



# MEETING AGENDA

**Heritage Preservation Commission Meeting  
Monday, December 8th, 2025 – 12:00pm  
City Council Chambers, Third Floor City Hall, 411 W. First Street**

- 1. Call to Order/Determination of Quorum**
- 2. Consideration of Minutes – November 10th, 2025**
- 3. Consideration of Matters Regarding Commission Action**
  - PLHCDP-2511-0001: Exterior renovations at 2403 W 6<sup>th</sup> St (Belanger Block Building)
- 4. Other Business/Presentation**
  - Opportunity to Comment on National Register of Historic Places Nomination for Lincoln Park
  - Review Bylaws
- 5. Communications**
- 6. Report of Final Disposition on Matters Previously Before the Commission**
- 7. Reports of Officers, Staff and Committees**
  - PC Liaison Update
- 8. Adjournment**

Heritage Preservation Commission  
November 10<sup>th</sup>, 2025 Annual Meeting Minutes  
Council Chambers – City Hall

**Call to Order and Roll Call**

President Jess McCullough called to order the annual meeting of the Heritage Preservation Commission (HPC) at 12:04 p.m. on Monday, November 10<sup>th</sup>, 2025.

**Attendance:**

Attending: Kathleen Cargill, John Hest, Michael Schuetze, and Andrea Wedul

Absent: Ken Buehler and Jess McCullough

Staff Present: Chris Lee and Sam Smith

**Consideration of Minutes**

Heritage Preservation Commission Meeting – September 8<sup>th</sup>, 2025 –

**MOTION/Second:** Approved by unanimous consent

**VOTE: (2-0)**

**Schuetze and Wedul abstained**

**Consideration of Matters Regarding Commission Action**

N/A

**Communications**

**Staff:** Chris Lee gave the commissioners a summary of the SHPO conference he attended in September that was held in New Ulm, Minnesota. He could not attend all the sessions, but a key takeaway from the conference was the importance of public and private partnerships. Lee stated that there wasn't much new information at the conference this year, so instead there was a bigger focus on the design elements and the history of New Ulm and other places around Minnesota. Next year, the SHPO conference will take place in Minneapolis, and it will coincide with the national level conference. There is grant money available from SHPO to help pay expenses, but there may be council action needed to disperse those funds, so staff will investigate and get back to commissioners. More details to come regarding the conference next year.

**Commissioners:** Cargill asked staff questions about local landmark status properties. She was looking online at the list of local historic landmarks and noticed that the list was completed November 10<sup>th</sup>, 2020, and was wondering if any other properties had been added since then. Cargill asked if each of the properties currently on the list had come before HPC at some point for any project plan approvals and wondered if the Depot would come through with their upcoming HVAC renovation project.

**Staff:** Lee responded that there has only been one other property added to the list since November of 2020. He is not sure if all the properties on the list have come before the HPC, as

he is not aware of what processes were in place back in the 90's. If the Depot's renovation plans impact any of the historical elements of the building, they will come before the HPC per the preservation plan.

**Commissioners:** Wedul asked if properties can take themselves off the list if they are not seeking heritage preservation funds.

**Staff:** Lee stated that he is unsure if the owners of the properties on the list can remove themselves, and he doesn't believe anyone has been removed from the list. Applying to be on the list can be a rigorous process, so staff works to ensure that the applicants are serious about the designation and the standards that come along with it. HPC's purpose is to review the plans for each project that comes through to help to ensure that those requirements are met.

Lee added that a preservation plan will stay with a property through ownership transfers. He will get the form updated to reflect the Bellanger building at 2401 W 6<sup>th</sup> St was nominated and added to the landmark list in 2024. They will be coming forward to HPC next month with some construction permits. There will also be presentation for another Lincoln Park property at next month's meeting.

### **Report of Final Disposition of Matters Previously Before the Commission**

N/A

### **Reports of Officers, Staff and Committees**

PC Liaison Update – Andrea Wedul is the new planning commission liaison. The next planning commission meeting will be on November 12<sup>th</sup>. There will be a new document coming out regarding EAW/AUARs for the downtown Duluth district. This will apply to new commercial developments or residential developments over a certain unit size within roughly 335 acres of the city's urban core.

### **Other Business**

Election of Officers -

**MOTION/Second:** Hest/Cargill nominate Jess McCullough as president

**VOTE: (4-0)**

**MOTION/Second:** Hest/Cargill nominate John Hest as vice president

**VOTE: (4-0)**

Review Bylaws – Cargill proposed moving this item to the December meeting so commissioners can have more time to review the current bylaws.

### **Adjournment**

Meeting adjourned at 12:31 p.m.

Respectfully,

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Jenn Moses, Manager  
Planning and Development Division





**Planning & Development Division**  
*Planning & Economic Development Department*

Room 160  
411 West First Street  
Duluth, Minnesota 55802

218-730-5580  
planning@duluthmn.gov

## MEMORANDUM

**DATE:** December 8, 2025  
**TO:** Heritage Preservation Commission  
**FROM:** Chris Lee, Planner II  
**RE:** PLHCDP-2511-0001, Application for Certificate of Appropriateness for 2403 West 6<sup>th</sup> Street (F. Belanger Block).

On November 10, 2025, the city received a zoning application from the owner of 2403 West 6<sup>th</sup> Street requesting HPC approval to make repairs to deteriorated elements of the exterior including porches, windows, and entrances.

The property is known as the F. Belanger Block. The F. Belanger Block was nominated to the Local Landmark Designations in 2024.

Included with this memo is scope of work for the changes to the corridors and public spaces submitted by a consultant on behalf of the property owner of 2403 West 6<sup>th</sup> Street.

The scope of work includes repairing exterior masonry, rebuilding porches, replacing windows, repair and replace doors and storefront, and installation of a new accessible ramp.

According to the bylaws:

10.1 Public Testimony. Any person desiring to speak to the HPC during an official public hearing shall be heard prior to any determination of the matter in question. Such testimony shall be accompanied by the person's name and address for the public record. Letters received in lieu of oral testimony shall become a part of the public record and be considered prior to any final determination of the matter by the HPC.

10.2 Time Limits. The president of the HPC may establish such time limits on testimonies as are reasonable to provide for an efficient meeting so long as all interested parties are given a chance to testify.

10.3 Termination of Hearing. Upon close of public hearing no further presentation shall be allowed except upon suspension of the rules.

After closing the public hearing and reviewing all the appropriate information, the HPC may:

- Make a motion to approve the zoning application (Certificate of Appropriateness) allowing the demolition and reconstruction. The motion will have to include findings to support the motion.
- Make a motion to deny the zoning application, denying the demolition. The motion will have to include findings to support the motion.
- Table the item until the next meeting, but tabling the item should be accompanied by specific information requests to allow the HPC to take action on the zoning application at their next meeting.

Note that if the Certificate of Appropriateness is approved and the demolition and reconstruction of the structure is allowed by the HPC, the project proposer would still need to receive the appropriate building permits from the City of Duluth, and follow any additional regulatory requirements.

Decisions of the HPC, like the PC, are able to be appealed to the City Council within 10 calendars days of the decision.



Checklist of items needed for application:

- ☐ Scale drawings of all building elevations impacted by change
- ☐ Photos of current condition of all building elevations impacted by change
- ☐ Detailed specifications and architectural drawings of existing structure
- ☐ Detailed specifications and architectural drawings of new construction (Including but not limited to: materials to be used on exterior and architectural elements - color numbers, samples of materials & samples of existing materials being matched, name of manufacturers & materials)
- ☐ Site Plan showing existing and new construction

**☒ LANDSCAPING:**

Description of proposed landscape changes:

Site work includes the addition of paved parking at the rear of the site, a ramp at the front of the property, a trash enclosure, and other minor alterations. See attached scope of work form for more information.

Reason for changes: The proposed changes are necessary to comply with UDC requirements for parking and trash enclosures for a residential reuse.

Location of changes on site: See attached scope of work form for more information.

- ☒ Detailed architectural landscape design plans to scale with building elevations shown
- ☒ Detailed site plans to scale
- ☒ Material samples and existing materials samples
- ☒ Photos of existing landscape and structures to be impacted.
- ☒ Detailed scope of work and specifications.
- ☐ Photos of statues, structures, etc. to be incorporated, if appropriate

**☐ SIGNS**

Purpose: \_\_\_\_\_  
Location: \_\_\_\_\_  
Size: \_\_\_\_\_  
Material: \_\_\_\_\_  
Description: \_\_\_\_\_

Checklist of items for application:

- ☐ Architectural drawings of all building elevations related to new sign - must illustrate the location of both proposed and existing signs and method of lighting (if any).
- ☐ Architectural drawings of all proposed signs illustrating style(s), noting dimensions, materials, method of attachment to building or below ground structure, if free-standing, etc.
- ☐ Samples of all materials to be used (specific colors).
- ☐ Associated lighting, specifications, photos and/or catalog cuts
- ☐ A full description of the work to be performed.
- ☐ If prefabricated sign, photos and name of manufacturer, model number, etc.

**☐ INTERIOR RESTORATION**

Description of proposed interior changes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reason for interior changes: \_\_\_\_\_

Location of changes within building: \_\_\_\_\_

Checklist of items for application:

- ☐ Scale drawings of all building elevations impacted by change
- ☐ Photos of current condition of all building to be impacted by changes
- ☐ Detailed specifications and architectural drawings of modifications to be made (Including but not limited to: materials to be used on exterior and architectural elements - color numbers, samples of materials & samples of existing materials being matched, name of manufacturers & materials)
- ☐ Detailed floor plan showing existing and new construction

☐ **NEW CONSTRUCTION ON SITE**

Description of Addition: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Reason for Addition: \_\_\_\_\_

Location of Addition on site: \_\_\_\_\_

Size: \_\_\_\_\_

(Number of Stories)

(Length)

(Width)

(Height)

Architect:

( ) -

(Name)

(Street Address, City, State, Zip Code)

(Phone)

Contractor:

( ) -

(Name)

(Street Address, City, State, Zip Code)

(Phone)

Checklist of items needed for application:

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- ☐ Detailed specifications and architectural drawings of new construction (Including but not limited to: materials to be used on exterior and architectural elements - color numbers, samples of materials & samples of existing materials being matched, name of manufacturers & materials)
- ☐ Site Plan showing existing and new construction

**Reductions to 11" by 17" are required of all oversized blueprints, plans, and drawings.**

No Applications will be processed without a complete application, signed by the owner, and all required attachments.

Duluth Heritage Preservation Commission  
Jen Bergum, Administrative Specialist  
Duluth City Planning Department  
Room 402 City Hall  
Duluth, MN 55802  
Phone: 730-5580  
fax: 730-5904

email: [jbergum@duluthmn.gov](mailto:jbergum@duluthmn.gov)

## SCOPE OF WORK FORM

### Instructions for Completing the Scope of Work Form for Local Historic Landmark Designations

**Detailed Description of Work.** In the numbered blocks, provide a description of project work.

Describe the site work. A separate block should be used to describe each work item and its effect on architectural features or spaces.

In the left block, identify the architectural feature to be impacted, and indicate whether the feature described is original to the building, was added at a later date, or is new construction. Give the approximate date of the feature. In the appropriate space, describe its physical condition. Indicate the photograph or drawing numbers that show the feature described.

In the right block, explain in detail the work to be undertaken. Describe the effect (visual, structural, or other) on existing features. List drawings, marked photographs, or specification page numbers that show the work and impact on the existing building.

**Photographs.** The applicant must submit a sufficient number of good, clear photographs to document both interior and exterior conditions, including site and environment, prior to any work to be performed, and to show the areas of proposed or completed work.

