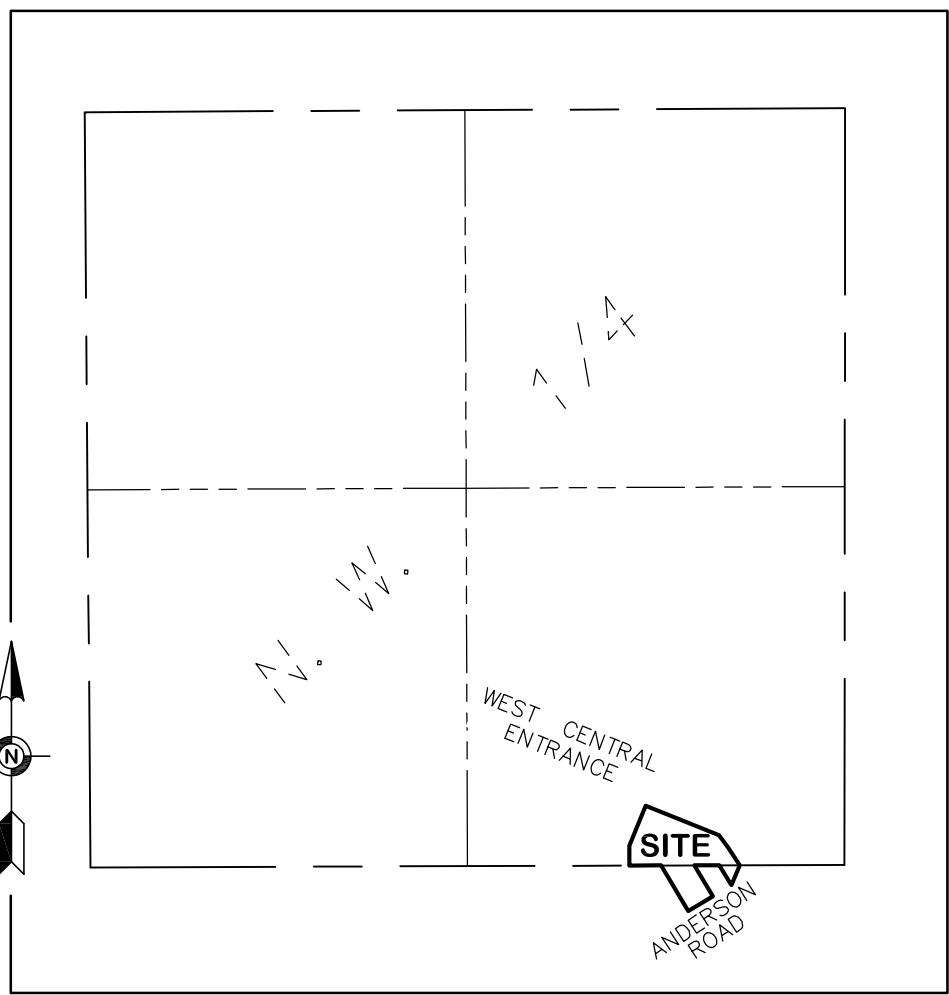
Date of survey: March 12, 2018.
Date of signature: December 23, 2024.

Christopher A. Terwedo

Christopher A. Terwedo
Minnesota License No. 53536
cterwedo@efnsurvey.com



DETAIL
NOT TO SCALE



VICINITY MAP

NORTHWEST 1/4, SECTION 20, TOWNSHIP 50 NORTH, RANGE 14 WEST
NOT TO SCALE

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		SPK	NO.	DATE	DESCRIPTION
		DRAWN BY:			
		LS			
		PMD			
DRAWING NAME:		CHECKED BY:			
42410 PARCEL 3 CERT 2024.dwg		CAI			
JOB NO. 42410					
FILE NO. 6011					

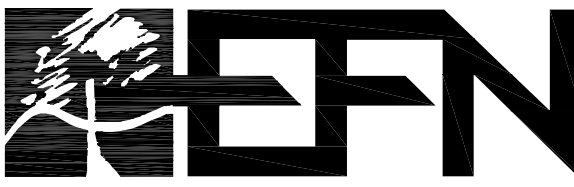
CERTIFICATE
OF SURVEY

SURVEY FOR:

