



Planning & Development Division
Planning & Economic Development Department

Room 160
411 West First Street
Duluth, Minnesota 55802

 218-730-5580

 planning@duluthmn.gov

TO:

Jean Coleman, Duluth City Attorney
Cheryl Skafte, Duluth Parks
Jim Filby Williams, Public Administration
Jim Benning, Duluth Public Works & Utilities
Tom Johnson, Duluth Project Engineer
Chris Kleist, Duluth Utility Operations
Cindy Voigt, Duluth City Engineer
Howard Smith, Duluth Project Engineer
Greg Guerro, Duluth Utility Ops Mngr
Peggy Billings, Engineering Technician
Bill Bergstrom, Engineering Technician
Cari Pederson, Chief Engineer of Transportation
Andy Swanson, Duluth Utility Operations
Tom Pfeffer, Duluth Chief Engineer-Utilities
Ryan Granlund, Duluth Utility Programs Coordinator
Shawn Krizaj, Duluth Fire Chief
Lisa Consie, Fire Marshal
Mike Ceynowa, Duluth Police
Mark Bauer, Duluth Parking
Jim Shoberg, Duluth Parks
Jessica Peterson, Duluth Parks
Cliff Bentley, MnDNR
John Hinzmann, MnDOT
Jim Miles, MnDOT
Clark Christensen, City of Duluth Forester
Ron Chika, MIC

Brandon Kohlts, WLSSD
Jim Foldesi, St Louis Co. Pub. Works
Stacy Caldwell Melcher, SLC County Land Dept.
Jill Helmer, Minnesota Power
Dean Dulinski, Minnesota Power
Sue Larkin, Lumen
Joe Kutter, CenturyLink/Lumen
Michael Coughlin, CenturyLink/Lumen
Darren Kitchak, Charter Spectrum
Chad Lawrence, Charter Spectrum
James Gittemeier, Planning & Development
Vacant, Planning and Economic Development Director
Adam Fulton, Planning & Economic Development
Steven Robertson, Duluth Construction Services
Blake Nelson, Building Inspector, CSI
Armella Bijold, Construction Services
Theresa Bajda, Planning & Development
Ryan Pervenanze, Planning & Development
Suzanne Kelley, Planning & Development
Jenn Reed Moses, Planning & Development
John Kelley, Planning & Development
Kyle Deming, Planning & Development
Chris Lee, Planning & Development
Chris Belden, DTA
Cliff Knettel, Duluth Parks
Cindy Stafford, Planning & Economic Development

DATE: March 22, 2024

SUBJECT: Planning Commission Meeting Agenda Items for **April 9, 2024** Meeting

The Duluth City Planning Commission has received **13** new application(s) for review. Please review the technical aspects and desirability of the proposals and provide comments at your earliest convenience. Note that City of Duluth reviewers with access to TRAKiT can view the applications there as well, under "project track."

- PL24-009** Proposed UDC Text Amendments to Sections 50-18.5, 50-19.8, 50-20.3, 50-41.2 and 50-41.8
- PL24-011** UDC Map Amendment- Rezoning to R-P at 3038 Bald Eagle Circle
- PL24-016** Proposed UDC Text Amendments to Sections 50-14.5, 50-14.6, and 50-15.2, Amending Dimensional Standards in the R-1, R-2, and MU-N Zone Districts
- PL24-017** Interim Use Permit for Vacation Dwelling Unit at 325 S Lake Ave
- PL24-021** Variance for Side Yard Setback at 1231 W 4th St
- PL24-022** Minor Subdivision at 30 W Linden St
- PL24-023** Variance for Rear Yard Setback at 228 N 25th Ave E
- PL24-024** Interim Use Permit for Vacation Dwelling Unit at 1615 E Superior St
- PL24-026** MU-W Planning Review at 800 Railroad St
- PL24-029** UDC Map Amendment- Rezoning at DLH Airport
- PL24-038** Interim Use Permit for Temporary Parking at 338 E Central Entrance
- PL24-039** Variance from Shoreland Setback at 5730 London Rd
- PL24-041** Variance for Rear Yard Setback at 1515 E 7th St

We appreciate your time and input. If you have any questions or comments, or need additional background information, please feel free to call me at 218-730-5331 or e-mail me at jmozol@duluthmn.gov. Thank you!

Jason Mozol, Planner I

CITY OF DULUTH
PUBLIC HEARING NOTICE

Notice is hereby given that the Duluth Planning Commission will have a meeting and conduct a public hearing on Tuesday, April 9, 2024, starting at 5:00 p.m. in the Council Chambers on the third floor of City of Duluth City Hall, and will consider the following items:

PL 24-009 – Proposed UDC Text Amendments to Sections 50-18.5, related to the Higher Education Overlay; 50-19.8, related to the Use Table; 50-20.3, related to use-specific standards for commercial uses; 50-41.2, related to the additional of a definition for Boutique Lodging; and 50-41.8, related to the definition of Hotel or motel.

PL 24-016 - Proposed UDC Text Amendments to Sections 50-14.5, 50-14.6, and 50-15.2, Amending Dimensional Standards in the R-1, R-2, and MU-N Zone Districts.

Additional information can be found at the City's website at:

<https://duluthmn.gov/boards-commissions/planning-commission/>

This meeting will be held in-person, and those wishing to comment must attend the meeting in person, or submit written comments in advance of the meeting. Written comments may be emailed to planning@duluthmn.gov or mailed to Planning and Development Division, Room 160 City Hall, 411 W. First St., Duluth, MN 55802.

TO BE PUBLISHED ON: Saturdays, March 23, March 30, and April 6

For questions about this ad, please contact:

City of Duluth Planning and Development

Room 160 City Hall

Duluth, MN 55802

Phone 218-730-5580

planning@duluthmn.gov



PL 24-011
Rezoning R-1 to R-P
Area Map

Legend
Zoning Boundaries

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R-P CONCEPT MAP



UDC ZONING MAP AMENDMENT: FROM: Residential-Traditional (R-1); TO: Residential-Planned (R-P)

PROPERTY TO BE REZONED

50-14.7.H.1.(a)

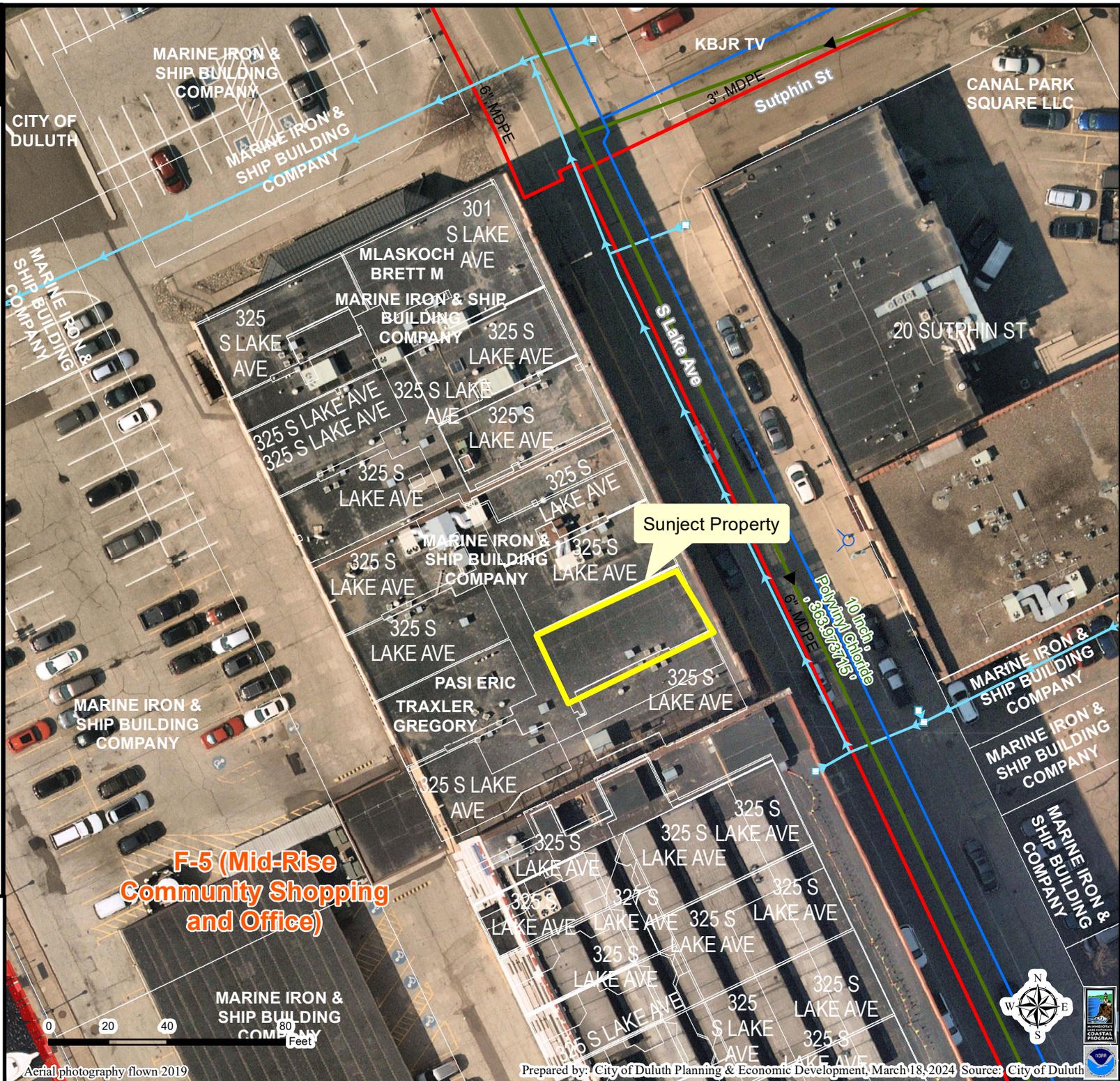
PLAN KEY	PARCEL NO.	LEGAL DESCRIPTION
<u>48</u>	010-0090-00480	Lot 48 AUDITOR'S PLAT OF LESTER PARK GARDEN TRACTS
<u>49</u>	010-0090-00490	Lot 49 AUDITOR'S PLAT OF LESTER PARK GARDEN TRACTS
<u>50</u>	010-0090-00500	Lot 50 AUDITOR'S PLAT OF LESTER PARK GARDEN TRACTS
<u>V</u>	Included above.	VACATION Document No. 346147.0
<u>18</u>	010-2119-00530	Lot Eighteen (18), Block Four (4), HAWK RIDGE ESTATES FIRST ADDITION