Elevations and interior features and spaces of the buildings should be shown.

Photographs should be numbered, dated and labeled with the property name, the view (e.g., east side) and a brief description of what is shown; photographs should be keyed to the application narrative, where appropriate. In many cases, it may be helpful to mark directly on the photographs the areas of proposed or complete work. Photographs may be black-and-white or color, but must show architectural features *clearly*. Photographs are not returnable.

**Drawings or sketches.** Drawings or sketches are required for proposed work to show planned alterations or new construction. They must be sufficiently detailed to show existing wall configurations and anticipated changes. If warranted by the work to be performed, documentation should include floor plans, sections and elevations. All drawings and sketches submitted with the review form should be numbered and should be keyed to the form.

**Project amendments.** If changes are made to a project at any time after submission of the initial review form, submit a continuation/amendment sheet. Provide the name and address of the property, indicate changes in project work, giving the originally proposed treatment and the amended work item description. Give the owner's name. Sign and date the form. Give the owner's address and daytime telephone number. Return to City Planning Department.

#### Example:

Architectural feature facade brick  
Approximate date of feature: ca. 1880

Describe the existing feature and its condition:  
Hard pressed red brick with butter joints in good condition.  
Mortar mostly sound, but deteriorated and missing around  
Downspout at east end of facade. Some graffiti at first floor.  
Photo no. 3.6 Drawing No. \_\_\_\_\_

Describe the work and impact on existing feature:

Will selectively hand clean deteriorated joints and repoint  
With mortar and joint width to match existing (See spec.  
33-35); chemically clean graffiti from 1<sup>st</sup> floor piers (see  
spec. p. 30-31)



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**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
SCOPE OF WORK FORM**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

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### **Introduction**

The local landmark property F. Belanger Block consists of a two-story, brick building located in Duluth's Lincoln Park neighborhood on a rectangular corner lot at the northwest corner of the intersection of West Sixth Street and North 24th Avenue West. It was constructed in 1916 for Frank Belanger, a Canadian immigrant and former railroad worker, and his wife and four children to function as a corner grocery store and residence.

The Belanger Block is significant under local designation Criteria A and G as a rare and excellent example of the iconic corner store as well as a representation of the basic building block of late 19th and 20th century traditional neighborhood development. The period of significance is 1916, when the building was constructed, until 1940, reflecting the approximate date by which corner stores were in clear decline due to the rise of chain supermarkets. **The materials and features of the site and residence that were installed by 1940 are considered historic; materials and features installed after 1940 are considered non-historic.**

Over the past decades, the property has become significantly deteriorated, and it has been vacant for a number of years. The current owner recently purchased the property, pursued local landmark designation (completed in 2024), and is planning for a rehabilitation of the building to restore its integrity and its historic mixed commercial and residential use. The proposed reuse includes two apartments and a laundromat at the first level, and four apartments at the second level.

The building has an exterior-only designation; therefore, work at the interior is not included in this application. At the exterior, work includes the following scope, which is organized into the following five items:

1. **Building Envelope.** Repair of the building envelope, including historic masonry repair, replacement of non-historic siding, and installation of small-scale mechanical equipment and venting at the roof
2. **Porches.** Rebuilding deteriorated porches
3. **Windows.** Repairing historic windows and replacing non-historic windows
4. **Entrances: Doors and Storefront.** Repairing historic doors, replacing deteriorated or non-historic doors with historic replicas, and replacing the previously-modified storefront
5. **Site and New Ramp.** Installation of paved parking and a trash enclosure at the rear of the site, installing an entrance ramp for accessibility at the south façade, and minor alterations to site and landscaping

The following descriptions reference *plan* directions, rather than true directions: the building's front elevation along West 6th Street (true southeast elevation) is referred to as the south elevation, the side elevation along North 24th Avenue West (true northeast elevation) is the east elevation, etc. No photographs of the property dating to the 1916-1940 period of significance were available. Assessment of historic and non-historic features is based on undated floor plans, historic building permits, a ca. 1955 Sanborn map, and on-site assessment; where features could not be determined historic or non-historic, the term "date unknown" is used. **The proposed work was guided by the F. Belanger Block Preservation Plan (June 2024) and the Secretary of the Interior's Standards for Rehabilitation.**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
SCOPE OF WORK FORM**

Property name F. Belanger Block

Property address 2403 West 6th Street, Duluth MN 55806

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<b>Number</b>	<b>1</b>	<b>Feature</b>	Building Envelope	<b>Date of Feature</b>	1916, unknown
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**Describe existing feature and its condition**

The Belanger Block is a two-story masonry building. When viewed from above, the building has a roughly square-shaped footprint, except for a modest alcove at the west elevation, making the building “U” shaped. Its primary south façade is oriented to West 6th Street; its west, east, and north elevations are secondary elevations.

The building is primarily of masonry construction, with a first and second-level wood framed porch at the west side of the south elevation and a second-level wood framed porch at the rear north elevation. The building has a stone foundation (covered with a parge coat and primarily below grade), brick walls laid in common bond (red brick at the south and east elevations and light-colored brick at the north and west elevations), a historic metal cornice at the south and east elevations, and a flat roof with non-historic roof membrane and drains for internal rainwater drainage. There is historic stone coping at the south and east parapets and non-historic metal coping at the west elevation, and a historic stone plaque reading “F. BELANGER BLOCK – 1916” at the south façade.

The west alcove is wood-framed and clad with non-historic metal lap siding. Historically, this elevation was likely clad with metal siding, as indicated on a ca. 1955 Sanborn Map of the building (see Figure 1). No historic photographs or physical remnants of the original siding are available to determine its appearance, but a 1911 trade catalog (see Figure 2) from the Wheeling Corrugating Company shows that it could have been a smooth metal lap siding that was being manufactured around the time of the building’s construction.

Beneath the rear porch, there is an area well along the building’s north elevation, with concrete retaining walls (largely below-grade) and above-grade enclosure clad with non-historic plywood, OSB, lattice, and other materials. Due to its location, site grading, and enclosure, the area well is not currently visible from the public right of way. The area well has concrete steps centered in the north wall and extending out into the yard. Within the enclosure, a set of non-historic wood-framed steps also provides access from the elevation of the east sidewalk down into the area well. The area well has a concrete slab at the approximate height of the first level floor; window wells covered with metal grates (at lower-level windows on the north elevation) are set into this slab. At the west side of the slab, a set of stairs leads down to an entrance to the lower level, currently obscured with non-historic paneling.

The foundation, interior lower-level concrete slab, and structure supporting the first level floor at the interior are in poor structural condition, and the building is in critical need of stabilization. At the rear area well, the concrete retaining wall is in poor condition and leaning inward towards the building. Lower-level window openings and the lower-level door opening at the north elevation have been a significant source of water infiltration, and may have contributed to the poor condition and failed slab at the interior. A permit to address these deficiencies and restore structural integrity to the building was submitted in August 2025 and was recently issued by the City. (In general, this work will not be visible or will be only very minimally visible from the public right of way; it is shown on the architectural drawings but not described in this application.)

Brick appears to be in generally good condition, with some cracking observed near the east entrance (see Photo E.47), penetrations from former light fixtures or signage, efflorescence, and areas of deteriorated

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
SCOPE OF WORK FORM**

Property name F. Belanger Block

Property address 2403 West 6th Street, Duluth MN 55806

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or missing mortar joints, particularly at the south elevation (see Photo E.35). A small amount of brick at the below-grade area well on the rear north elevation at the area well has been painted (Photo E.59). Some deterioration of stone coping was observed, particularly at the south façade (Photos E.31-E.33). The metal cornice has peeling paint. At the west alcove, the non-historic siding is damaged (Photo E.49) and there is no weather barrier beneath the non-historic siding, which has led to water infiltration at the interior.

Photo Numbers E.01-E.17, E.31-E.35, E.44-E.47, E.49,  
E.57-E.59

Drawing Numbers 3/A102, A200, A300, M203,  
M400-402, P401

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**Describe work to feature**

- **Brick walls.** At the exterior brick walls, only modest repointing and minimal brick replacement is anticipated. Where required, masonry will be repaired following best practices established in relevant National Park Service Preservation Briefs. Where repointing is required, per *Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings*, joints will be repointed to match the historic mortar joints in joint tooling, joint size, and mortar color, strength, and texture. Where necessary, holes in the brick will be patched to match the appearance, color, and texture of the masonry using Jahn restoration mortars or similar. Missing brick or brick that is deteriorated beyond repair will be replaced to match the existing historic brick as closely as possible in size, color, texture, and profile. If masonry cleaning is required, masonry will be cleaned using the gentlest means possible using a mild restoration detergent specifically formulated for the cleaning of historical substrates per *Preservation Brief 1: Assessing Cleaning and Water Repellent Treatments for Historic Masonry Buildings*. No abrasive cleaning will be used.
- **Porches.** Due to their poor condition, existing porches will be rebuilt (see Item 2 below).
- **West alcove.** At the west alcove, non-historic metal siding will be replaced with LP Smartside (engineered wood) lap siding with a 4" exposure and smooth finish (see attached product information for LP SmartSide Siding) to be compatible with the building's historic character and the smooth metal lap siding that may have existed in this area historically. Smartside trim will be used at the connection between the lap siding and the adjacent brick walls (see attached product information for LP SmartSide Trim). Siding will be painted. A weather barrier will be installed beneath the new siding to prevent further water infiltration.
- **Rear enclosure.** At the enclosure above the rear area well, existing above-grade enclosure materials will be removed and replaced with cedar-tone treated planks. The area well will be accessible via a new treated plank door at the east elevation, which will blend with the plank enclosure; a new wood-framed stair within the area well will provide access from this door down to the floor of the area well.
- **Exterior Lighting and FDC.** At building entrances, simple, wall-mounted, metal gooseneck downlights (see attached product information for Exterior Light Fixtures) will be installed for occupant safety and security. Where installed at brick walls, light fixtures will be mounted to mortar joints to avoid damaging the brick. An FDC (fire department connection) for the required new sprinkler system will be installed, likely at the south or east elevation.
- **Roof and cornice.** The existing non-historic roof system will remain and be patched as necessary. Damaged portions of the non-historic metal parapet cap will be replaced to match the existing. The historic stone parapet caps will be reset as necessary with matching mortar; lead "t-cap" joints will

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
SCOPE OF WORK FORM**

Property name F. Belanger Block

Property address 2403 West 6th Street, Duluth MN 55806

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be provided at skyward-facing joints to protect against water infiltration. Any broken cap stones will be replacing to match the existing as closely as possible in size, color, and texture. The existing metal cornice will be retained and repainted if needed.