Kimley-Horn and Associates

PROPERTY ADDRESS:

421 Anderson Road
Duluth, Minnesota 55811



Egan, Field & Nowak, Inc.
land surveyors since 1872

475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
FAX: (612) 466-3383
WWW.EFNSURVEY.COM

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PLUMA-2503-0002

Rezone to R-1
N 46th Ave E

Legend

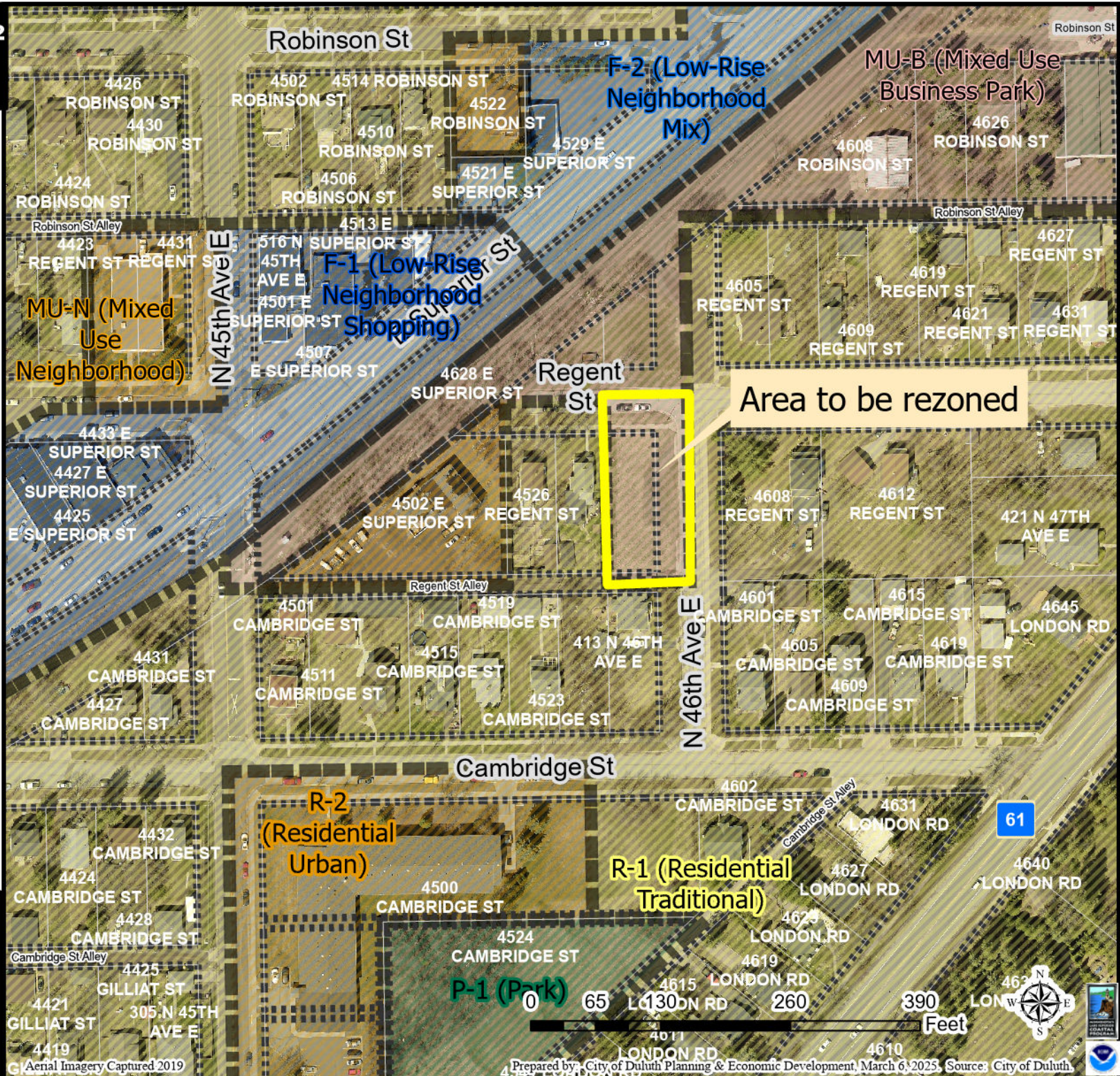
- Zoning Boundaries
- Road or Alley ROW
- County Parcel Data