PL24-017
Interim Use Permit
325 S Lake Ave, 1303

Legend

- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains**
 - CITY OF DULUTH
 - WLSSD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- Pump Station
- Storm Sewer Mains**
 - Storm Sewer Pipe
 - Storm Sewer Catch Basin
- Zoning Boundaries**
 - Trout Stream (GPS)
 - Other Stream (GPS)

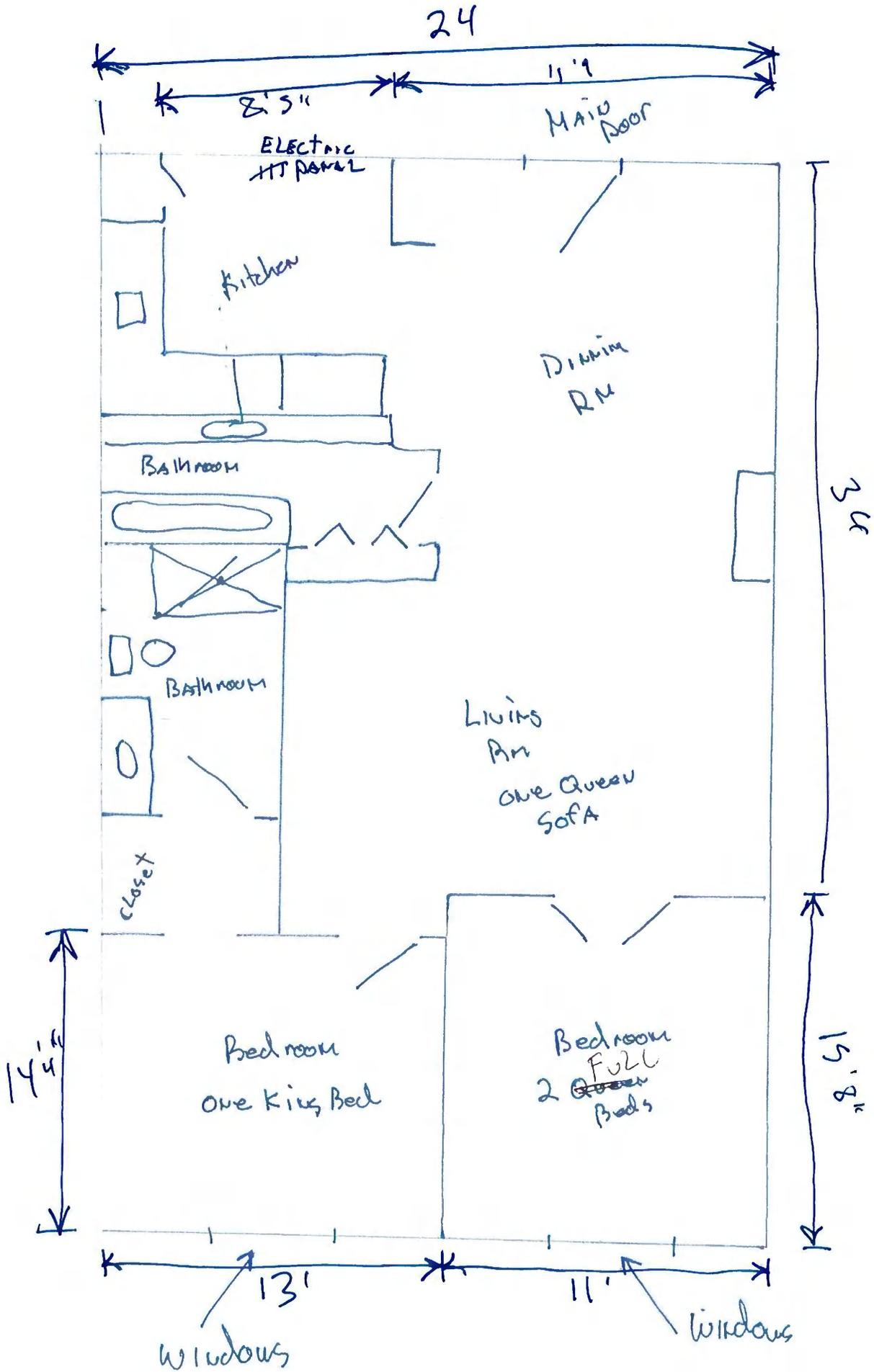


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Aerial photography flown 2019

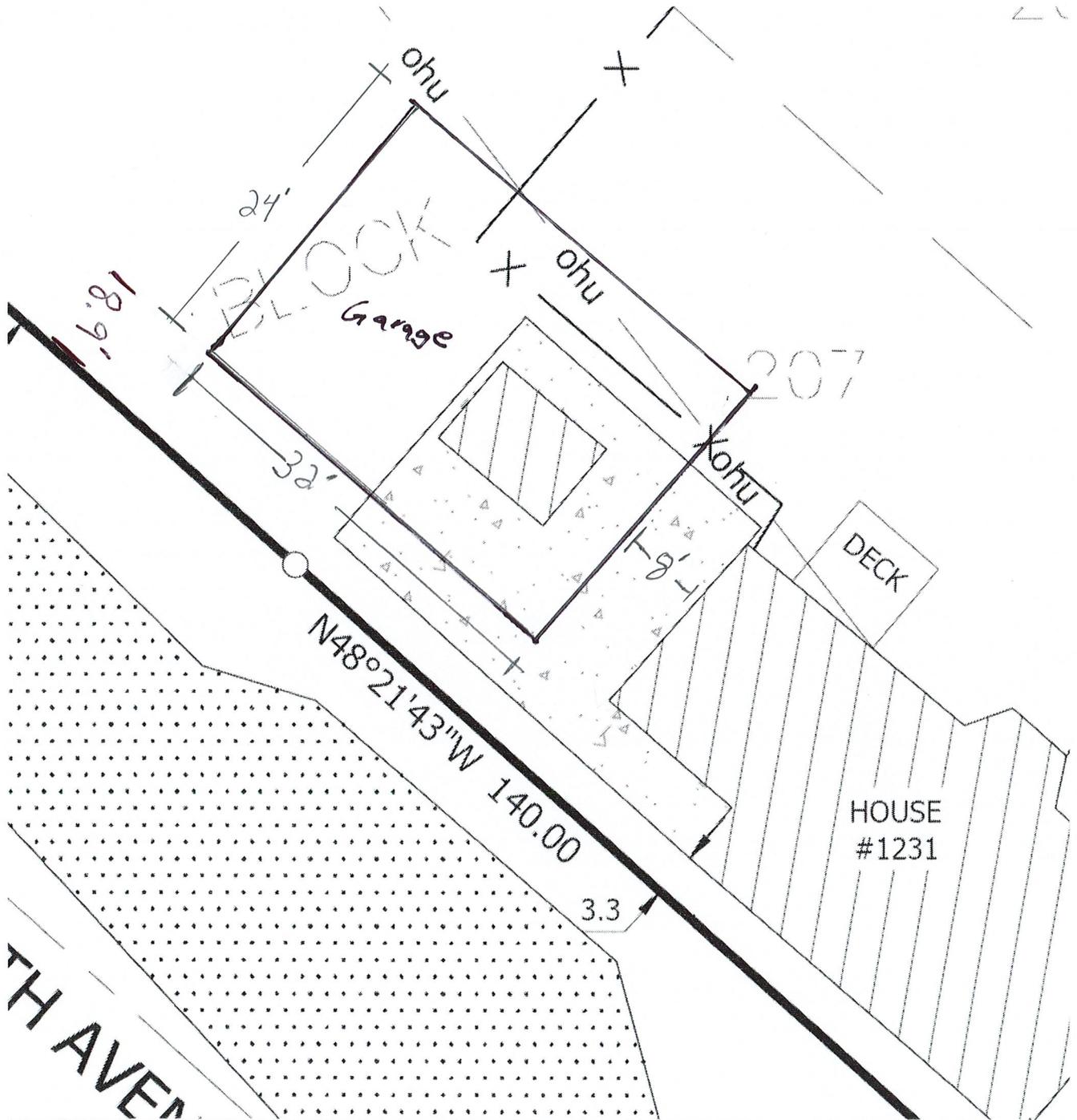
Prepared by: City of Duluth Planning & Economic Development, March 18, 2024 Source: City of Duluth