- **Rooftop mechanical units and venting.** New mechanical units and venting/exhaust will be installed on the roof to service the residential units and commercial space. Mechanical equipment and vents are not anticipated to be visible from the public rights of way when viewed from the street immediately adjacent to the building. Due to the grade change, the building's roof is currently visible when viewed from the north along N 24th Avenue West (see Photo E.09); therefore, new equipment and vents will also be visible when viewed from this location. Equipment and vents include (dimensions approximate):
  - One (1) intake hood: 32" wide by 26" high by 51" long, installed on 12" high curb (see attached product information for Intake Hood)
  - Approximately eight (8) heat pumps: 34" wide by 29" high by 12" deep (type 1) and 40" wide by 32" high by 15" deep (type 2), installed on 18" high stand (see attached product information for Heat Pumps)
  - One (1) condensing unit: 35" wide by 36" high by 35" long, installed on 4" concrete pad or sleepers (see attached product information for Condensing Unit)
  - Roof hydrants (roughly 24" high)
  - Vents, including plumbing vents (12" high), bathroom exhaust (36" high) and dryer exhaust vents (approximately 36" high)

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
SCOPE OF WORK FORM**

Property name F. Belanger Block

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<b>Number</b> 2	<b>Feature</b> Porches	<b>Date of Feature</b> 1916, unknown
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**Describe existing feature and its condition**

The west side of the south façade has two wood framed porches: an open porch at the first level and an enclosed porch at the second level. At the first level porch, the existing painted tongue and groove wood flooring is likely historic; the painted wood trim at columns and painted/stained beadboard ceiling cannot be dated but may be historic. The painted wood railing is not historic. At the second level, the porch is enclosed with wood-framed walls with hung wood windows and clad with non-historic metal siding and non-historic metal cornice at the exterior. It has a painted tongue-and-groove wood floor and stained beadboard ceiling similar to the first level porch. Undated blueprints and the ca. 1955 Sanborn Map suggest that the enclosure is non-historic, or at least not original to the building, and that the second level porch was formerly an open porch with a canvas covering (likely a canvas floor covering).

At the rear (north) elevation, there is a wood-framed porch at the second level. The porch is accessed from a simple wood stair with metal pipe railing. The porch has a sloped (shed) roof with asphalt shingles. Painted wood posts, post caps, and beams, and unpainted tongue-and-groove wood flooring, are likely historic; stained beadboard ceiling cannot be dated but may be historic. The wood railing is not historic.

The porches are significantly deteriorated and unsound. At the rear porch, the roof framing is rotted and in poor condition; the stairs are also significantly deteriorated and unusable, preventing access to the porch and closer inspection of the deck framing. The front porch also has significant deterioration; portions of the roof at the second level porch have collapsed.

Photo Numbers E.01, E.07, E.10, E.12, E.18-E.27, E.46,  
E.51-E.59

Drawing Numbers A100-102, A200, A300

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**Describe work to feature**

- Due to the poor condition of the porches, they will be rebuilt.
- The rear porch will be replaced in kind with a new wood-framed porch with shed roof, to match the height and footprint of the existing porch as closely as possible.
  - The existing beadboard ceiling will be reused if possible and replaced in kind if necessary; new decking will be tongue-and-groove wood flooring similar to the existing.
  - New wood posts, post caps, and beams will replicate the dimensions and profile of the existing as closely as possible and will be painted.
  - The non-historic wood railing will be replaced with a new railing. Since no evidence of the historic railing design exists, new railings will have a simple design, with cedar-tone brown treated wood railing and balusters.
  - The roof will have asphalt shingles; the fascia and soffit will be finished with LP Smartside (engineered wood) panels, painted after install.
  - The existing deteriorated stair to the rear porch will be removed and a new wood stair will be constructed to access the reconstructed rear porch. The stair will have a simple design with cedar tone treated wood railing and balusters. The stair landing platform will extend to the rear parking lot.

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- The front porch will be reconstructed to reflect the assumed historic appearance, with a new wood-framed porch to match the height and footprint of the existing as closely as possible. At the first level, the porch will be rebuilt as an open porch similar to the existing; at the second level, the porch will also be rebuilt as an open porch, rather than enclosed, consistent with the original historic condition.
  - At grade, the porch will be supported by treated wood posts resting on below-grade helical piles; the posts will be screened by new stained wood lattice beneath the porch deck.
  - The existing beadboard ceilings will be replaced in kind; new flooring will be tongue-and-groove wood decking similar to the existing. New wood posts will have applied trim to match the dimensions and profiles of the existing as closely as possible; posts and trim will be painted.
  - The non-historic wood railing at the first level and non-original enclosure at the second level will be replaced with new railings with a simple design, with cedar tone brown treated wood railing and balusters.
  - The new roof at the second level porch will be a flat roof with LP Smartside panels at the soffit.

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<b>Number</b> 3	<b>Feature</b> Windows	<b>Date of Feature</b> 1916, unknown
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**Describe existing feature and its condition**

The majority of existing windows are historic wood windows. Windows are set into masonry rough openings in single, paired, and triptych (triple) groupings. Window openings have steel lintels. Limestone sills trim out the openings. Exterior hardware and blind stops at wood frames (see for example Photo E.30) indicate that openings historically had storm windows, as would be typical for a building of this vintage.

At the first level and second levels, windows are generally double hung with a single-pane lower sash and a three- or four-pane (light) upper sash, with clear glazing. At the east and north elevations, there are three, four-light fixed casement windows at the upper portion of the first level façade. Most windows have non-historic aluminum, triple-track, exterior-mounted storm/screen combination units; a few non-original, utilitarian, wood storm windows are located at the first level windows at the east elevation.

Non-historic windows include 1) a non-historic awning casement with crank hardware at the first level of the west elevation, set within a larger framed opening that has been modified to fit the existing window (see Photo E.50) and 2) one non-historic hung vinyl window at the second level of the east elevation (see E.45). While windows at the non-original second-level porch are also hung wood windows, they are likely not original, since the porch enclosure is likely not original.

First and second level windows are typically in fair to good condition (see for example E.28-E.30 and E.60-E.62), with mild checking at sash bottom rail and exterior sill, areas of joint separation at the bottom rail, deteriorated glazing putty, chipped and peeling paint, and corroded hardware.

	E.01, E.02, E.06, E.10, E.13, E.17-E.21,	
Photo Numbers	E.28-E.30, E.34, E.36, E.43-E.46, E.48-E.50, E.58-E.62	Drawing Numbers A100-102, A200, A400

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**Describe work to feature**

- Historic wood windows at the first and second levels will be repaired according to best practices outlined in National Park Service Preservation Brief 9, *The Repair of Historic Wood Windows*. In general, historic wood elements of the sash and frame will be repaired or replaced in kind where beyond repair and repainted; historic glass will be retained or replaced with clear glazing where broken. If any windows are discovered to be beyond repair, they will be replaced with a hung aluminum clad wood window to match the dimensions, and profiles of the existing historic windows as closely as possible.
- Non-historic storm/screen combinations will be removed and replaced with new wood storm windows, with rails, stiles, and center rail to match those of the primary sash as closely as possible (see attached product information for Storm Windows).
- The non-historic vinyl window at the second level of the east elevation will be replaced with a hung aluminum clad wood window to match the design, dimensions, and profiles of the existing historic windows as closely as possible (see attached window cut sheet for New Hung Window). The window will have applied wood muntins to create a three-over-one division of lights and insulated low-e glazing. The window will be installed within the wall plane at the same approximate depth as the historic windows.

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- The non-historic casement window at the west elevation will also be replaced within the existing opening. Since the historic window opening has been previously modified, the new window will be an aluminum clad wood casement window (see attached window cut sheet for New Casement Window), rather than a historic replica window, to avoid creating a false sense of history. The window will have insulated low-e glazing.
- Window lintel condition will be inspected following removal of the windows for repair. Corroded steel lintels with minimal deterioration will be scraped, primed, and repainted. Lintels that are damaged beyond repair will be replaced with new steel lintels to prevent further damage. Any bricks disturbed during the removal will be salvaged for reuse (or replaced in kind if beyond repair) and reset with mortar that will match the color, texture, strength, joint width and profile of the existing mortar joints.



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<b>Number</b> 4	<b>Feature</b> Entrances: Doors and Storefront	<b>Date of Feature</b> 1916, unknown
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**Describe existing feature and its condition**

Existing entrances to be reused include:

**South façade:**

- **First level storefront.** The storefront with recessed central entrance is located on the east side of the south façade. At this façade, the first level is raised above grade, so that the building's parged stone foundation is visible. A set of concrete steps leads to the entrance. No historic photographs of the building are available, but the storefront was assumed to historically have consisted of a typical three-part composition, with opaque material at the bulkhead, large picture windows flanking the door, and transom windows above. Today, the storefront consists of an assortment of materials from multiple eras. The majority of the visible materials at the exterior appear to be non-historic, including metal flashing at the bulkheads, painted OSB panels at the former picture windows, and metal siding at the ceiling above the entrance and at the former transom window. While exact dating of materials is not possible due to a lack of historic photographs or drawings, a few storefront elements may date to the period of significance, including a wood rail at the bottom of the former transom windows (visible from the interior), what appears to be painted beadboard above the non-historic metal paneling at the porch ceiling, hexagonal floor tile at the recessed entrance, and the wood door with full light set in a wood frame. A metal post with hardware, installed at an unknown date (potentially utilized for a blade sign) is located at the southeast corner of the storefront.
- **Three (3) additional first level entrances,** including one porch entrance. Each has a single wood door with varied designs that include a full light, paneled wood door with upper divided light, or no light. Doors cannot be dated with certainty, but the paneled wood door with upper light is likely historic.
- **One (1) second level porch entrance.** The door at this entrance is missing.

**East elevation:**

- **One (1) first level entrance.** This entrance has a non-historic metal door and frame.

**North elevation:**

- **One (1) first-level entrance** at the rear area well, partially below grade. The entrance has a historic paneled wood door with missing upper light. It is not visible from the public right of way.
- **Two (2) second-level porch entrances.** Each has a historic paneled wood door with upper light.

Doors are in fair to poor condition, with modified or missing hardware, peeling paint, missing glazing, deteriorated paneling, and deteriorated or missing wood frame components.

Photo Numbers E.01, E.06, E.10, E.17-E.19, E.37-E.42,  
E.47, E.53, E.54, E.59

Drawing Numbers A101, A102, A200, A400

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**Describe work to feature**

- **Storefront.** The existing storefront will be replaced with a new wood-framed storefront, to be installed in the same location and with the same proportions as the existing. At the exterior, the storefront will be wrapped with aluminum with a matte finish. The new storefront will restore the assumed historic presence of transom and picture windows; new windows will consist of aluminum sash with a matte finish and will have clear insulated glazing. In the absence of historic documentation showing the design of the storefront bulkheads, bulkheads will be finished with LP SmartSide panels with a smooth finish, painted after installation (see attached product information for SmartSide Storefront Bulkhead Panels). The historic wood rail beneath the transom windows will be retained and reused if possible; if beyond repair, it will be replaced with an aluminum rail with matte finish. The historic hexagonal tile and entrance stoop will be retained and repaired; if beyond repair, it will be replaced to match the existing as closely as possible. The existing wood door and painted beadboard above the entrance will be retained and repaired; if beyond repair, these elements will be replaced in kind to match the existing as closely as possible.
- **Entrances.** Existing wood doors and frames at all first and second level entrances will be retained and repaired. All doors will receive new hardware for occupant safety and security. If beyond repair, or where doors are missing (i.e., the second level front porch), frames and doors will be replaced. New doors will be wood doors that reflect the two most common (assumed historic) door designs present at the building today 1) a paneled wood door with an upper light (see Photo E.41 and door type D-1 on A400) and 2) a wood door with full light (see Photo E.53 and door type D-2 on A400). The existing non-historic metal door at the first level east entrance will be replaced with a wood door in the latter design. New wood storm/screen doors will be installed for weather protection of the historic doors. Storm doors will have a simple design with a 2/3rd or full light and will be painted (see attached product information for Storm Doors).

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Number	5	Feature	Site and New Ramp	Date of Feature	Unknown
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**Describe existing feature and its condition**

The front (south) of the parcel along West 6th Street is primarily concrete hardscape, including a public sidewalk that runs parallel to West 6th Street. Two sets of concrete steps (installed at an unknown date) lead up to the first level entrances at the south façade; one has simple metal pipe handrails. There is a small area of grass lawn at the west side of the elevation, directly in front of the front porch. The west elevation has several small trees/shrubs within the west alcove.