Zoning

UDC Zoning

- F-1 (Low-Rise Neighborhood Shopping)
- F-2 (Low-Rise Neighborhood Mix)
- R-1 (Residential Traditional)
- R-2 (Residential Urban)
- MU-N (Mixed Use Neighborhood)
- MU-B (Mixed Use Business Park)
- P-1 (Park)

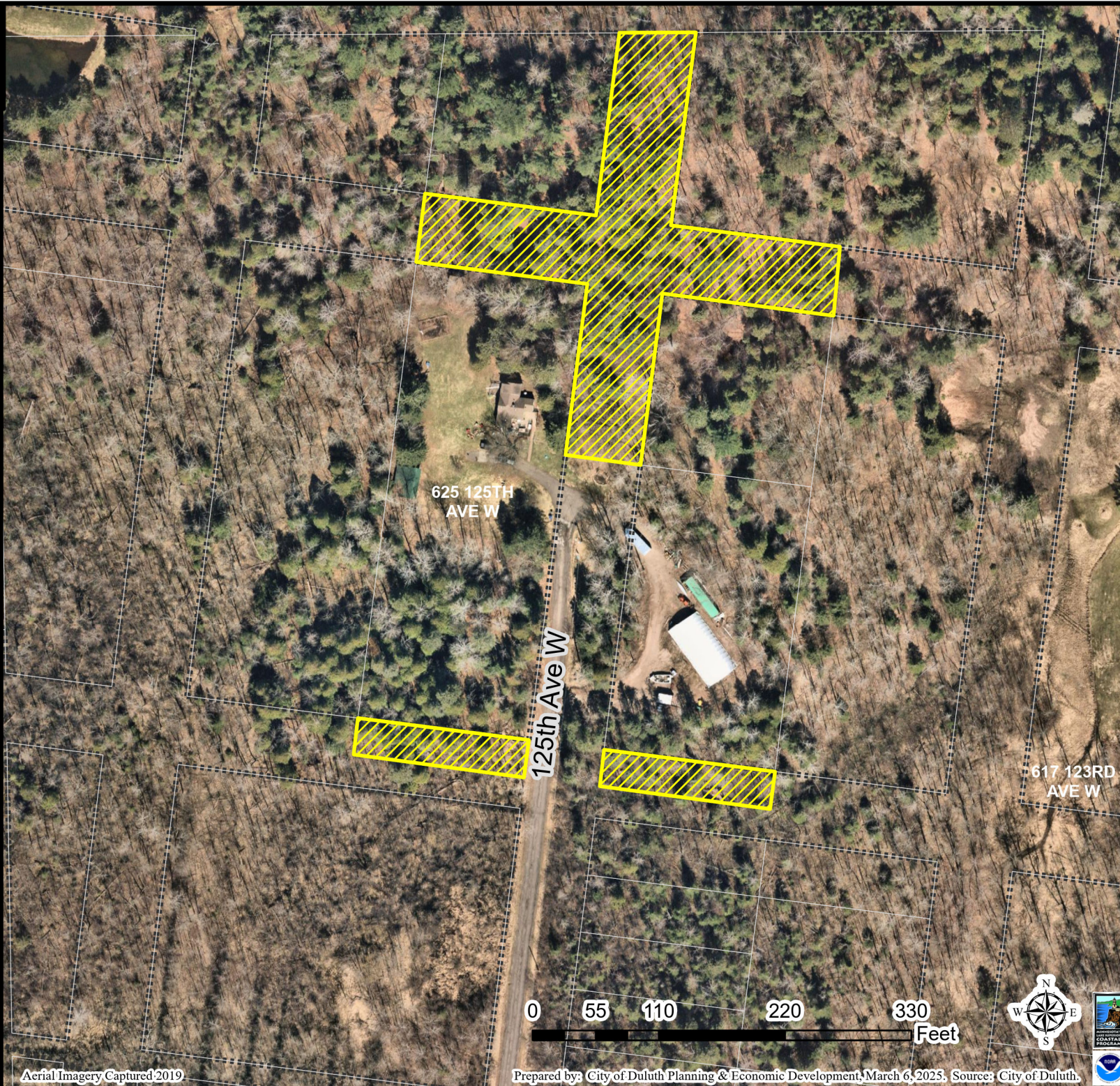
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PLVAC-2502-0002