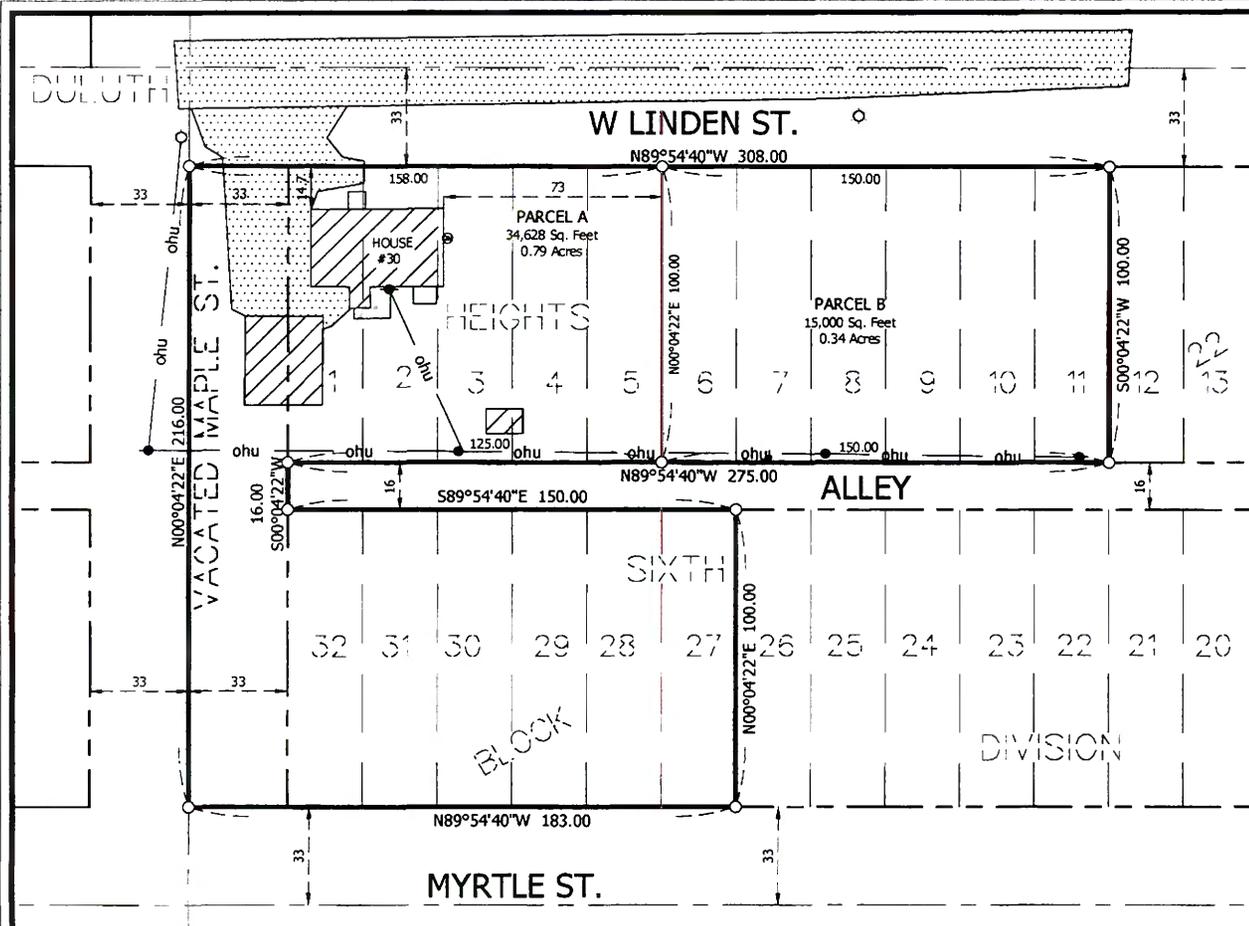




1231 W. 4th St

Proposed location of new garage





PARENT LEGAL DESCRIPTION PER DOCUMENT NO. 1465291

Lots One (1), Two (2), Three (3), Four (4), Five (5), Six (6), Seven (7), Eight (8), Nine (9), Ten (10) and Eleven (11), Block Twenty-two (22), Duluth Heights Sixth Division, St. Louis County, State of Minnesota.

Lots Twenty-seven (27), Twenty-eight (28), Twenty-nine (29), Thirty (30), Thirty-one (31), and Thirty-two (32), Block Twenty-two (22), Duluth Heights Sixth Division, St. Louis County, State of Minnesota.

LEGAL DESCRIPTION OF PARCEL A

Lots 1, 2, 3, 4, 5, 27, 28, 29, 30, 31 and 32, Block 22, DULUTH HEIGHTS SIXTH DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, INCLUDING Vacated Maple Street accruing thereto. Said parcel contains 34,628 square feet or 0.79 acres.

LEGAL DESCRIPTION OF PARCEL B

Lots 6, 7, 8, 9, 10 and 11, Block 22, DULUTH HEIGHTS SIXTH DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota. Said parcel contains 15,000 square feet or 0.34 acres.

LEGEND

	CONCRETE SURFACE		OVERHEAD UTILITIES
	BITUMINOUS SURFACE		CENTER LINE
	EXISTING BUILDINGS		RIGHT OF WAY LINE
			BOUNDARY LINE AS SURVEYED
			EXISTING PLAT LINE
			PROPOSED PARCEL LINE
			GAS METER
			LIGHT POLE
			SET CAPPED REBAR RLS. NO. 49505
			GUY ANCHOR
			UTILITY POLE

SURVEYOR'S NOTES

1. THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCLUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR SHOWING THE LOCATION OF RECORDED OR UNRECORDED EASEMENTS OR OTHER ENCUMBRANCES NOT PROVIDED TO THE SURVEYOR AS OF THE DATE OF THE SURVEY.
2. BEARINGS ARE BASED ON THE ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996. (NAD 83 2011)
3. BUILDING DIMENSIONS SHOWN ARE FOR HORIZONTAL & VERTICAL PLACEMENT OF STRUCTURE ONLY. SEE ARCHITECTURAL PLAN FOR BUILDING FOUNDATION DIMENSIONS.
4. NO SPECIFIC SOILS INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY ALTA LAND SURVEY COMPANY. THE SUITABILITY OF SOILS TO SUPPORT THE SPECIFIC STRUCTURE PROPOSED IS NOT THE RESPONSIBILITY OF ALTA LAND SURVEY COMPANY OR THE SURVEYOR.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
David R. Erickson
 David R. Erickson
 MN License #49505
 DATE: 02-12-2024

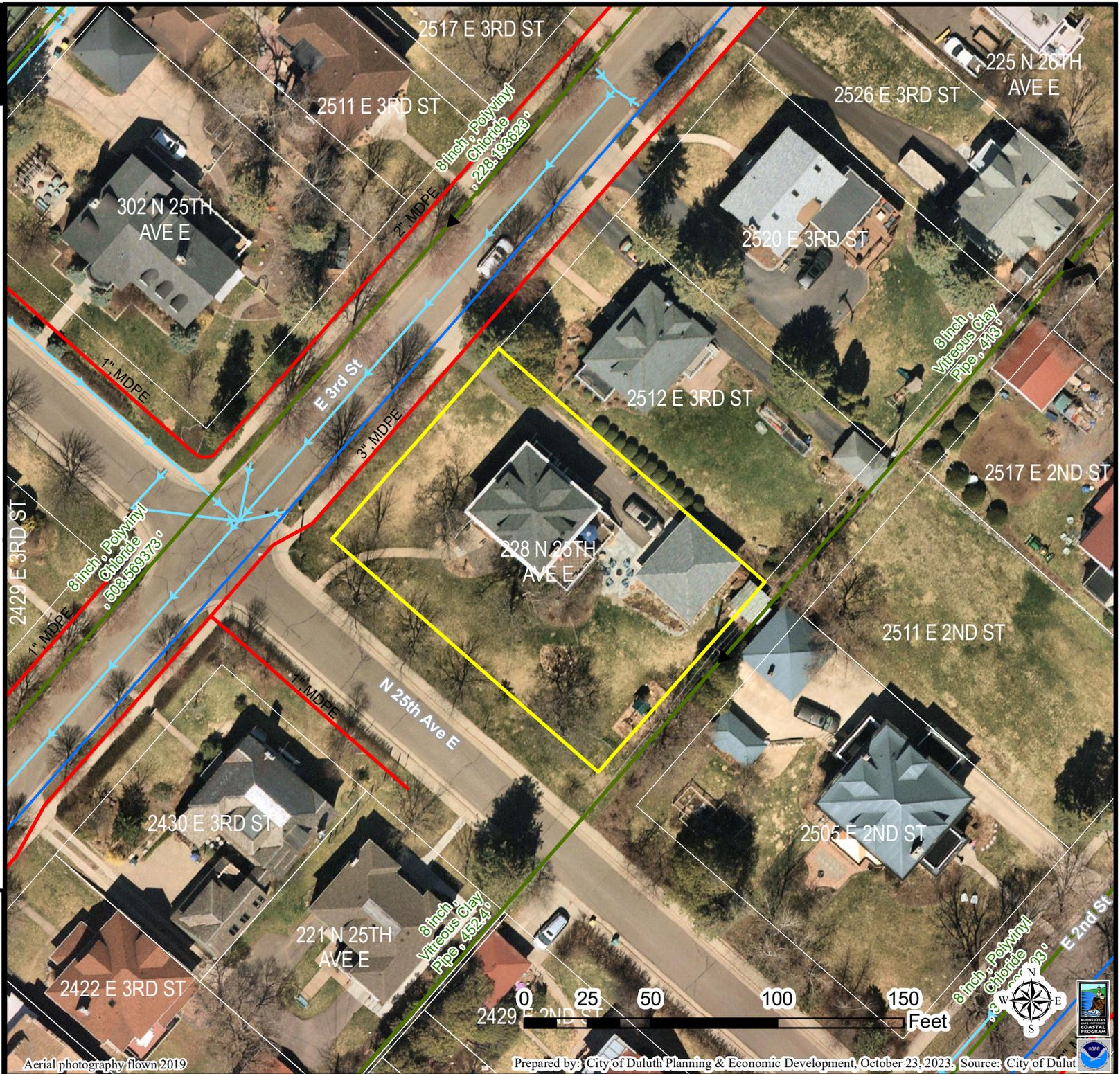
CERTIFICATE OF SURVEY

CLIENT: HEIDI MATTILA	REVISIONS:
ADDRESS: 30 WEST LINDEN STREET DULUTH, MN 55811	DATE: 02-12-2024
JOB NO: 24-026	SHEET 1 OF 1

ALTA
 LAND SURVEY COMPANY
 PHONE: 218-727-6211
 LICENSED IN MN & WI
 WWW: ALTALANDSURVEYDULUTH.COM

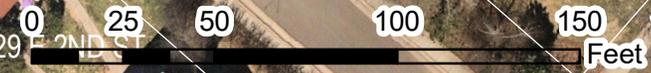


PL24-023
 Variance to Rear Yard Setback
 228 N 25th Ave E



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Aerial photography flown 2019



EAST 3RD ST.