The rear (north side) of the parcel has a sloped grade and consists primarily of a grass lawn. Remnants of a gravel drive, accessed from North 24th Avenue West, runs parallel to the building's north elevation. Vehicle access has also occurred from the alley to the north; there is a remnant of what appears to have been a concrete curb (date of installation unknown but likely non-historic) at the east side of this driveway. There is a short concrete stair (date of installation unknown) near the east side of the parcel and a concrete patio (date of installation unknown) is located at the west side of the building's north elevation. A few trees are located at the east and west sides of the lawn. A public sidewalk runs parallel to North 24th Avenue West along the east side of the parcel. Historically, there was a one and one-half story wood stable/garage located on the far north side of the parcel, adjacent to the alley (see Figure 1). This was removed sometime after 1955.

Today, the site is in fair condition. The former gravel drive at the rear of the site is overgrown, and the concrete pavement at the front of the building is cracked. Concrete steps have experienced settlement and are separated from the building façade. Most importantly, the building does not have an accessible entrance at any elevation.

Photo Numbers      Photos E.01, E.02, E.06, E.07, E.10, E.11,  
   E.15, E.39, E.46

Drawing Numbers      T1; A100, A101; A200

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**Describe work to feature**

- At the front (south) of the parcel, the existing concrete stairs and handrails will be removed and a ramp will be installed at the building's south elevation to create an accessible entrance to the first level commercial space and first level units. The project team explored adding an accessible entrance at other, less visible, locations, but these locations are not possible because:
  - East elevation: the existing sidewalk leading to the existing east entrance is too steep to meet code requirements for an accessible slope.
  - West elevation: there are no existing building entrances at this elevation, and the building is constructed up to the west lot line, so there is also no room to construct a ramp.
  - North elevation: in order to create a ramp leading down from the proposed new parking lot to the rear first level entrance at the area well, the project would need to significantly regrade both the parking lot area and the yard between the parking lot and the building, requiring a substantial change to the historic character-defining feature of a sloped grade. Given the steep slope, the ramp would occupy a large amount of space on the site, taking up most of the area between the parking lot and the building. The rear area well concrete retaining walls would also need to be significantly modified in order to accommodate an

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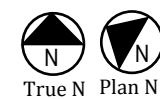
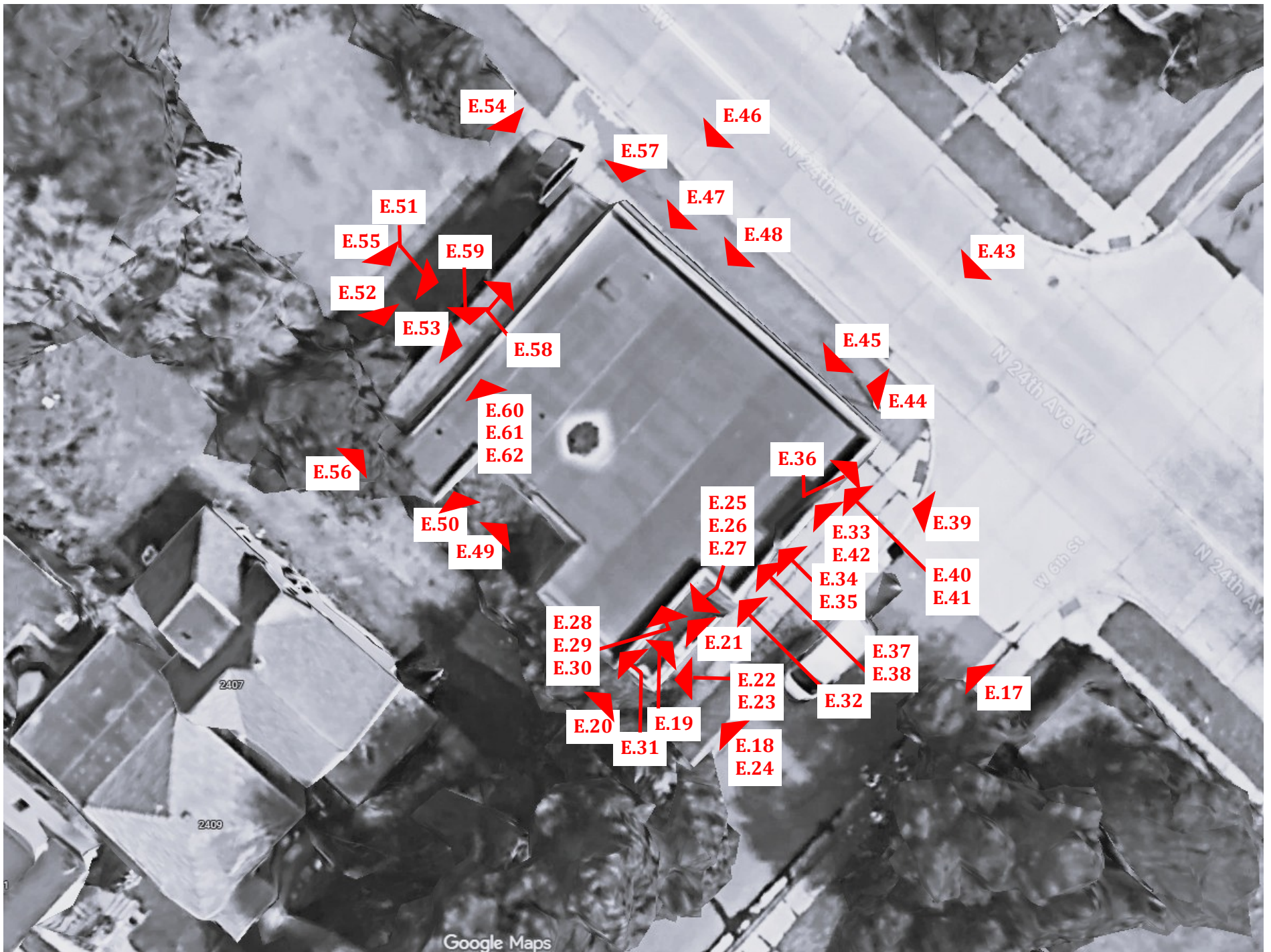
accessible entrance at this elevation. This location does not provide an accessible route to the building's primary public entrance and therefore fails to provide equitable access for persons with disabilities.

- West side of the south elevation: the team also explored the option of placing the ramp along the west side of the south elevation, rather than in front of the storefront at the east side. However, due to the slope of the site, the exterior grade is lower at this side of the building, meaning that a new ramp starting at the west side of the building would need to cover an additional 1 ft. of elevation change to access the building entrances. To meet code requirements for slope (1:20), the additional 1 ft. of rise would require another 20 ft. of ramp length, resulting in a larger and more visually prominent ramp.
- Therefore, the ramp will be installed at the east side of the south elevation, at the existing storefront. The ramp will be composed of concrete with steel guardrails with a painted matte finish. These materials are compatible with the existing building, and the use of metal allows the guardrails to be as thin as possible to limit visual obstruction of the primary storefront. The ramp will have a switchback design that is as compact as possible while meeting code requirements for slope. A short set of concrete stairs and platform will provide access to the residential entrances to the west of the storefront; the stairs and platform will have simple cedar tone wood railings to blend visually with the adjacent porch railing.
- The existing concrete pavement at the front of the parcel will be replaced as necessary to repair damaged concrete and support accessible access to the proposed new ramp. New trees and landscaping may be installed at the west side of the south elevation, adjacent to the porch. An existing gas meter in front of the building will be relocated to the secondary west elevation to accommodate the new ramp.
- At the east (side) elevation, a new concrete entrance stoop will be installed at the east entrance along North 24th Avenue West.
- At the rear (north) side of the site, a paved parking lot will be installed to provide parking for residents, as required by the project's interim use permit. Existing vegetation within the parking lot area will be removed as necessary; existing mature trees to the west of the property will be retained. The existing sloped grade will be retained to the greatest extent allowable and only regraded as necessary to support safety and functionality of the parking lot. The lot will be bordered by a concrete retaining wall. The curb of the retaining wall will extend approximately 6 inches above the grade of the parking lot, to minimize the visual impact of the parking lot.
- The existing concrete stairs and concrete curb remnant will be removed. The existing concrete patio will be retained. New trees will be installed along the south side of the parking lot.
- A new trash can enclosure will be installed at the west side of the parking lot. The trash enclosure will have painted columns and LP smartside (engineered wood) painted lap siding, to be compatible with the materials used at the historic building.









**F. Belanger Block**  
C of A | Exterior Photo Key



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E.01      View of the south façade, looking north.



E.02      View of south façade and east elevation, looking northwest.



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E.03      View of the building from W 6th St, looking west (building minimally visible).



E.04      View of the building from N 24th Ave W at intersection with alley, looking north.



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E.05      View of the building from N 24th Ave W at intersection with W 5th St, looking north (building minimally visible)



E.06      View of the east elevation, looking west.

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E.07      View of the east and north elevations, looking southwest.



E.08      View of the building from N 24th St W near intersection with alley, looking southwest (building minimally visible).

*All photos by New History unless noted otherwise*



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E.09      View of the building from N 24th St W, at intersection with W 7th St, looking southwest (building minimally visible).



E.10      View of the north elevation, looking south.

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E.11 View of the north elevation and site, looking south.

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E.12 View of the west elevation, looking east.



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E.13 View of the west elevation, looking east.



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E.14      View of the west elevation, looking east.



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E.15      View of the west elevation and south façade (building largely obscured by trees), looking northeast.



E.16      View of the building from W 6th St, looking northeast (building minimally visible).



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E.17      View of the south elevation, looking north.



E.18      View of first level porch at the south elevation, looking north.



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E.19 View of first level porch and entrance at the south elevation, looking east.



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E.20 View of first level porch at the south elevation, looking east.



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E.21      View of window at first level of south elevation, looking north.



E.22      View of railing at the first level porch on the south elevation, looking northwest.



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E.23 View of first level porch at the south elevation, looking northwest.



E.24 Second level porch on south elevation, looking north.



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E.25 View of second level porch (currently enclosed) at the south elevation, looking west.



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E.26 View of second level porch, looking southwest.



E.27 View of second level porch, looking west.