Vacation of Street/Easement
625 125th Ave W



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Aerial Imagery Captured 2019

Prepared by: City of Duluth Planning & Economic Development, March 6, 2025. Source: City of Duluth.

LEGAL DESCRIPTION OF PORTION OF THIRD AVENUE RIGHT OF WAY TO BE VACATED

That part of Third Avenue lying adjacent to and abutting to Lot 1, Block 9, Lot 16, Block 10, Lot 1, Block 21 and Lots 1, 2 and 3, Block 22, EAST FOND DU LAC, according to the recorded plat thereof, St. Louis County, Minnesota, which lies East of the West line of said Lot 1, Block 9 and its Northerly extension across said Third Avenue and lying West of the East line of said Lot 16, Block 10 and its Northerly extension across said Third Avenue.

Said right of way vacation contains 21,960 Sq. Feet or 0.50 Acres.

LEGAL DESCRIPTION OF PORTION OF 125TH AVENUE WEST (SECOND STREET PER PLAT) RIGHT OF WAY TO BE VACATED

That part of Second Street, also known as 125th Avenue West lying adjacent to and abutting to Lots 1, 2 and 3, Block 9, Lots 14, 15 and 16, Block 10, Lots 1 and 2, Block 21 and Lot 1, Block 22, EAST FOND DU LAC, according to the recorded plat thereof, St. Louis County, Minnesota, which lies South of the North line of the said EAST FOND DU LAC and lying North of the South line of said Lot 14, Block 10 and its Westerly extension across said Second Street.

Said right of way vacation contains 24,724 Sq. Feet or 0.57 Acres.

LEGAL DESCRIPTION OF PORTION OF SECOND AVENUE RIGHT OF WAY TO BE VACATED WITH RETAINED UTILITY EASEMENT

That part of Second Avenue lying adjacent to and abutting to Lot 8, Block 9, EAST FOND DU LAC, according to the recorded plat thereof, St. Louis County, Minnesota, which lies East of the West line of said Lot 8, Block 9 and its Southerly extension and lying West of the East line of said Block 9 and its Southerly extension. Said right of way vacation with retained utility easement contains 4,500 Sq. Ft or 0.10 Acres.

LEGAL DESCRIPTION OF PORTION OF SECOND AVENUE RIGHT OF WAY TO BE VACATED WITH RETAINED UTILITY EASEMENT

That part of Second Avenue lying adjacent to and abutting to Lot 9, Block 10, EAST FOND DU LAC, according to the recorded plat thereof, St. Louis County, Minnesota, which lies East of the West line of said Block 10 and its Southerly extension and lying West of the East line of said Lot 9, Block 10 and its Southerly extension. Said right of way vacation with with retained utility easement contains 4,500 Sq. Ft or 0.10 Acres.