N48°22'14"W 149.96(M) 150(R)

S41°38'03"W 100.07

22'-8"

PROPOSED ADDITION

HOUSE #228 N 25TH AVE E

DECK

13.2

34.1

14.2

14.2

16.9

33.3

33.8

16.7

31.7

0.7

8.2

6.0

6.0

0.5

0.5

0.5

0.5

0.5

0.5

0.5

0.5

0.5

0.5

0.5

0.5

0.5

HUNEKE ADAM & EMILY
PID NO. 010-4740-00010
15,007 Sq. Feet
0.34 Acres

VACATED ALLEY
UTILITY
EASEMENT
RETAINED

OF DULUTH

S48°22'14"E 149.97(M) 150(R)

25TH AVE E

N41°37'41"E 100.07

VACATED ALLEY

GARAGE

24.0

28.0

12.9

11.9

C&G

33

ohu

ohu

ohu

ohu

ohu

ohu

ohu

ohu

ohu

HINER HOME
DESIGNS LLC

5255 Maple Grove Road
Hermantown, MN 55811
(218) 391-7466
heather@hinerhomedesigns.com

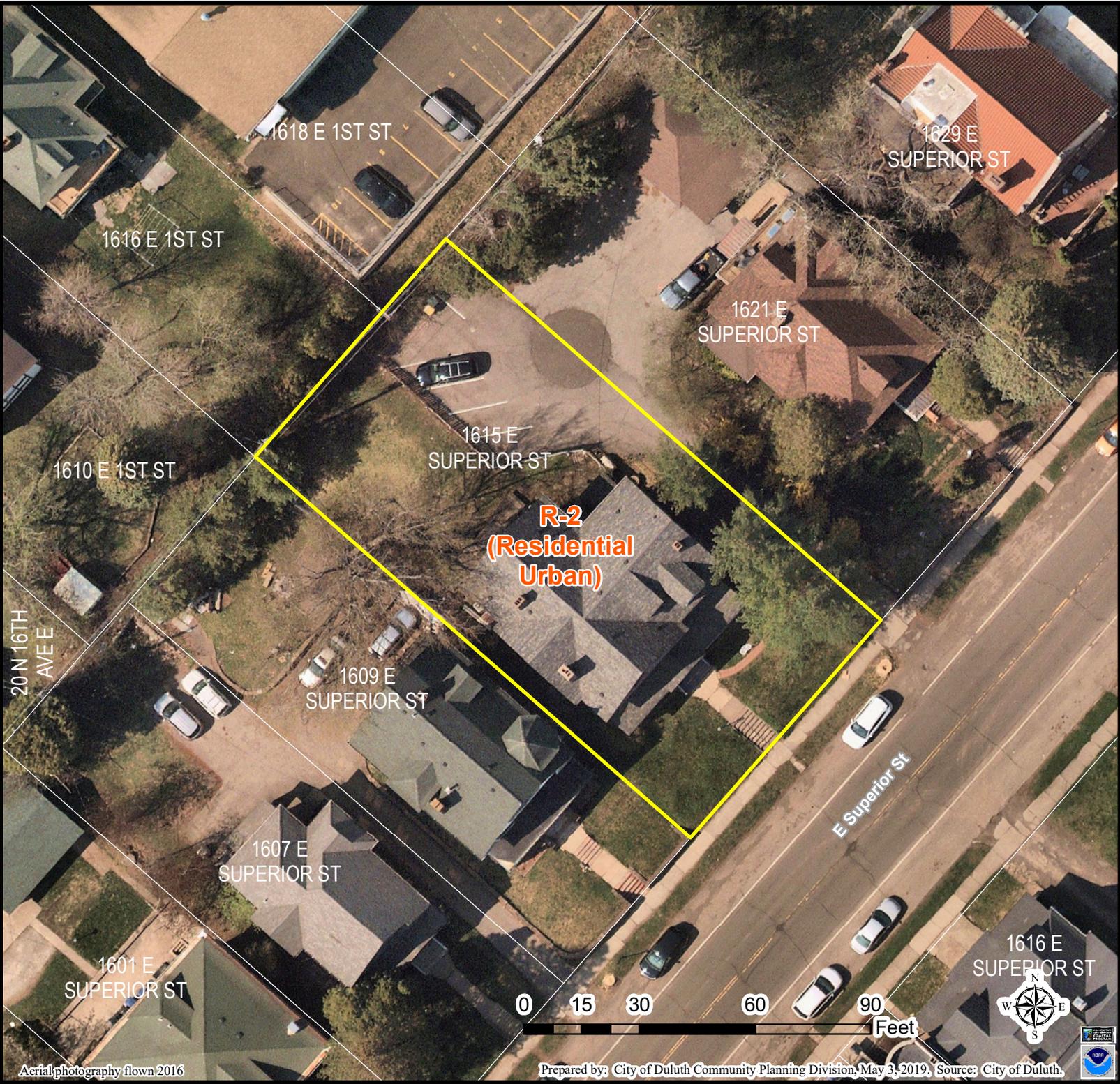
Huneke residence
228 N. 25th Ave. E
Duluth, MN

VARIANCE APPLICATION
December 29, 2023



PL 24-024
Interim Use Permit
1615 E Superior St.
Area Map

Legend
 Zoning Boundaries



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Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, May 3, 2019, Source: City of Duluth.