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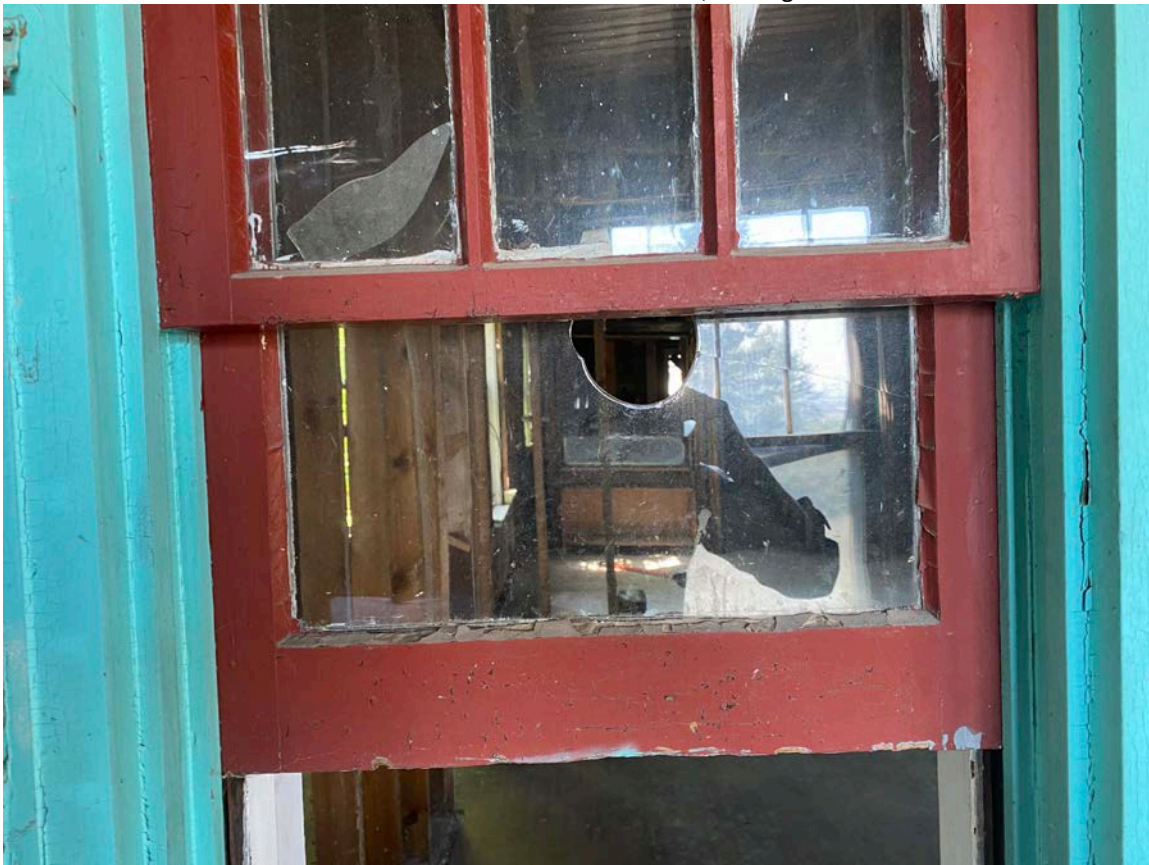
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E.28 View of windows at second level on the south elevation, looking northeast.



E.29 Close up view of window at second level on the south elevation, looking north.



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E.30      View of window and former storm window hardware (top of frame at window head) at second level of the south elevation, looking northeast.



E.31      View of metal cornice and stone parapet caps at the south elevation, looking north.

*All photos by New History unless noted otherwise*



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E.32 View of metal cornice and stone parapet caps at the south elevation, looking northeast.



E.33 View of metal cornice and stone parapet caps at the south elevation, looking northeast.



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E.34      View of windows at south elevation, looking north.



E.35      View of masonry at south elevation, looking north.



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E.36 View of window sill and non-historic storm windows at a second level window at the south elevation, looking east.

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E.37 View of wood door (behind screen door) at first level of south elevation, looking northeast.



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E.38 View of wood door at first level of south elevation, looking north.



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E.39      View of first level storefront, looking northwest.



E.40      View of storefront entrance at south elevation, looking north.



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E.41 View of door at first level storefront at south elevation, looking north.



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E.42      View of storefront bulkhead and infill panel at west side of first level storefront, looking north.



E.43      View of east elevation, looking west.



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E.44 View of east elevation, looking northwest.



E.45 Windows at east elevation, looking west. Non-historic window at level two is at left side of photo.



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E.46 View of east elevation, looking west.



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E.47 View of entrance at the east elevation, looking west.



E.48 View of window at the east elevation, looking west.



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E.49 View of alcove at west elevation, looking east.



E.50 View of non-historic window at north side of alcove on the west elevation, looking northeast.



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E.51      View of the second level porch at the north elevation, looking southeast.



E.52      View of the second level porch at the north elevation, looking southwest.



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E.53 View of second level entrance at second level porch at the north elevation, looking southeast.

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Photo dates: 2024 and 2025.



E.54 View of second level entrance at second level porch at the north elevation, looking southwest.

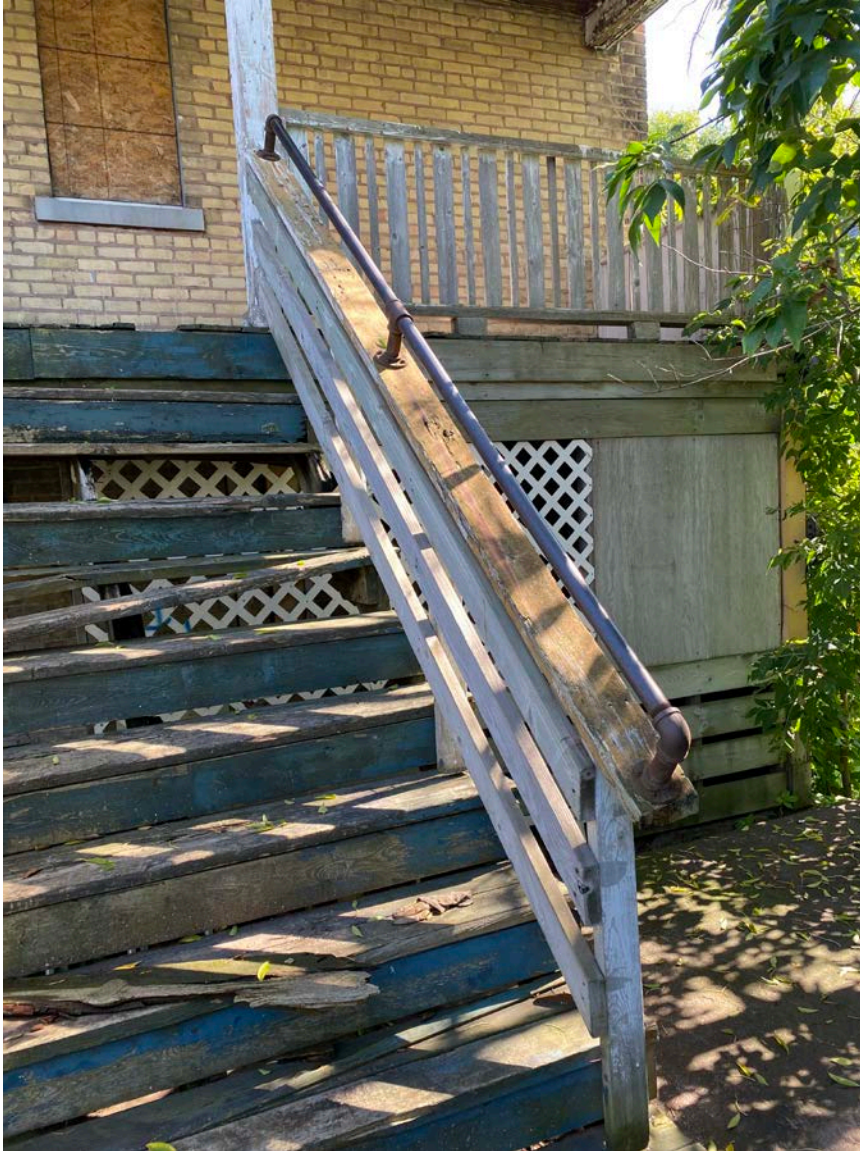


**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**  
**PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.55 View of porch steps leading to second level porch at the north elevation, looking southwest.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.56 View of porch at the second level on the north elevation, looking east.



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.57 View of the entrance to the area well at the north elevation, looking west.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.58 View of the area well at the north elevation, looking east.



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.59 View of the area well at the north elevation, looking southwest.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.60 View of window at rear north elevation, looking northeast. (Photo taken from interior).



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
PHOTOS**

Property name        F. Belanger Block  
Property address    2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.61      Close-up view of window at rear (north) elevation, looking northwest.

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**  
**PHOTOS**

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

---

Photo dates: 2024 and 2025.



E.62 Close-up of window at rear (north) elevation, looking northwest.



# F. BELANGER BLOCK BUILDING

## REMODEL AND RENOVATIONS

2403 W 6TH ST - DULUTH, MN 54806

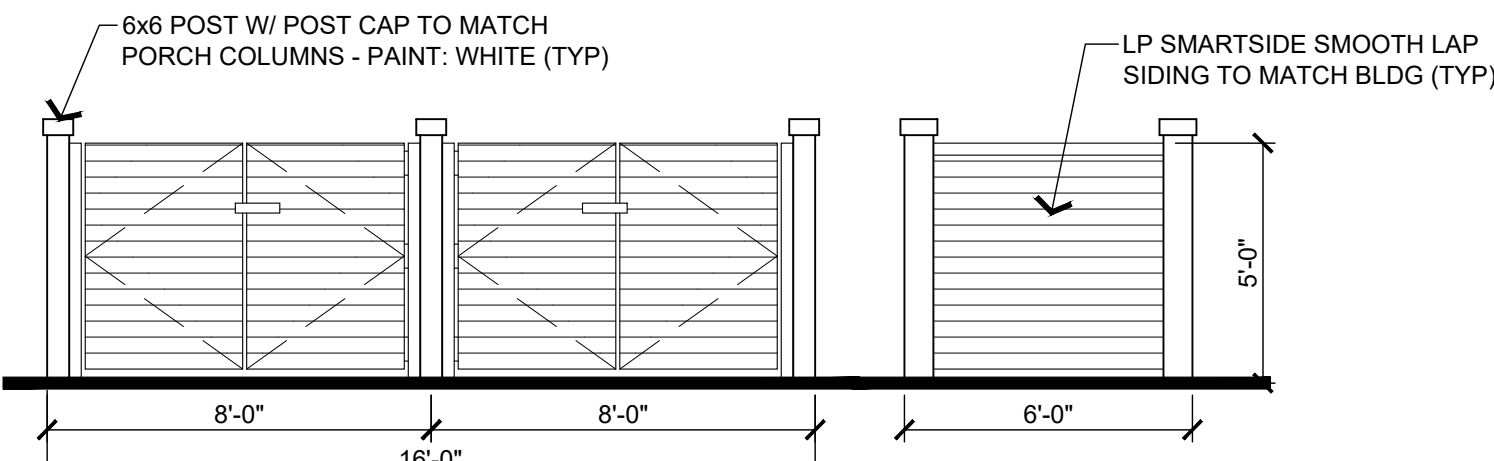
### SITE LEGEND

- NEW BUILDING
- NO PARKING STRIPING
- CONCRETE SIDEWALK
- BITUMINOUS PAVEMENT
- SNOW STORAGE AREA
- PROPERTY LINE
- SETBACKS
- ZONE DISTRICT BOUNDARY
- SHRUB
- EXISTING TREE
- NEW TREE
- FENCE

### KEYED SITE PLAN NOTES

- BITUMINOUS PARKING LOT - MAINTAIN EXISTING GRADE AS ALLOWABLE
- TRASH CAN ENCLOSURE CORRAL - SEE DETAILS 2 & 3/T1
- CONCRETE STOOP
- REMOVE EXIST CONCRETE STAIR - PATCH GRADE AS NECESSARY
- VERIFY EXISTING TREE/ VEGETATION LOCATION AND REMOVE AND REPLANT
- REPLACE EXISTING CONCRETE PAVEMENT AS NECESSARY
- RETAINING WALL DRAIN LOCATION