LINE	BEARING	DISTANCE
L1	N82°16'12"W	150.00
L2	S07°43'48"W	30.00
L3	S82°16'12"E	150.00
L4	N07°43'48"E	30.00
L5	N82°16'12"W	150.00
L6	S07°43'48"W	30.00
L7	S82°16'12"E	150.00
L8	N07°43'48"E	30.00
L9	N07°43'48"E	150.00
L10	S82°16'12"E	150.00
L11	N07°43'48"E	60.00
L12	N82°16'12"W	150.00
L13	N07°43'48"E	169.01
L14	N89°52'26"W	66.59
L15	S07°43'48"W	160.20
L16	N82°16'12"W	150.00
L17	S07°43'48"W	60.00
L18	S82°16'12"E	150.00
L19	S07°43'48"W	150.00
L20	S82°16'12"E	66.00

LEGEND



RIGHT OF WAY VACATION WITH
RETAINED UTILITY EASEMENT AREA

RIGHT OF WAY
VACATION AREA

— — — — — CENTER LINE
— — — — — RIGHT OF WAY LINE
— ... — ... — RIGHT OF WAY VACATION LINE
— — — — — EXISTING PLAT LINE


Approved by the City Engineer of the City of
Duluth, MN this _____ day of _____ 20__

By _____

SURVEYOR'S NOTES

1. BEARINGS ARE BASED ON THE ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996. (NAD 83 2011)
2. THIS IS NOT A BOUNDARY SURVEY.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.


David R. Evanson
MN License #49505
DATE: 02-24-2025

RIGHT OF WAY VACATION EXHIBIT

CLIENT: REED & MISTICA BLAZEVIC

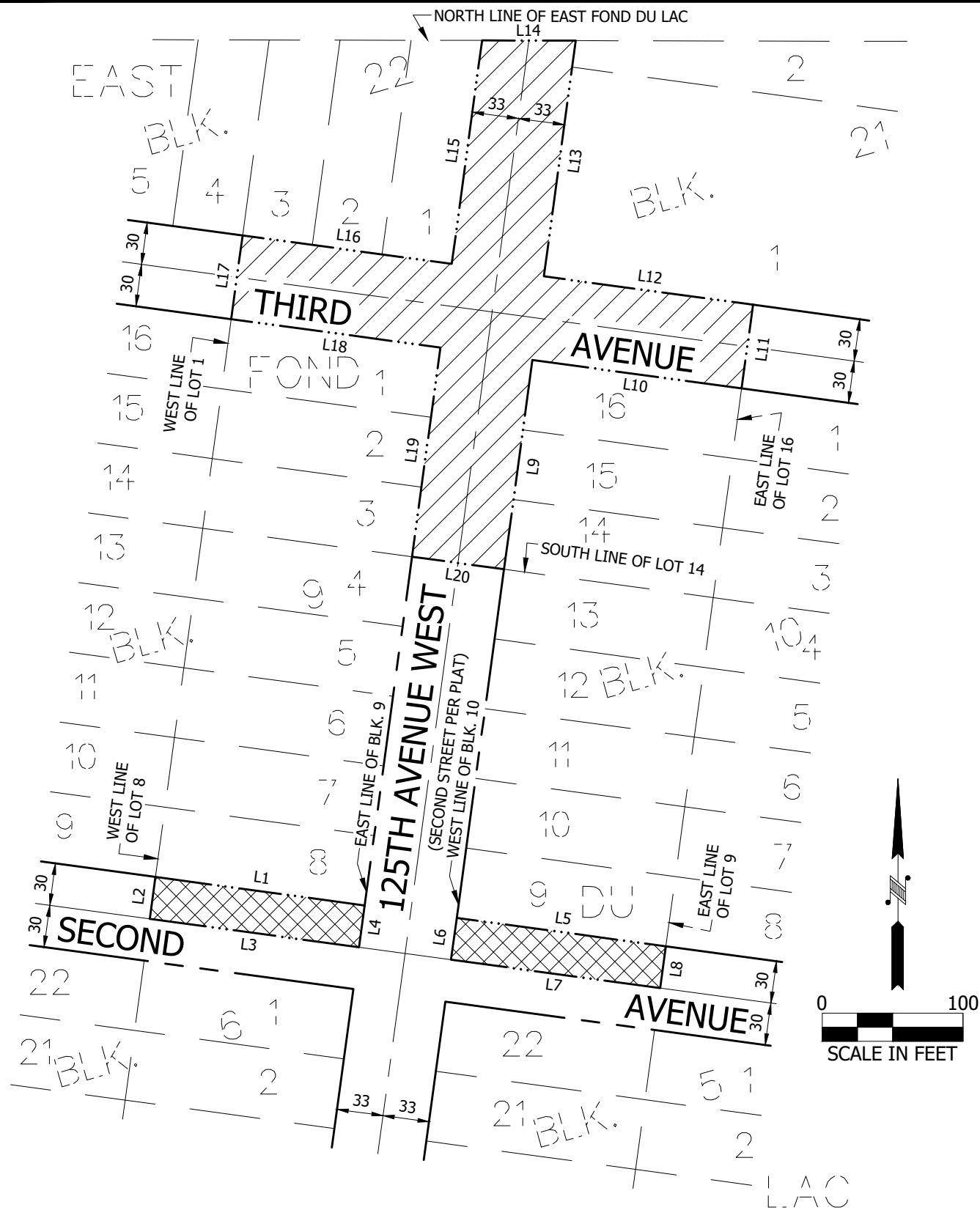
REVISIONS:

ADDRESS: 625 125TH AVE W
DULUTH, MN 55808

DATE: 02-24-2025

JOB NO: 25-029 SHEET 1 OF 2


ALTA
LAND SURVEY COMPANY
PHONE: 218-727-5211
LICENSED IN MN & WI
WWW.ALTLANDSURVEYDULUTH.COM



RIGHT OF WAY VACATION EXHIBIT

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SHEET 2 OF 2

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PLVAC-2504-0003
Vacation of Easement
2517 W 1st St



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

Aerial Imagery Captured 2019

Prepared by: City of Duluth Planning & Economic Development, March 6, 2025. Source: City of Duluth.

EXHIBIT A

VACATION EXHIBIT

VACATION DESCRIPTION:

Those parts of easement of slopes on West Third Street Alley affecting Lots Forty-four (44), Forty-six (46) and Forty-eight (48), DULUTH PROPER FIRST DIVISION WEST THIRD STREET, City of Duluth, St. Louis County, Minnesota as depicted on Condemnation Plat for Easement of Slopes on West Third Alley from Lake Avenue to Piedmont Avenue East as recorded in Condemnation Plats Book 1, Page 134, Registers File No. 5970, filed in the Office of the Register of Deeds on December 4, 1896, St. Louis County, Minnesota.

 = AREA TO BE VACATED

APPROVED BY:

 4-15-25
CITY ENGINEER

THIRD AVENUE WEST

WEST THIRD STREET

LOT 48

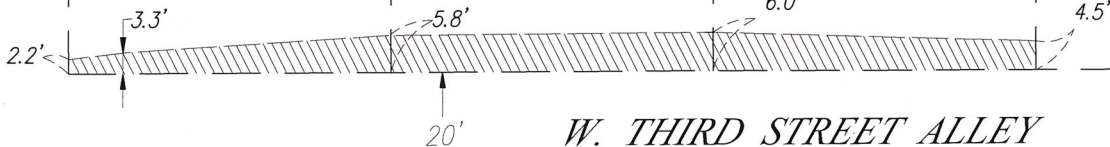
DULUTH PROPER

LOT 46

LOT 44

FIRST DIVISION

LOT 42



LOT 47

LOT 45

LOT 43

LOT 41

WEST SECOND STREET

DULUTH PROPER

FIRST DIVISION



(SCALE IN FEET)

Basis of Bearing is Grid North,
St. Louis County Transverse
Mercator 96 Coordinate System.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Paul A. Vogel

License # 44075

Signature: 

Date: 3/28/2025

REVISED: 3/28/25

DATE PREPARED: 3/25/25

PROJ NO: 240702

FILE: 240702vEXHIB

SHEET 1 of 1 SHEETS



21 W. Superior St., Ste. 500 | Duluth, MN 55802 |
218.727.8446

PLUTA-2503-0001 UDC Text Amendment to Trash Enclosure Screening

For more information please contact Chris Lee at clee@duluthmn.gov or 218-730-5304.