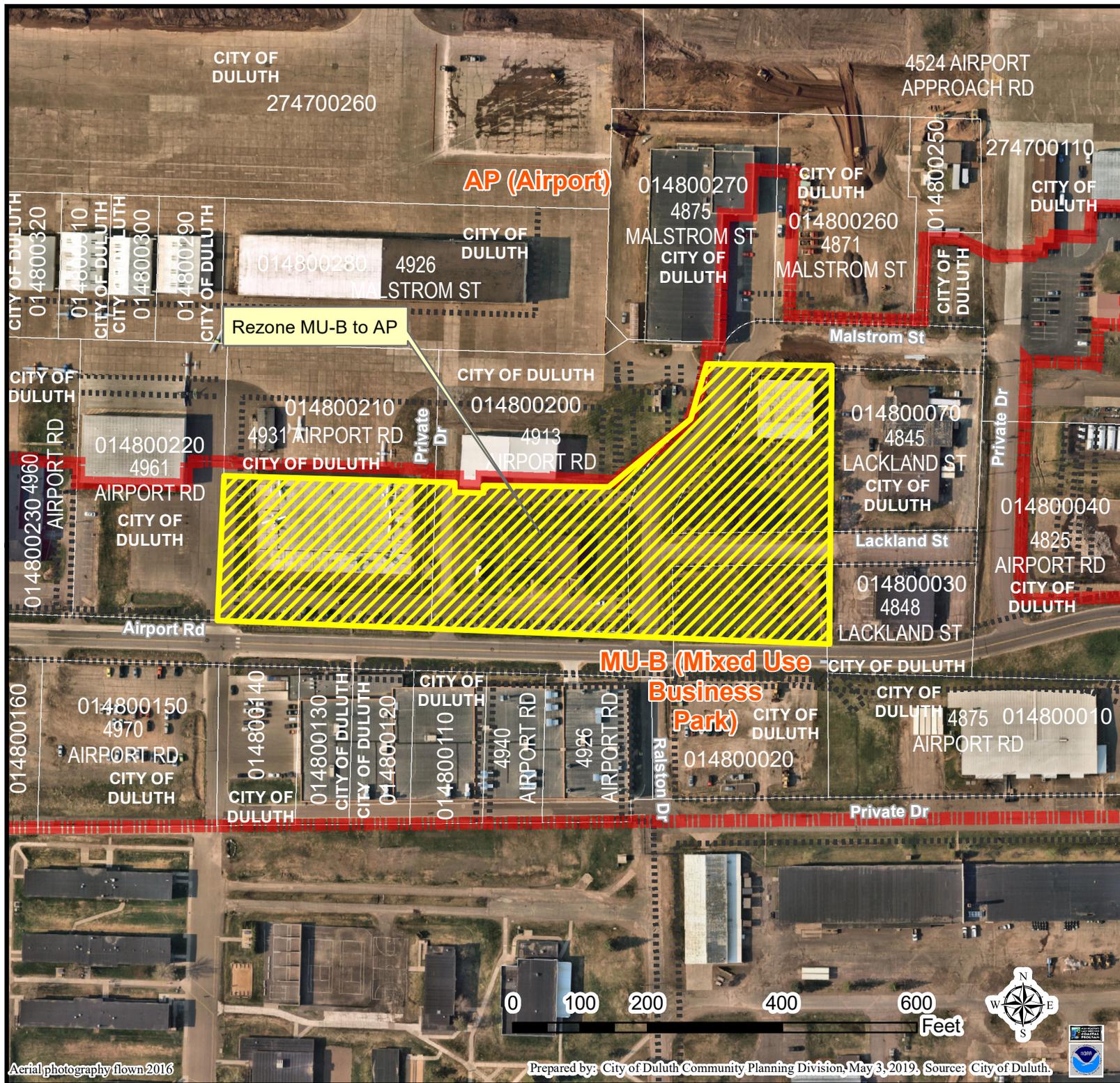




PL 24-029
Rezoning MU-B to AP
Area Map

Legend

- Road or Alley ROW
- Zoning Boundaries



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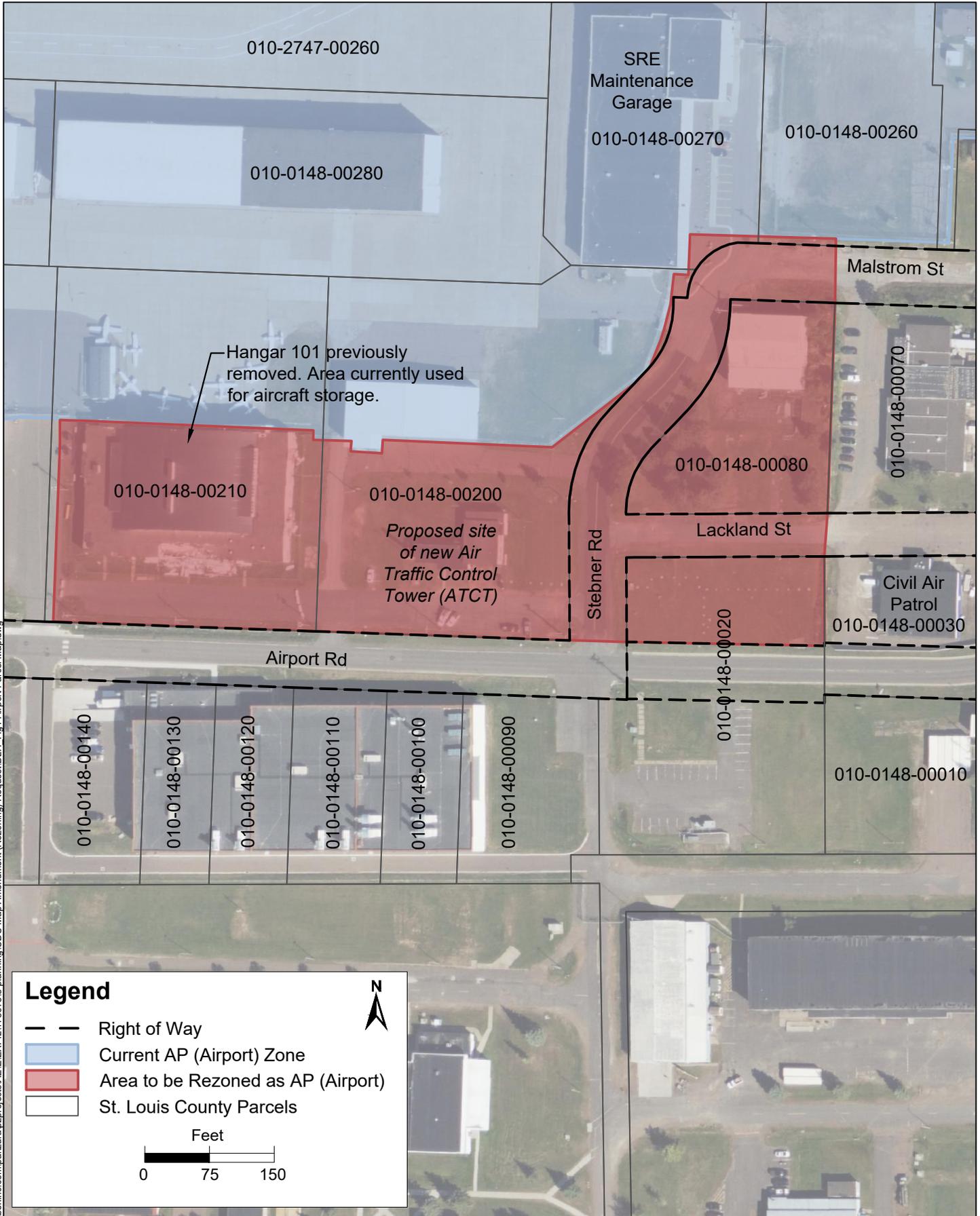


Air Traffic Control Tower Development Site

Figure 1

Duluth International Airport
Duluth, Minnesota

UDC Map Amendment (Rezoning) Request
02/2024; EXPIL 175978



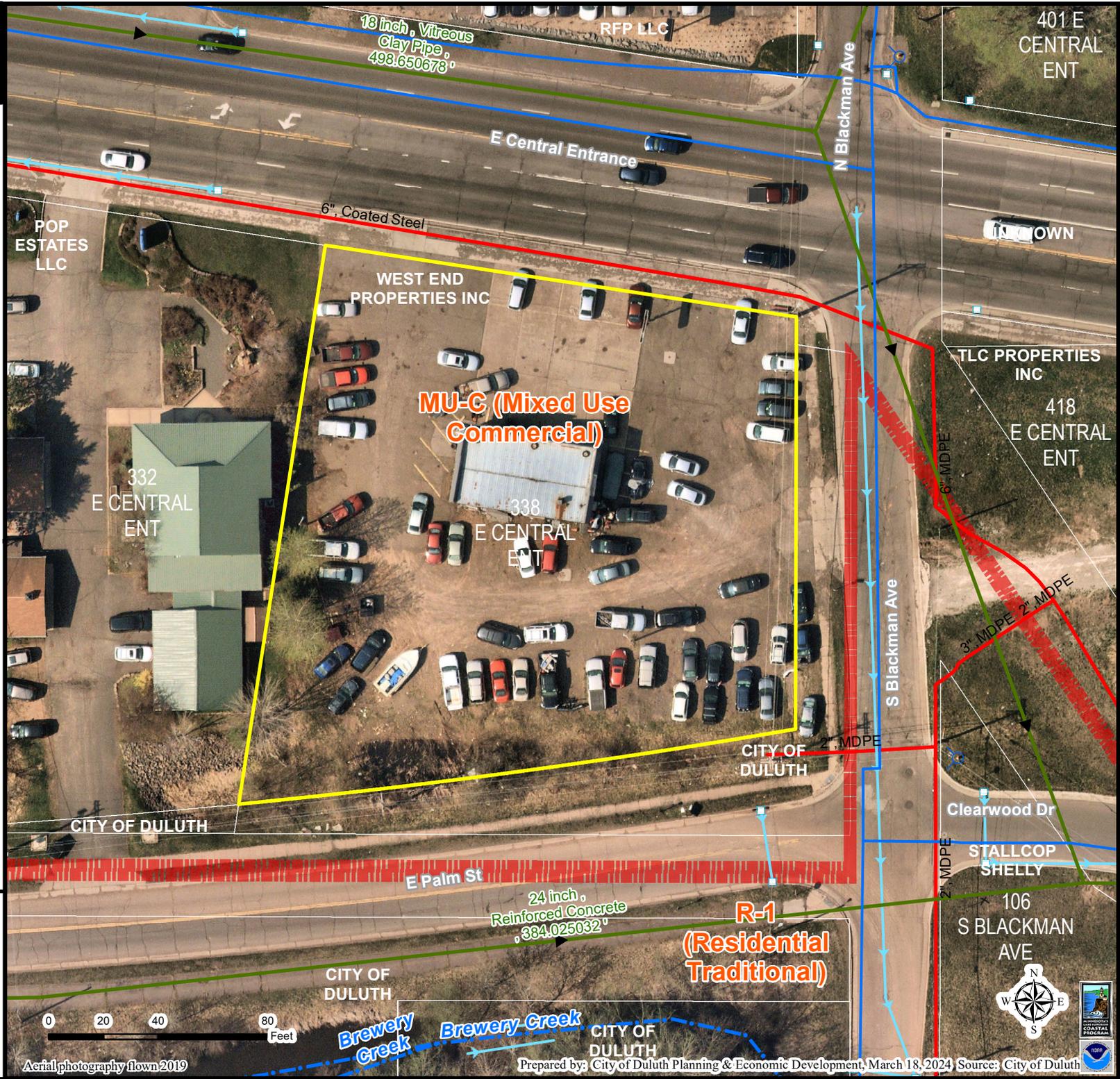
\\sehinc.com\panzuraj\projects\AE\EXPIL175978\6-planning\UDC Map Amendment (Rezoning) Request\DLH_Fig1_Airport Parcel Map.dwg



PL24-038
Interim Use Permit - Parking
3338 E Central Ent

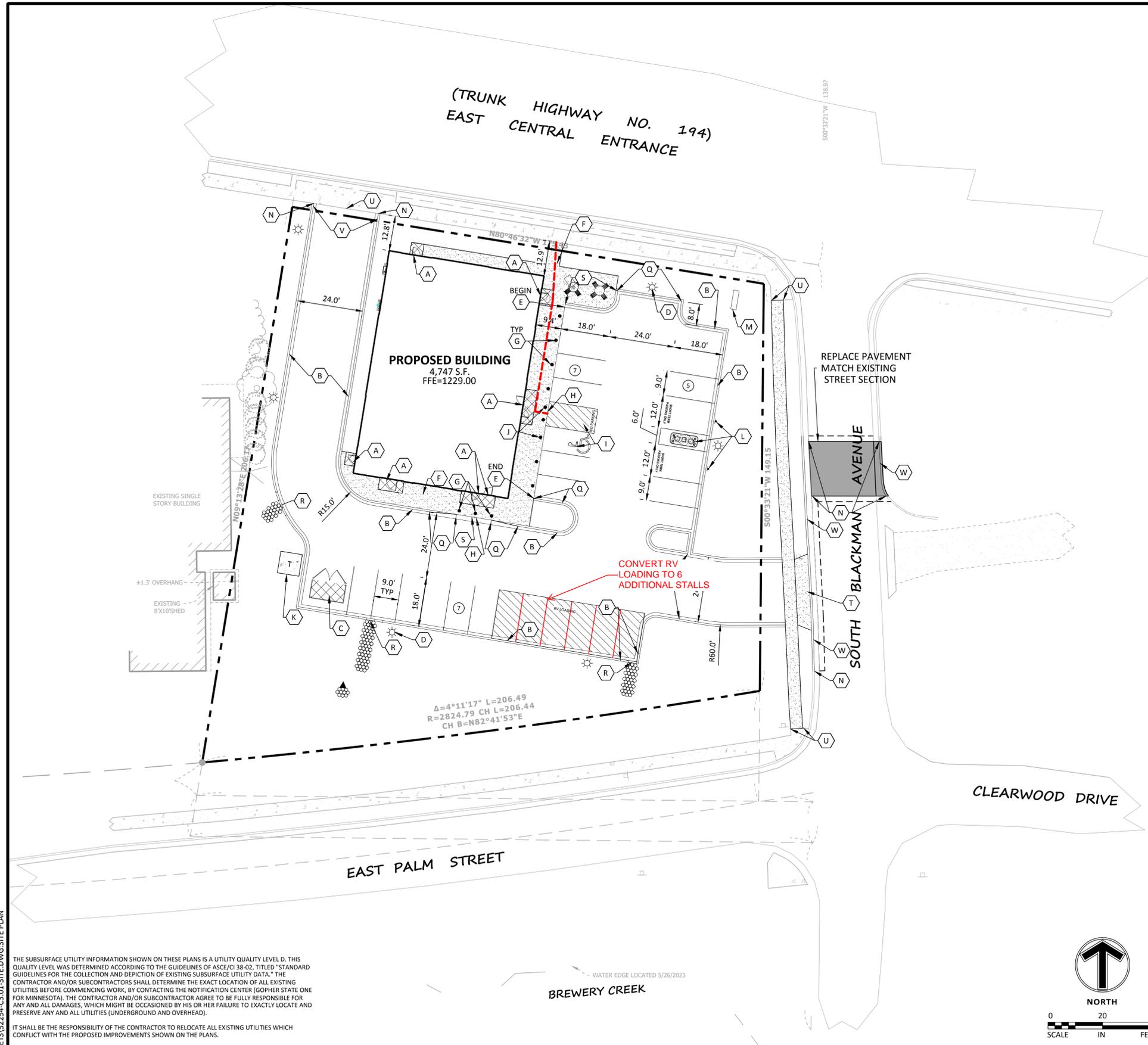
Legend

- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains**
 - CITY OF DULUTH
 - WLSDD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- PS Pump Station
- Storm Sewer Mains**
 - Storm Sewer Pipe
 - Storm Sewer Catch Basin
- Zoning Boundaries**
 - Trout Stream (GPS)
 - Other Stream (GPS)