1 SITE PLAN  
1"=10"



2 FRONT ELEVATION  
1/4"=1'-0" TRASH CAN ENCLOSURE

3 SIDE ELEVATION  
1/4"=1'-0" TRASH CAN ENCLOSURE

### ABBREVIATIONS:

ACT	ACOUSTICAL CEILING TILE	DISP	DISPENSER DOUBLE DOWN	INT	INTERIOR INSULATION	REIN	REINFORCING R.O. RCB R.D. REQ'D
ADA	AMERICAN DISABILITIES ACT	EA	EACH MECH ELEV	M.O.	MASONRY OPENING	SV	SHEET VINYL
AFF	ALTERNATE FLOOR	EL	ELEVATOR	MTL	METAL MEZZ	SF	SQUARE FEET
ALT	ALUMINUM	EQ	EQUAL EQUIPMENT	MFR	MANUFACTURER	STL	STEEL
ALUM	ALUMINUM	EXIST	EXISTING	NIC	NOT IN CONTRACT	SIM	SIMILAR
ANG	ANGLE			NTS	NOT TO SCALE	SSM	SOLID SURFACE MATERIAL
APPROX	APPROXIMATE	FD	FLOOR DRAIN	O.C.	ON CENTER	T.O.	TOP OF
ARCH	ARCHITECT	FTG	FOOTING	OFCL	OWNER FURNISH CONTRACTOR INSTALL	TYP	TYPICAL
B.O.	BOTTOM OF BUILDING	FRP	FIBERGLASS REINFORCED PANEL	PT	PAINT	TRTD	TREATED
BLDG	BLOCKING BEARING	FUR	FURRING	PLAM	PLASTIC LAMINATE	VB	VINYL BASE
BLKG	BLOCKING BEARING	GA	GAUGE	PLY	PLYWOOD	VCT	VINYL COMPOSITION TILE
BRG	BLOCKING BEARING	GFI	GROUND FAULT INTERRUPTER	PTD	PAPER TOWEL DISPENSER	VER	VERIFY
CPT	CARPET	GYP BD	GYP BOARD	QT	QUARRY TILE	W/	WITH
CLG	CERAMIC TILE	GALV	GALVANIZED	R	RISER	W/O	WITH OUT
CT	CERAMIC TILE	HM	HOLLOW METAL	RAD	RADIUS	WH	WATER HEATER
CLR	CONCRETE	HT	HEIGHT	REF	REFRIGERATOR	WDW	WINDOW
CMU	CONCRETE MASONRY UNIT			R/W	REINFORCE WITH	WD	WOOD
C.J.	CONTROL JOINT						
CONT	CONTINUOUS						
DIA	DIAMETER						
DIM	DIMENSION						

### SHEET INDEX:

T1:	CODE SUMMARY/ SITE PLAN/ LIFE SAFETY PLANS
A100:	BASEMENT- DEMOLITION/ REMODEL PLAN
A101:	FIRST FLOOR- DEMOLITION/ REMODEL PLAN
A102:	SECOND FLOOR- DEMOLITION/ REMODEL PLAN
A200:	EXTERIOR ELEVATIONS
A300:	SECTIONS
A400:	SCHEDULES/ WINDOW DETAILS
S0.1:	GENERAL NOTES / SHEET INDEX
S1.0:	TYPICAL DETAILS -CONCRETE / CMU / ABBREVIATIONS
S2.0:	BASEMENT / FOUNDATION PLAN
S2.1:	FIRST FLOOR FRAMING PLAN / SECTIONS
S2.2:	SECOND FLOOR & PARTIAL ROOF FRAMING PLANS
S3.0:	SECTIONS & DETAILS
S3.1:	SECTIONS AND DETAILS / TYPICAL DETAILS -WOOD

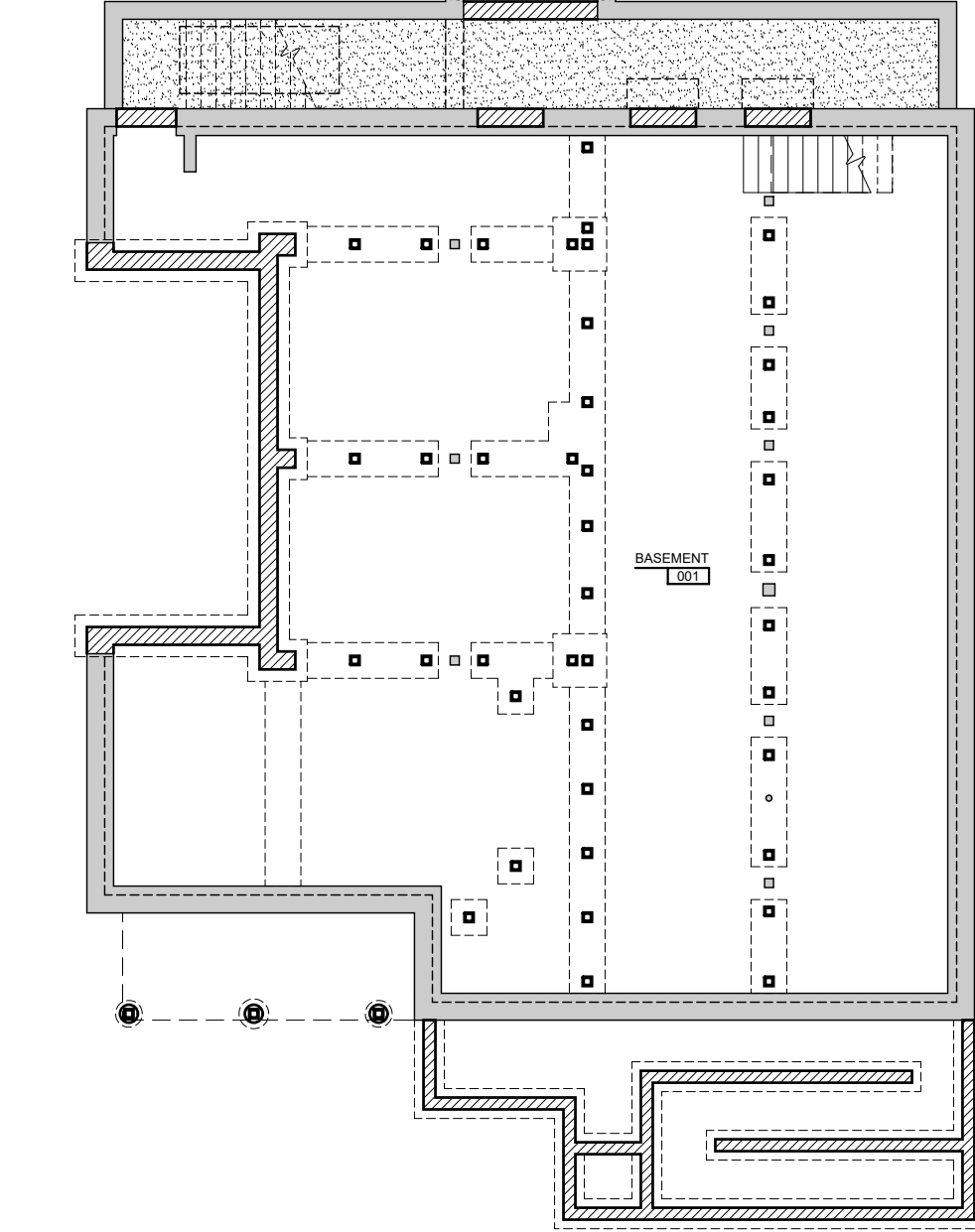
### PROJECT TEAM:

ARCHITECT/ DESIGNER  
**FOUNDATIONS ARCHITECTURE**  
2150 CULAS ROAD  
DULUTH, MINNESOTA 55804  
  
BOECKER DRAFTING AND DESIGN  
DULUTH, MINNESOTA 55804

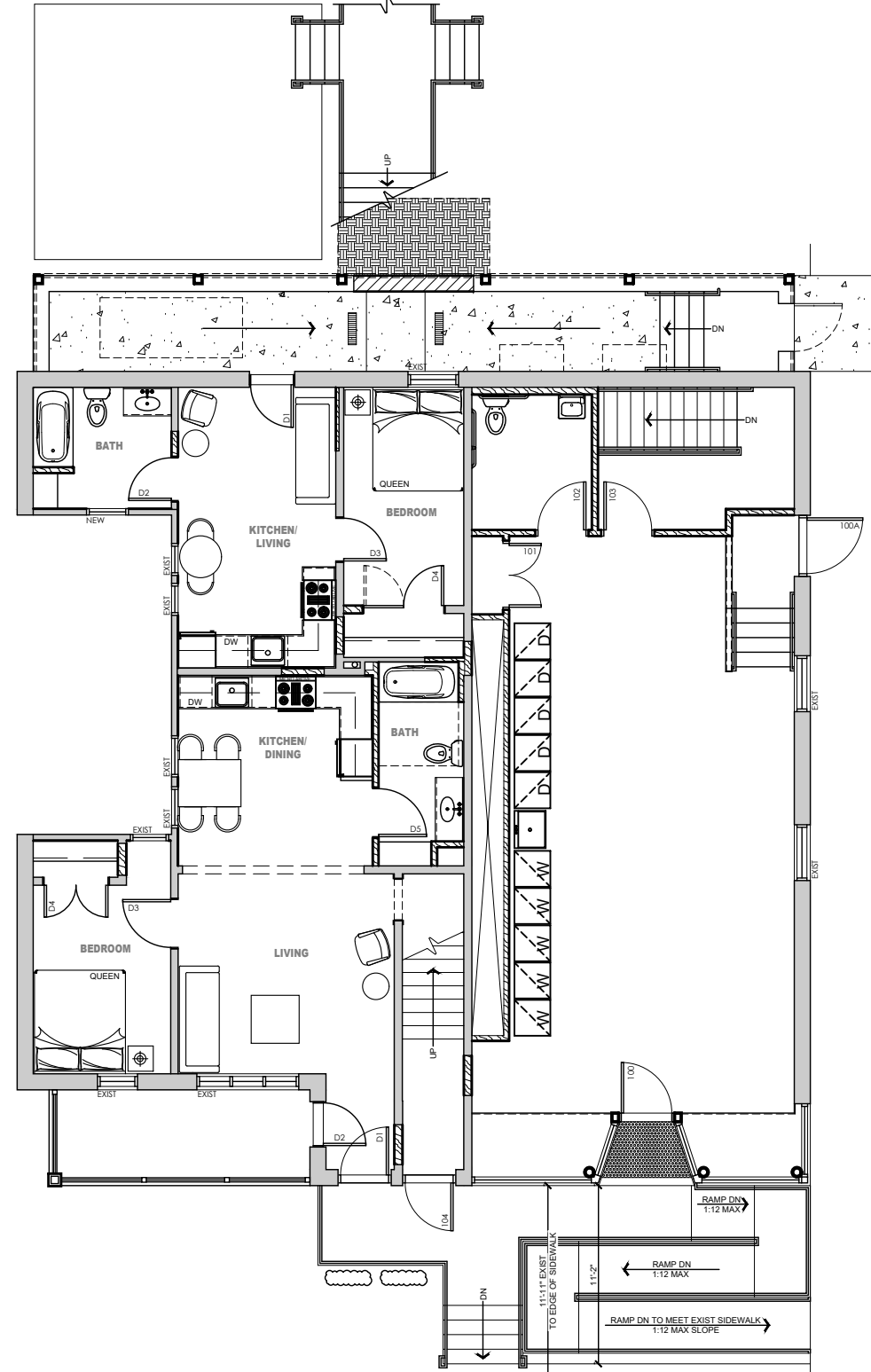
STRUCTURAL ENGINEER  
**NORTHLAND CONSULTING ENGINEERS, LLP**  
102 S. 21ST AVENUE WEST, SUITE 1  
DULUTH, MINNESOTA 55806  
**MARK UDD, STRUCTURAL / DAVID BOLF, CIVIL**  
P: 218.727.5995

### CODE SUMMARY

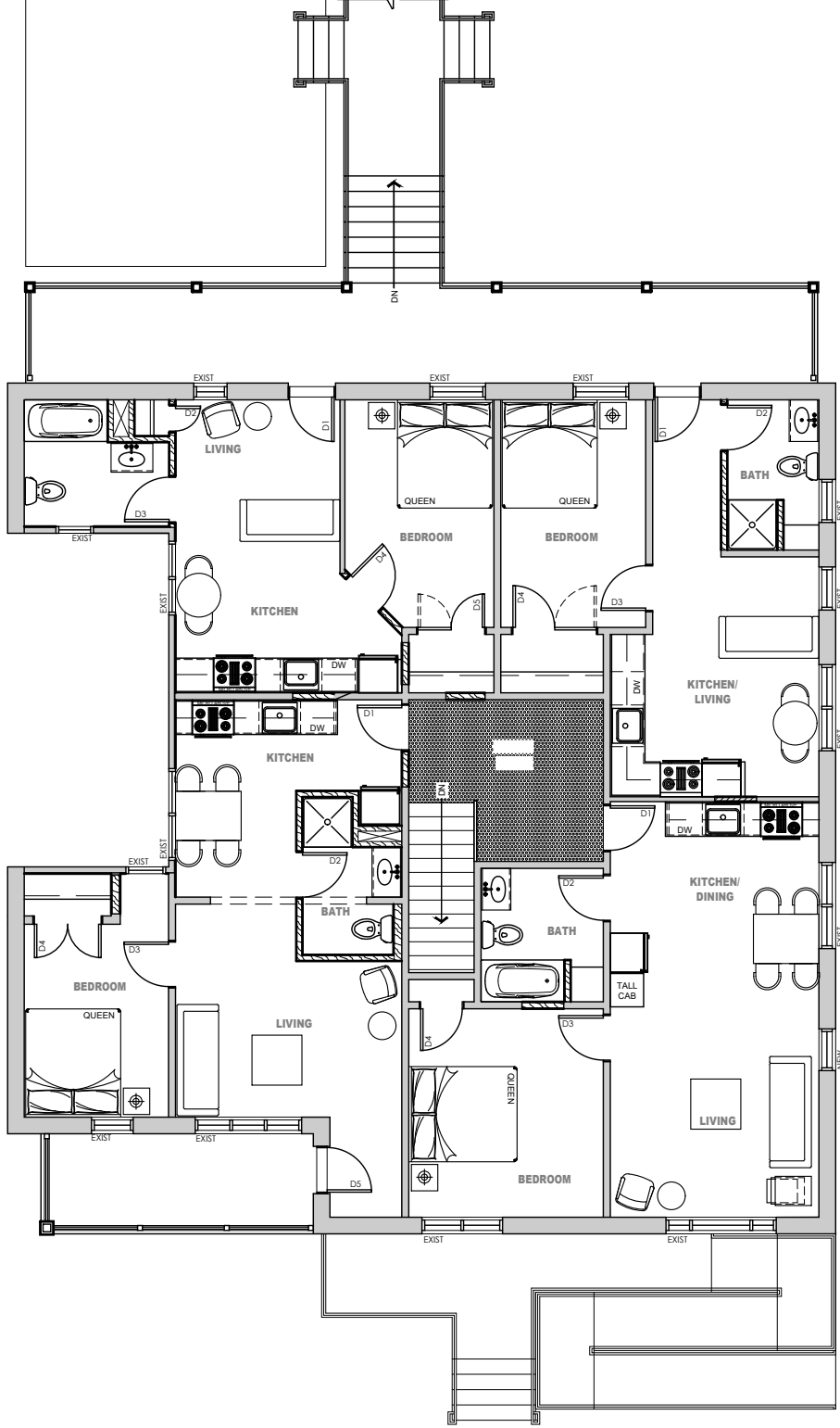
CODES USED:	2020 MINNESOTA STATE BUILDING CODE
	2020 MINNESOTA STATE ACCESSIBILITY CODE
	2020 MINNESOTA STATE CONSERVATION CODE FOR EXISTING BUILDINGS
	2024 MINNESOTA STATE COMMERCIAL ENERGY CODE
BUILDING CODE	B - SELF SERVE LAUNDRAMAT
OCCUPANCY GROUPS	SECTION 310.3 R-2 APARTMENTS
	SECTION 311.3 S-2 BASEMENT STORAGE / UTILITY
	SECTION 508.3 NON SEPARATED USES
CONSTRUCTION TYPE:	SECTION 602 TYPE II-B - MASONRY EXTERIOR WALLS W/ WOOD PARTITIONS, FLOORS & ROOF, W/ FRAMED EXTERIOR PORCHES
ALLOWABLE AREA:	TABLE 503 GROUP S-2 CONST TYPE II-B SPRINKLER CLASS S-13R AREA 16,000 SF # OF SIDES OPEN 3 FRONTAGE INCREASE 6,000 SF MAXIMUM AREA/ LEVEL 22,000 SF
ACTUAL AREA (ASSUMED UNTIL LEASED):	SECTION 508.3 GROUP S-2 BASEMENT 1ST FLOOR 2ND FLOOR TOTALS
*BASEMENT SIZE ESTIMATED:	TABLE 508.3 GROUP S-2 BASEMENT 1ST FLOOR 2ND FLOOR TOTALS
ALLOWABLE / ACTUAL HEIGHT:	TABLE 504.3 TABLE 504.4 GROUP R-2 CONST TYPE II-B SPRINKLER CLASS S-13R MAXIMUM HEIGHT 20 FT ACTUAL HEIGHT 20 FT
MIXED OCCUPANCY:	TABLE 508.3 YES - NON SEPARATED (SEE CORRIDOR / UNIT AND UNIT / UNIT REQUIREMENTS BELOW)
AUTOMATIC FIRE PROTECTION:	SECTION 903 YES - SYSTEM NFPA 13R
FIRE ALARM:	SECTION 907 YES
FIRE RESISTIVE REQUIREMENTS:	TABLE 601 BUILDING ELEMENTS STRUCTURAL FRAME 0 HOUR BEARING WALLS (EXT.) 2 HOUR BEARING WALLS (INT.) 0 HOUR NONBEARING WALLS (INT.) 0 HOUR FLOOR CONSTRUCTION 0 HOUR ROOF CONSTRUCTION 0 HOUR
	TABLE 602 EXTERIOR WALLS <5 FEET 1 HOUR 5 FEET TO <10 FEET 1 HOUR 10 FEET TO <30 FEET 1 HOUR >30 FEET 0 HOUR
OCCUPANT LOAD:	TABLE 1004.1.1
	OCCUPANCY AREA: SF OCC. BASEMENT 1ST FLOOR 2ND FLOOR OCCUPANT LOAD:
	S-2 STORAGE/UTILITY* 2,207 SF 300 SF 7 7 OCCUPANTS
	B LAUNDRAMAT 1,071 SF 150 SF 7 7 OCCUPANTS
	R-2 APARTMENT 1,136 SF 200 SF 6 6 OCCUPANTS
	R-2 APARTMENT 2,207 SF 200 SF 11 11 OCCUPANTS
	TOTALS 6,621 SF 7 13 11 31 OCCUPANTS
*THIS SPACE IS SERVICE EMPLOYEE ACCESS ONLY	
COMMON PATH OF EGRESS:	TABLE 1006.2.1 R-2: 125' B: 100' S: 100'
EXIT ACCESS TRAVEL DISTANCE:	TABLE 1016.2 R & S: 250' B: 300'
UNIT/UNIT RATINGS:	SECT 708.3.4 TBL 1200.1 30 MINUTES
CORRIDOR RATINGS:	SECT 708.3.4 TBL 1200.1 30 MINUTES
PLUMBING:	TABLE 2902.1 NOTE: R-1 PROVIDED WITHIN ROOMS
	OCCUPANCY OCCUPANT LOAD TOILET - M* TOILET - F* LAV - M* LAV - F* SHWR / BATH DRINK FTYN** SERV SINK
	SF 7 0.1 0.1 0.1 0.1 0.0 0.0 1.0
	TOTAL REQUIRED: 7 0.1 0.1 0.1 0.1 0.0 0.0 1.0
	TOTAL PROVIDED: 7 0.5 0.5 0.5 0.5 0 0 1
*FIGURED FOR B SPACE ONLY - APARTMENT	**DRINKING FOUNTAIN NOT REQUIRED PER TABLE 2902.1 FOOTNOTE h
SPECIAL INSPECTIONS	SECTION 1704.3 SEE STRUCTURAL
ACCESSIBILITY CODE	
ACCESSIBLE ROUTE	SECTION 1104.1 ACCESSIBLE ROUTE TO BE PROVIDED TO COMMERCIAL SPACE AND MAIN LEVEL APARTMENT.
	SECTION 1104.4.1 ELEVATOR SERVICE NEED NOT BE PROVIDED TO LEVEL 2 (EXCEPTION 1)
ACCESSIBILITY IN APARTMENTS	TABLE 1107.6.1.1 TWO ACCESSIBLE R-1 ROOMS ARE REQUIRED; ROLL-IN SHOWERS ARE NOT REQUIRED
	SECTION 1107.6.2.2.1 -7 UNITS: TYPE 'A' UNIT NOT REQUIRED
	SECTION 1107.7 TYPE B UNIT REQUIRED - UNIT #1 SHALL BE TYPE 'B' ACCESSIBLE
	SECTION 1107.7.1 TYPE B UNITS NOT REQUIRED ON LEVEL 2
	SECTION 305.6 UNIT #2 SHALL NOT BE TYPE B AS MAKING IT SO IS TECHNICALLY INFEASIBLE
	SECTION 305.7 #1 IF TECHNICAL INFEASIBILITY IS DENIED, MAKING UNIT 2 A TYPE B UNIT WOULD EXCEED 20% OF BUDGET
CONSERVATION CODE FOR EXISTING BUILDINGS	
GENERALLY:	THE NEWBUILDING CODE WILL BE USED FOR ALL ITEMS EXCEPT STAIR CONFIGURATION AND BUILDING ENVELOPE
CLASSIFICATIONS:	SECTION 604.1 ALTERATION - LEVEL 3
STAIRWAYS	SECTION 506.3 STAIRWAYS NEED NOT COMPLY WITH RISE, RUN, AND LANDING SIZE RESTRICTIONS
ENERGY CODE	
GENERALLY:	NEWELEMENTS OF THE BUILDING ENVELOPE SHALL FOLLOW TABLE 5-7