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LEGEND			
PROPOSED	EXISTING	BOUNDARY LINE	STANDARD DUTY ASPHALT PAVING
		CONCRETE CURB	ASPHALT PAVING PER CITY STREET REQUIREMENTS
		EASEMENT LINE	CONCRETE PAVING
		BUILDING LINE	CONCRETE SIDEWALK
		RETAINING WALL	PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS)
		WETLAND	
		TREE LINE	
		SAW CUT LINE	
		SIGN	PARKING STALL COUNT
		BOLLARD	KEY NOTE
		ACCESSIBLE ROUTE	LIGHT POLE (BY OTHERS)

DEVELOPMENT SUMMARY			
AREA	33,592 SF	0.77 AC	SETBACKS
SITE AREA			FRONT YARD 00 FT
			REAR YARD 00 FT
			SIDE YARD 00 FT
PARKING SUMMARY			ZONING
TOTAL ALLOWED (4.0/1,000 SF) = 19			EXISTING ZONING MU-C
			PROPOSED ZONING MU-C
STANDARD PROVIDED	19 STALLS		GREEN SPACE REQUIREMENTS
ADA PROVIDED	1 STALLS		EXISTING PERVIOUS 6,579 SF
			EXISTING IMPERVIOUS 27,013 SF
			PROPOSED PERVIOUS 12,102 SF
			PROPOSED IMPERVIOUS 21,490 SF
TOTAL PROVIDED WITH IUP = 25 STALLS			

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON/MONUMENT SIGN DETAILS
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.00% (1:50). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.00% (1:50). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
 - CONTRACTOR SHALL PROVIDE RECORD PLANS AS REQUIRED BY PERMITTING AGENCIES.
 - CONTAMINATION HAS BEEN FOUND ON THE SITE. THE CONTRACTOR SHALL REVIEW THE RAP/CCP BY BRAUN INTERTEC, DATED JANUARY 2024

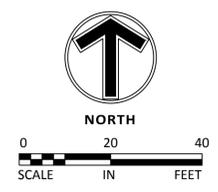
CIVIL 3D MODEL LIMITATIONS
 SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.

KEY NOTES			
A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)	L. VACUUM ISLAND & PARKING SIGNAGE (SEE ARCHITECTURAL PLANS)		
B. B-612 CONCRETE CURB AND GUTTER (SEE DETAIL 03, SHEET C9.01)	M. MONUMENT SIGN (SEE ARCHITECTURAL PLANS)		
C. TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)	N. MEET & MATCH EXISTING CURB AND GUTTER		
D. NO LOITERING SIGNAGE (SEE ARCHITECTURAL PLANS)	O. ELECTRIC METER		
E. INTEGRAL CURB AND SIDEWALK (SEE DETAIL 05, SHEET C9.02)	P. GAS METER		
F. CONCRETE SIDEWALK (SEE DETAIL 04, SHEET C9.01)	Q. CURB TRANSITION (SEE GRADING PLAN, SHEET C4.01)		
G. CONCRETE PIPE BOLLARD (SEE DETAIL 04, SHEET C9.02)	R. CURB CUT WITH RIP RAP (SEE DETAIL 02, SHEET C9.02)		
H. ADA ACCESS LOCATION	S. B612 FLAT CURB AND GUTTER (SEE DETAIL 07, SHEET C9.01)		
I. ACCESSIBLE STALL STRIPING (SEE DETAIL 01, SHEET C9.01)	T. COMMERCIAL DRIVEWAY APRON (SEE DETAIL STR-5, SHEET C9.02)		
J. ACCESSIBLE PARKING SIGN (SEE DETAIL 02, SHEET C9.01)	U. MEET AND MATCH EXISTING PAVEMENT		
K. TRANSFORMER	V. NOSE DOWN CURB (SEE DETAIL 02, SHEET C9.03)		
	W. B-6-18 CONCRETE CURB AND GUTTER (SEE DETAIL 03, SHEET C9.03)		

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

WATER EDGE LOCATED 5/26/2023
 BREWERY CREEK



NO	DATE	BY	CKD	APPR	COMMENT
1	08/08/2023	JW	EJC	JDB	Preliminary City Submittal
2	01/08/2024	TTP	BDB	JDB	Bid Set

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: JOSEPH D. BAILEY

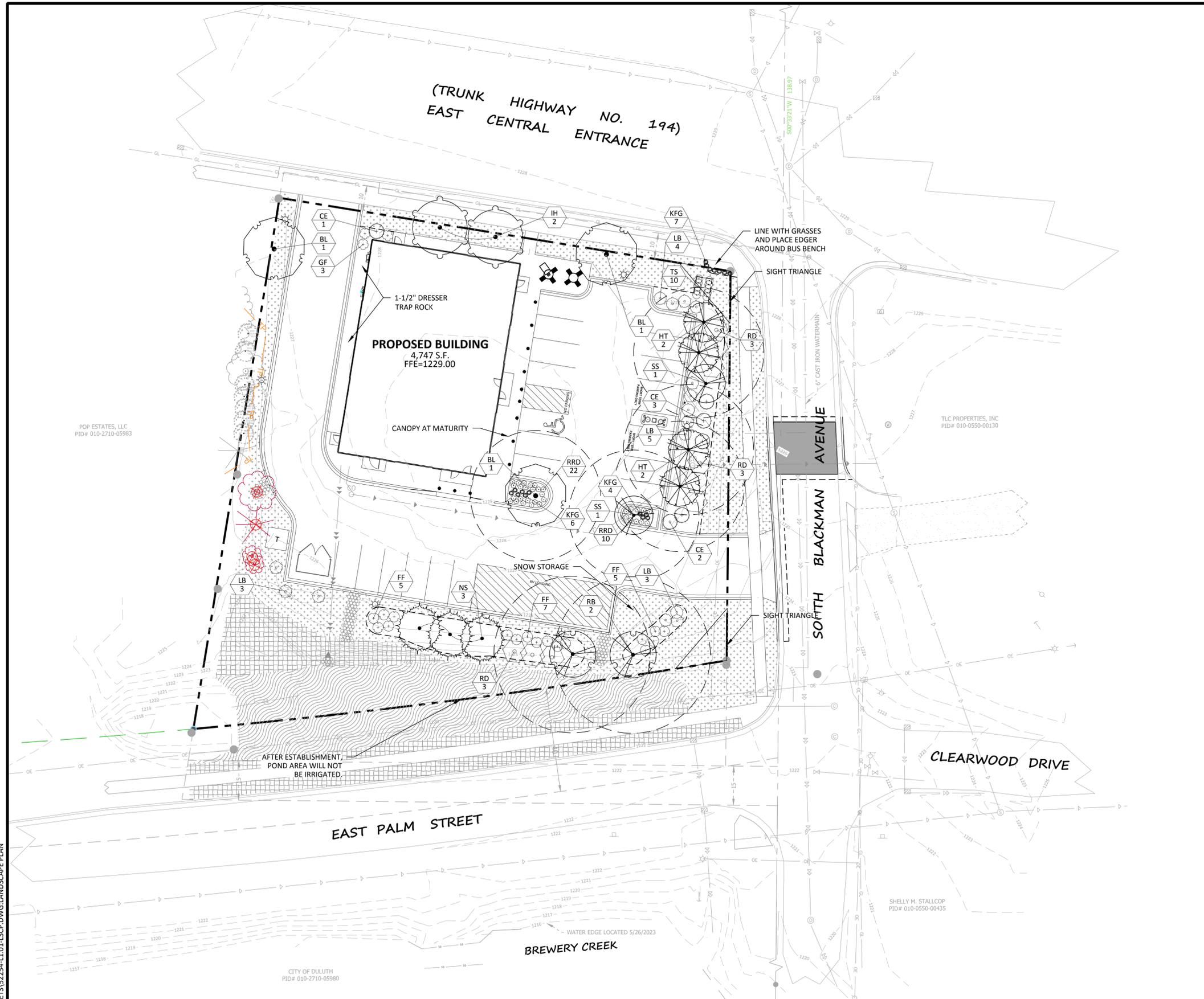
Date: License # 58645

PRELIMINARY	DRAWN BY JMW
DESIGN REVIEW	DESIGNED BY JDB
PERMIT SUBMITTAL	CHECKED BY JDB
CONSTRUCTION DOCUMENTS	PROJECT NO. 52254

SITE PLAN
 LINN PROPERTY DEVELOPMENT, LLC
 TUMBLE FRESH
 CONCEPT
 DULUTH, MN

SHEET
C3.01
 OF
 REV.

24.15 (LWS TECH) | TYSON PEITZ | 1/8/2024 2:06:27 PM | L:\PROJECTS\52254\CAD\SHEETS\52254-C3-01-SITE.DWG-SITE PLAN



LEGEND

PROPERTY LIMIT	PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
CURB & GUTTER	---	---	---
EASEMENT	---	---	CONCRETE PAVING
BUILDING	---	---	CONCRETE SIDEWALK
RETAINING WALL	---	---	CANOPY COVERAGE
WETLAND LIMITS	---	---	
TREELINE	---	---	
LANDSCAPE EDGING	---	---	
STORM SEWER	---	---	
SANITARY SEWER	---	---	
FORCEMAIN (SAN.)	---	---	
WATERMAIN	---	---	
YARDDRRAIN	---	---	
LIMITS OF DISTURBANCE	---	---	
TREE PROTECTION FENCE	---	---	
TREE TO BE REMOVED	---	---	
SIGN	---	---	
PIPE BOLLARD	---	---	
RIPRAP	---	---	

NORTH

0 20 40
SCALE IN FEET

DULUTH LANDSCAPE CODE

CALCULATIONS	REQUIRED	PROPOSED
Sec. 50-25.3-B		
ONE TREE PER 35 LF OF STREET FRONTAGE	(175/35)=5	5
ONE LARGE SHRUB PER 25 LF OF STREET FRONTAGE	(175/25)=7	7
50-25.4-A		
ONE TREE PER 35 LF OF PARKING LOT FRONTAGE	(355/35)=11	11
THREE LARGE SHRUB PER 25 LF OF PARKING LOT FRONTAGE	(355/25)*3=43	43
TREE CANOPY COVERAGE	30%	41.5%

NOTE: ALL REQUIRED LANDSCAPING SHALL BE PLANTED IN UNCOMPACTED SOIL WITH A MINIMUM DEPTH OF TWO (2) FEET PER CODE SECTION 50-25.2(F.)

TREE REMOVALS:
 TREE#1034 : 6" DECIDUOUS
 TREE#1035 : 4" DECIDUOUS
 TREE#1036 : 4" DECIDUOUS
 TREE#1037 : 8" CONIFEROUS

TREE REMOVALS DO NOT TRIGGER MITIGATION THRESHOLDS.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES						
[Symbol]	RB	Betula nigra 'Cully' TM / Heritage Birch	B & B		2.5"Cal	2
[Symbol]	IH	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	B & B		2.5"Cal	2
[Symbol]	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B		2.5"Cal	3
CONIFERS						
[Symbol]	NS	Picea abies / Norway Spruce	B & B		6'	3
ORN. TREES						
[Symbol]	HT	Crataegus crus-galli 'Inermis' / Thornless Hawthorn	B & B		2.5"Cal	4
[Symbol]	SS	Malus x 'Spring Snow' / Spring Snow Crab Apple	B & B		2"Cal	2
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
SHRUBS						
[Symbol]	RD	Cornus baileyi / Bailey's Red-twig Dogwood	5 gal			9
[Symbol]	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal			6
[Symbol]	FF	Forsythia x 'Fiesta' / Fiesta Forsythia	5 gal			17
[Symbol]	GF	Forsythia x 'Gold Tides' / Golden Tide Forsythia	5 gal			3
[Symbol]	TS	Spiraea betulifolia 'Tor' / Birchleaf Spirea	5 gal			10
[Symbol]	LB	Syringa x 'Bloomerang' / Lilac	5 gal			15
GRASSES						
[Symbol]	KFG	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal			17
PERENNIALS						
[Symbol]	RRD	Hemerocallis x 'Rosy Returns' / Daylily	1 gal			32
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT			
GROUND COVERS						
[Symbol]	25-131	MNDOT Seed Mix 25-131 / Low Maintenance Fescue mix	Seed			
[Symbol]	33-261	MNDOT Seed Mix 33-261 / Ponds and Wet Areas	Seed			
[Symbol]	TUR HIG	Turf Sod Highland Sod / Sod	Sod			

24.15 (LWS TECH) | TYSON PEITZ | 1/8/2024 2:09:44 PM | L:\PROJECTS\2254\CAD\SHSHEETS\2254-11.01-LSCP.DWG\LANDSCAPE PLAN

NO	DATE	BY	CKD	APPR	COMMENT
1	08/08/2023	JW	EJC	JDB	Preliminary City Submittal
2	01/08/2024	TTP	BDB	JDB	Bid Set

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Print Name: JOHN R. WORKMAN

Date: _____ License #: 59119

PRELIMINARY

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
MLL

DESIGNED BY
JRW

CHECKED BY
JRW

PROJECT NO.
52254



LANDSCAPE PLAN

LINN PROPERTY DEVELOPMENT, LLC
 TUMBLE FRESH
 CONCEPT
 DULUTH, MN

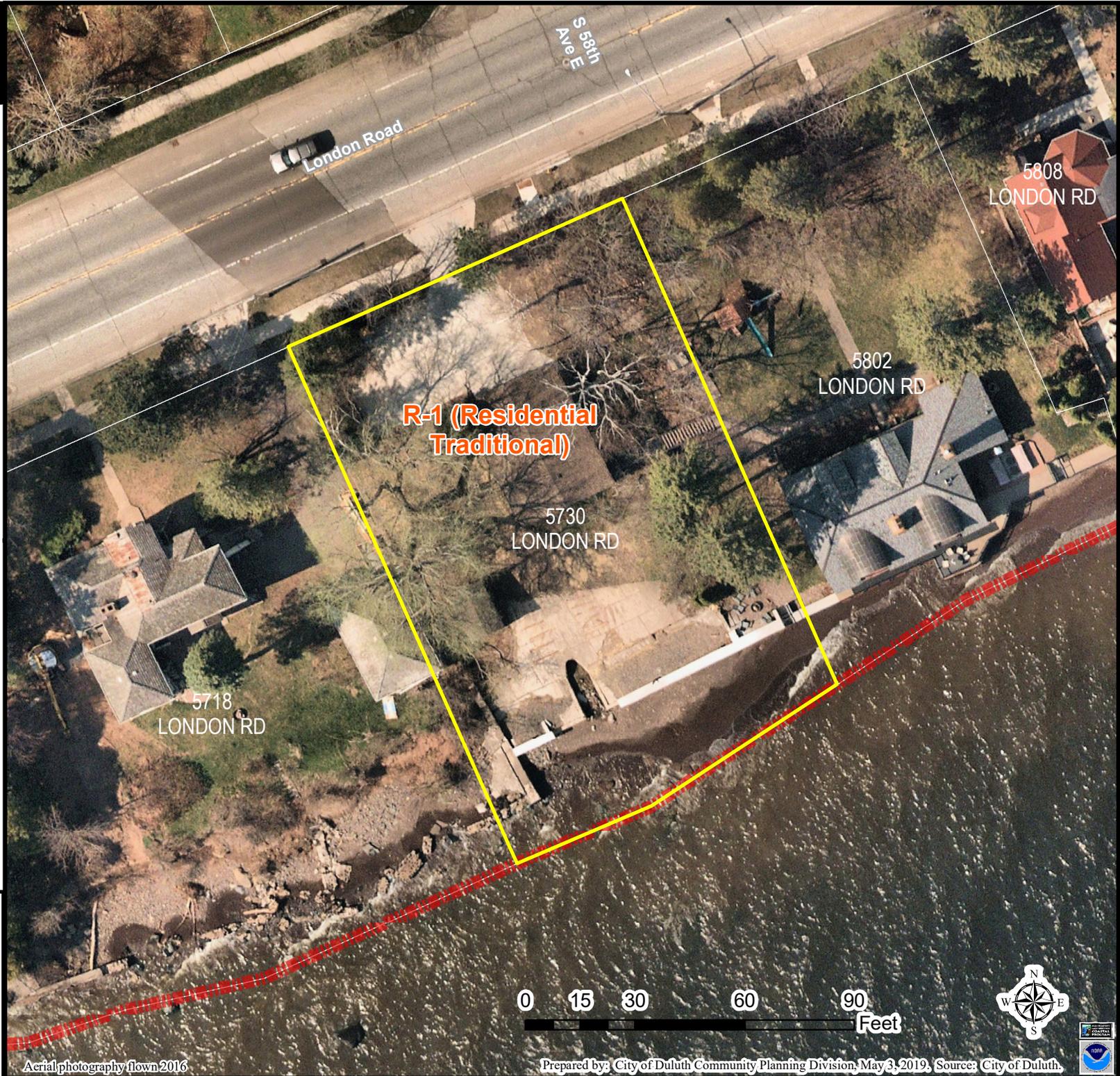
SHEET
L1.01
OF
REV.



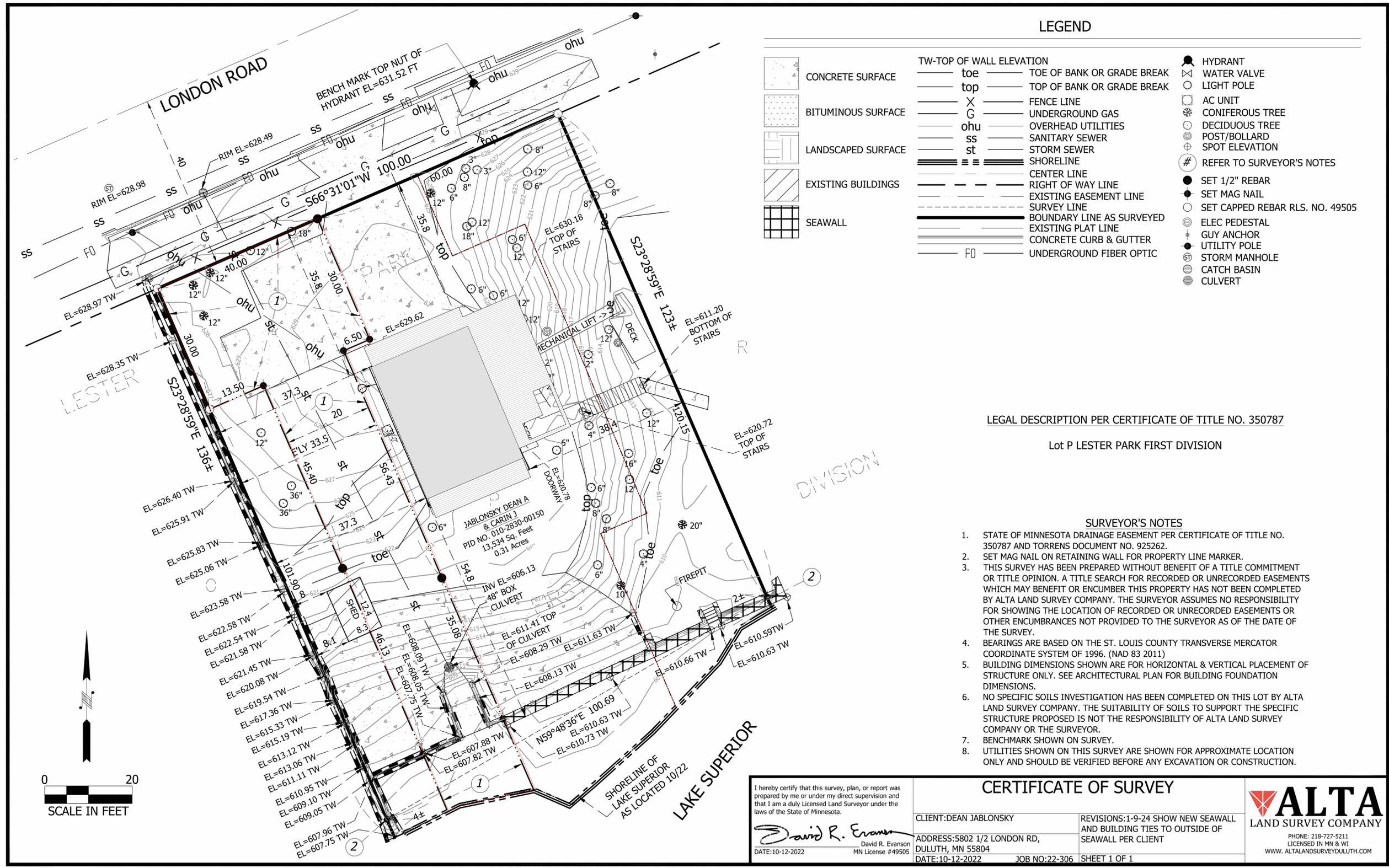
PL 24-039
 Variance - Shoreland
 5730 London Road
 Area Map

Legend
 Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



These plan documents have been created for our Client and remain property of our Client and Bruckelmyer Brothers Construction, LLC. Any use or publication of these documents is not permitted without written consent from Bruckelmyer Brothers Construction and our client from the date of contract signing until contract completion.



LEGEND

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> CONCRETE SURFACE BITUMINOUS SURFACE LANDSCAPED SURFACE EXISTING BUILDINGS SEAWALL | <ul style="list-style-type: none"> — toe — TW-TOP OF WALL ELEVATION — top — TOE OF BANK OR GRADE BREAK — X — FENCE LINE — G — UNDERGROUND GAS — ohu — OVERHEAD UTILITIES — ss — SANITARY SEWER — st — STORM SEWER — — SHORELINE — — CENTER LINE — — RIGHT OF WAY LINE — — EXISTING EASEMENT LINE — — SURVEY LINE — — BOUNDARY LINE AS SURVEYED — — EXISTING PLAT LINE — — CONCRETE CURB & GUTTER — FO — UNDERGROUND FIBER OPTIC | <ul style="list-style-type: none"> HYDRANT WATER VALVE LIGHT POLE AC UNIT CONIFEROUS TREE DECIDUOUS TREE POST/BOLLARD SPOT ELEVATION REFER TO SURVEYOR'S NOTES SET 1/2" REBAR SET MAG NAIL SET CAPPED REBAR RLS. NO. 49505 ELEC PEDESTAL GUY ANCHOR UTILITY POLE STORM MANHOLE CATCH BASIN CULVERT |
|--|---|--|

LEGAL DESCRIPTION PER CERTIFICATE OF TITLE NO. 350787

Lot P LESTER PARK FIRST DIVISION

SURVEYOR'S NOTES

1. STATE OF MINNESOTA DRAINAGE EASEMENT PER CERTIFICATE OF TITLE NO. 350787 AND TORRENS DOCUMENT NO. 925262.
2. SET MAG NAIL ON RETAINING WALL FOR PROPERTY LINE MARKER.
3. THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR SHOWING THE LOCATION OF RECORDED OR UNRECORDED EASEMENTS OR OTHER ENCUMBRANCES NOT PROVIDED TO THE SURVEYOR AS OF THE DATE OF THE SURVEY.
4. BEARINGS ARE BASED ON THE ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996. (NAD 83 2011)
5. BUILDING DIMENSIONS SHOWN ARE FOR HORIZONTAL & VERTICAL PLACEMENT OF STRUCTURE ONLY. SEE ARCHITECTURAL PLAN FOR BUILDING FOUNDATION DIMENSIONS.
6. NO SPECIFIC SOILS INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY ALTA LAND SURVEY COMPANY. THE SUITABILITY OF SOILS TO SUPPORT THE SPECIFIC STRUCTURE PROPOSED IS NOT THE RESPONSIBILITY OF ALTA LAND SURVEY COMPANY OR THE SURVEYOR.
7. BENCHMARK SHOWN ON SURVEY.
8. UTILITIES SHOWN ON THIS SURVEY ARE SHOWN FOR APPROXIMATE LOCATION ONLY AND SHOULD BE VERIFIED BEFORE ANY EXCAVATION OR CONSTRUCTION.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
David R. Evans
 David R. Evans
 MN License #49505
 DATE: 10-12-2022

CERTIFICATE OF SURVEY

CLIENT: DEAN JABLONSKY
 ADDRESS: 5802 1/2 LONDON RD,
 DULUTH, MN 55804
 DATE: 10-12-2022

REVISIONS: 1-9-24 SHOW NEW SEAWALL AND BUILDING TIES TO OUTSIDE OF SEAWALL PER CLIENT
 JOB NO: 22-306 SHEET 1 OF 1

ALTA
 LAND SURVEY COMPANY
 PHONE: 218-727-5211
 LICENSED IN MN & WI
 WWW.ALTLANDSURVEYDULUTH.COM

PROPERTY GUIDELINE	
Side Yard Setback:	6'
Rear Yard Setback:	25'
Front Yard Setback:	25'
Max Building Height:	30'
Lake OHWL Setback:	50'

Lake Superior Remodel Home

5730 London Rd.
 Duluth, MN 55804

Approved by	EB
Designed by	LH
REVISION #	0
Rev. Date	2/29/2024 3:11:56 PM
Issue Date	-
Scale	3/32" = 1'-0"
Site Plan Survey	

Sheet #
A-1.30



PL24-041
Rear Yard Variance
1515 E 7th St

Legend

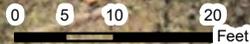
- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains**
 - CITY OF DULUTH
 - WLSSD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- PS Pump Station
- Storm Sewer Mains**
 - Storm Sewer Pipe
 - Storm Sewer Catch Basin
- Zoning Boundaries**
 - Trout Stream (GPS)
 - Other Stream (GPS)



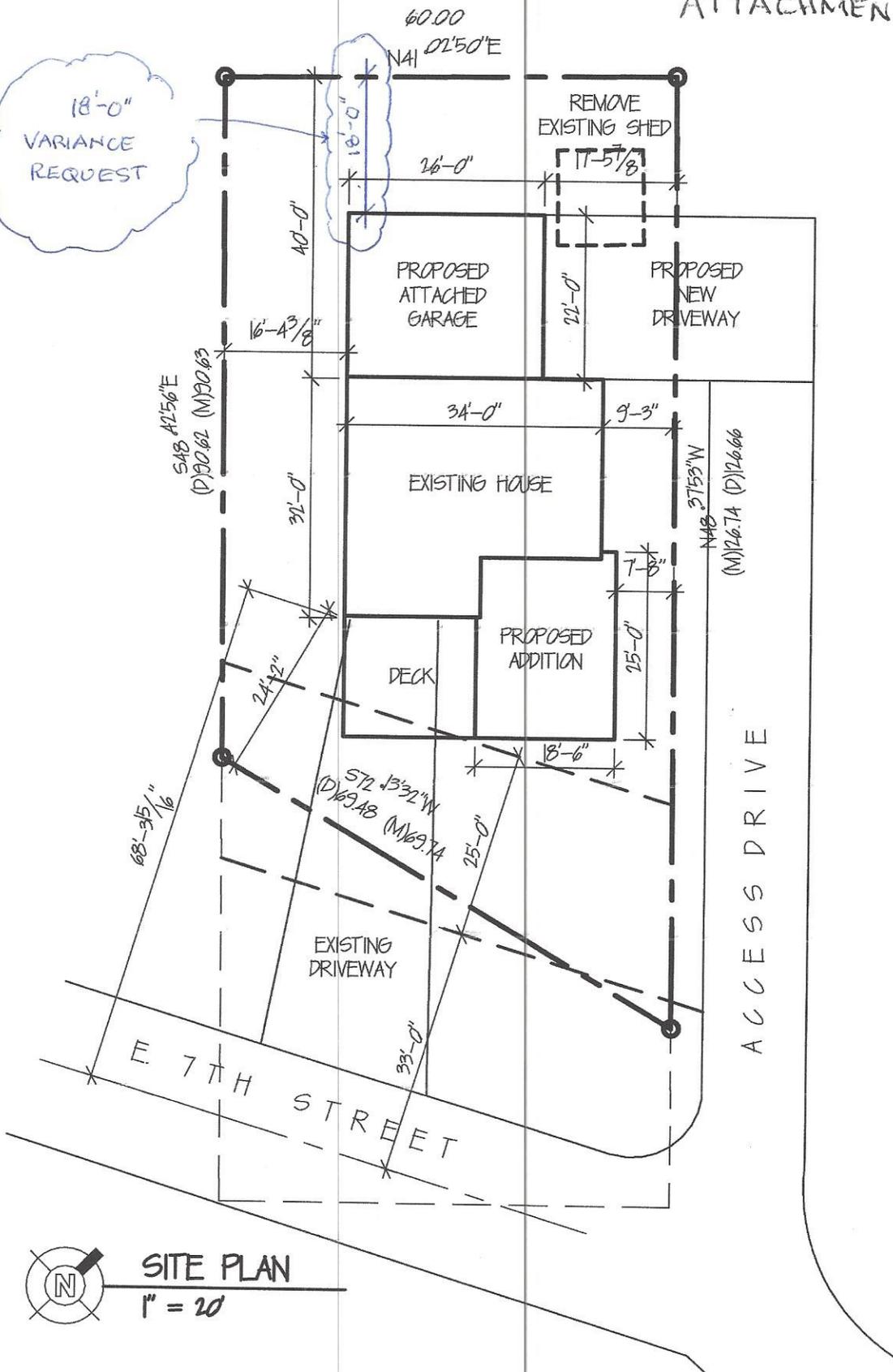
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Aerial photography flown 2019

Prepared by: City of Duluth Planning & Economic Development, March 18, 2024 Source: City of Duluth



18'-0"
VARIANCE
REQUEST



SITE PLAN

1" = 20'



5255 Maple Grove Road
Hermantown, MN 55811
(218) 391-7466
hhiner@msn.com

Lilja residence

1515 E 7th Street
Duluth, MN

GARAGE VARIANCE APPLICATION

February 21, 2024