2 LIFE SAFETY PLAN- BASEMENT  
1/16"=1'-0"



3 LIFE SAFETY PLAN- FIRST FLOOR  
1/16"=1'-0"



4 LIFE SAFETY PLAN- SECOND FLOOR  
1/16"=1'-0"

REMODEL AND RENOVATIONS FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

### SHEET TITLE:

CODE SUMMARY  
SITE PLAN  
LIFE SAFETY PLANS

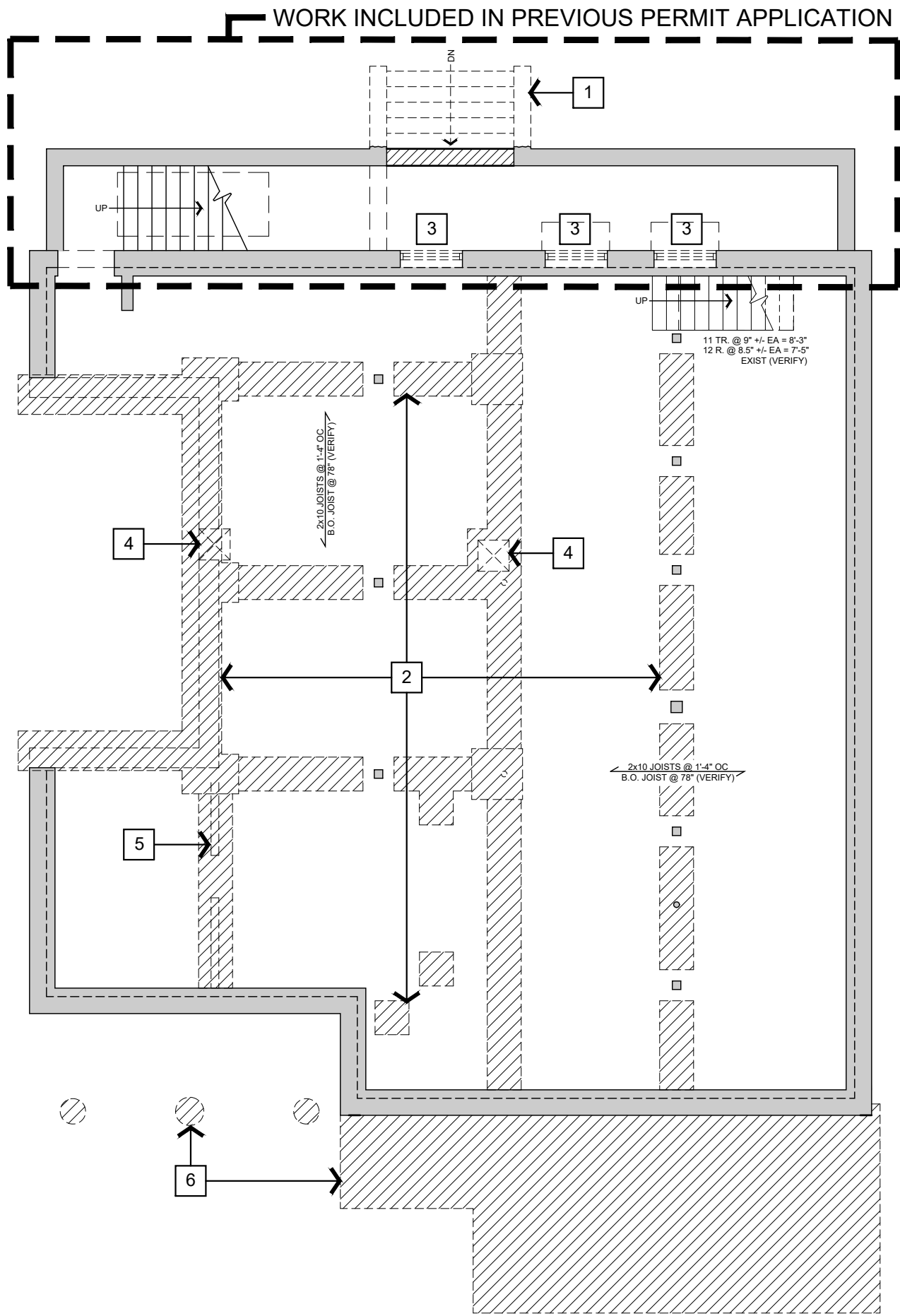
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULUTH LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA  
DATE  
SIGNATURE  
REG. NO. 26187  
GREGORY P. STROM

DATE: 2/27/24  
JOB NO.: 2437  
DRAWN BY: TJB  
APPROVED BY: G.PS

### REVISIONS:

T1





1  
A100  
1/4"=1'-0"  
DEMOLITION PLAN - BASEMENT

- KEYED DEMOLITION PLAN NOTES**
- 1 REMOVE EXISTING CONCRETE STAIRS (SEE STRUCTURAL)
  - 2 REMOVE FOUNDATION WALL, CONCRETE FLOOR, AND COLUMNS AS CALLED OUT BY STRUCTURAL DRAWINGS TYP (SEE STRUCTURAL)
  - 3 REMOVE EXISTING WINDOW UNIT, PREP FOR NEW (SEE EXTERIOR ELEVATIONS)
  - 4 REMOVE EXISTING CHIMNEY IN IT'S ENTIRETY
  - 5 REMOVE EXISTING PARTITION WALL
  - 6 REMOVE/ PREP EARTH FOR FOUNDATION/ FOOTINGS
  - 7 REMOVE EXISTING INTERIOR DOOR/ FRAME ASSEMBLY
  - 8 MODIFY INTERIOR WALL TO ALLOW FOR NEW OPENING
  - 9 REMOVE EXISTING PLUMBING FIXTURES, LIGHTING FIXTURES, FLOORING, AND WALL FINISHES IN THEIR ENTIRETY (TYP)
  - 10 REMOVE FRONT DECK/ PORCH IN IT'S ENTIRETY
  - 11 REMOVE EXISTING REAR DECK IN IT'S ENTIRETY - EXISTING FOUNDATION TO REMAIN (SEE STRUCTURAL)
  - 12 INSPECT EXISTING EXTERIOR DOOR AND FRAME ASSEMBLY; REPAIR IF POSSIBLE /OR IF BEYOND REPAIR REMOVE TO ALLOW FOR NEW (SEE EXTERIOR ELEVATIONS)
  - 13 REMOVE EXISTING WOOD STAIR TO ALLOW FOR NEW
  - 14 REMOVE EXISTING FIXTURES
  - 15 REMOVE EXISTING STOREFRONT WINDOWS AND TRANSOM TO ALLOW FOR NEW

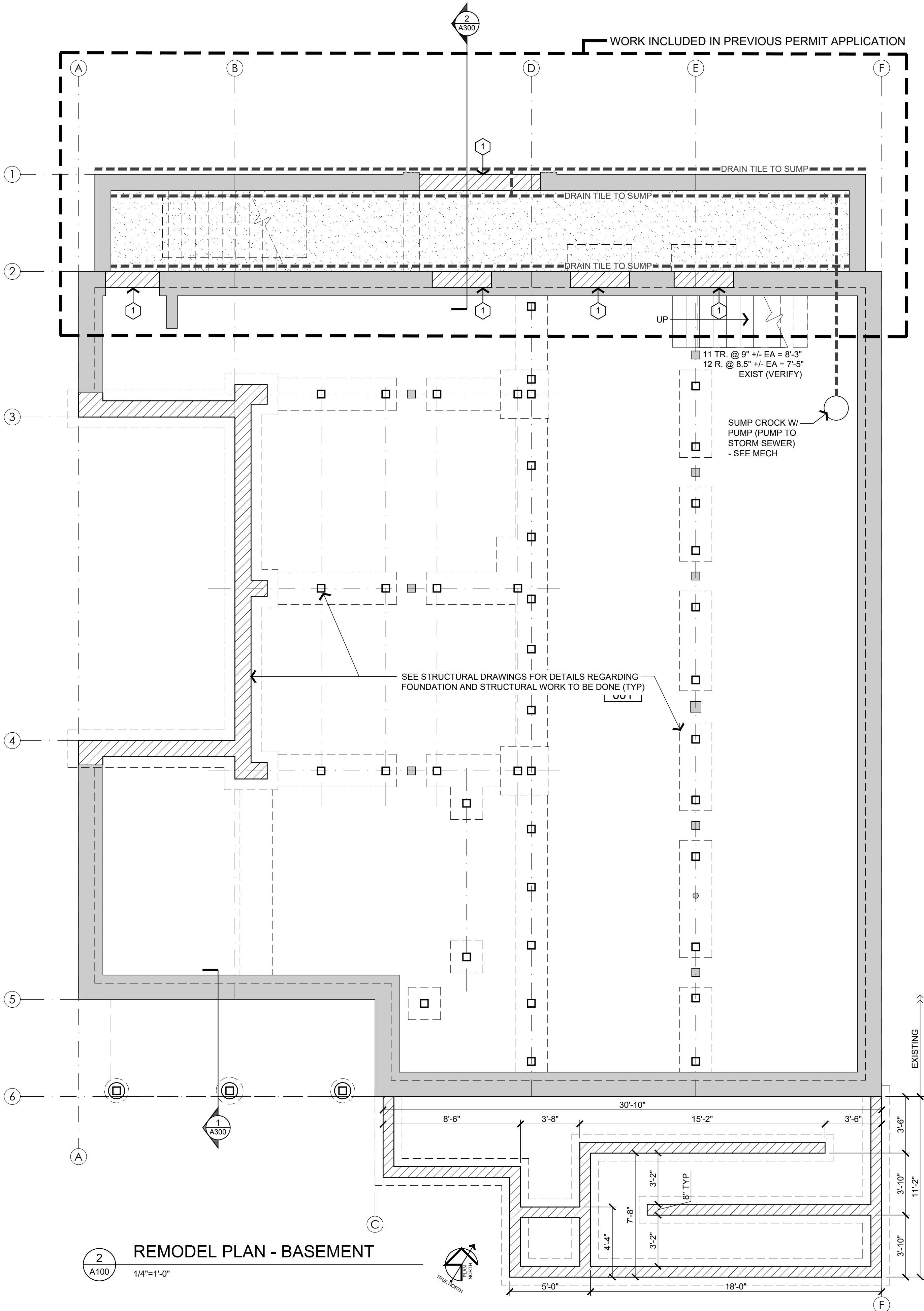
- DEMOLITION GENERAL NOTES**
1. EXISTING WINDOWS ON FIRST AND SECOND FLOOR TO REMAIN AS ALLOWABLE - PREP FOR RESTORATION. REMOVE SCREEN SASH TO ALLOW FOR NEW STORM SASH.

- FLOOR PLAN GENERAL NOTES**
1. DIMENSIONS (UNLESS NOTED OTHERWISE):  
EXISTING WALLS - OUTSIDE FACE OF WALL  
NEW CONSTRUCTION - FACE OF STUD  
WINDOWS - CENTER LINE  
DOORS - CENTER LINE
  2. WALL TYPES TO BE 'TYPE A' UNLESS NOTED OTHERWISE.
  3. WHERE DEMOLITION HAS OCCURRED, PATCH FINISHES TO MATCH EXISTING.
  4. APPLY 5/8" GYP BD OVER EXISTING WOOD STUD WALLS WHERE WALL COVERING HAS BEEN REMOVED

- KEYED FLOOR PLAN NOTES**
- 1 INFILL OPENING W/ CONCRETE TO MATCH EXISTING CONSTRUCTION - SEE STRUCTURAL
  - 2 INFILL OPENING TO MATCH EXISTING CONSTRUCTION AND FINISHES
  - 3 ALIGN PARTITION W/ EXISTING WALL
  - 4 EXIST HEXAGONAL FLOOR TILE TO REMAIN AT STOREFRONT AND SECOND FLOOR INTERIOR STAIR LANDING - REPAIR AS NECESSARY; IF BEYOND REPAIR, REPLACE TO MATCH EXIST

**EXISTING WINDOWS NOTE**

EXISTING WINDOWS TO BE REPAIRED AND RESTORED; IF BEYOND REPAIR, REPLACE WITH QUAKER BRIGHTON SERIES WOOD WINDOWS TO MEET HISTORICAL PRESERVATION STANDARDS. WINDOW SIZES TO BE DETERMINED PRIOR TO CONSTRUCTION AND VERIFIED ON SITE. SEE DETAILS 4/A400, 5/A400 AND 6/A400.



2  
A100  
1/4"=1'-0"  
REMODEL PLAN - BASEMENT

REMODEL AND RENOVATIONS FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

**SHEET TITLE:**  
BASEMENT:  
DEMOLITION PLAN  
REMODEL PLAN

DATE: 2/23/2023  
JOB NO.: 2437  
DRAWN BY: TJB  
APPROVED BY: GPS

DATE: 2/23/2023  
JOB NO.: 2437  
DRAWN BY: TJB  
APPROVED BY: GPS

REVISIONS:

A100

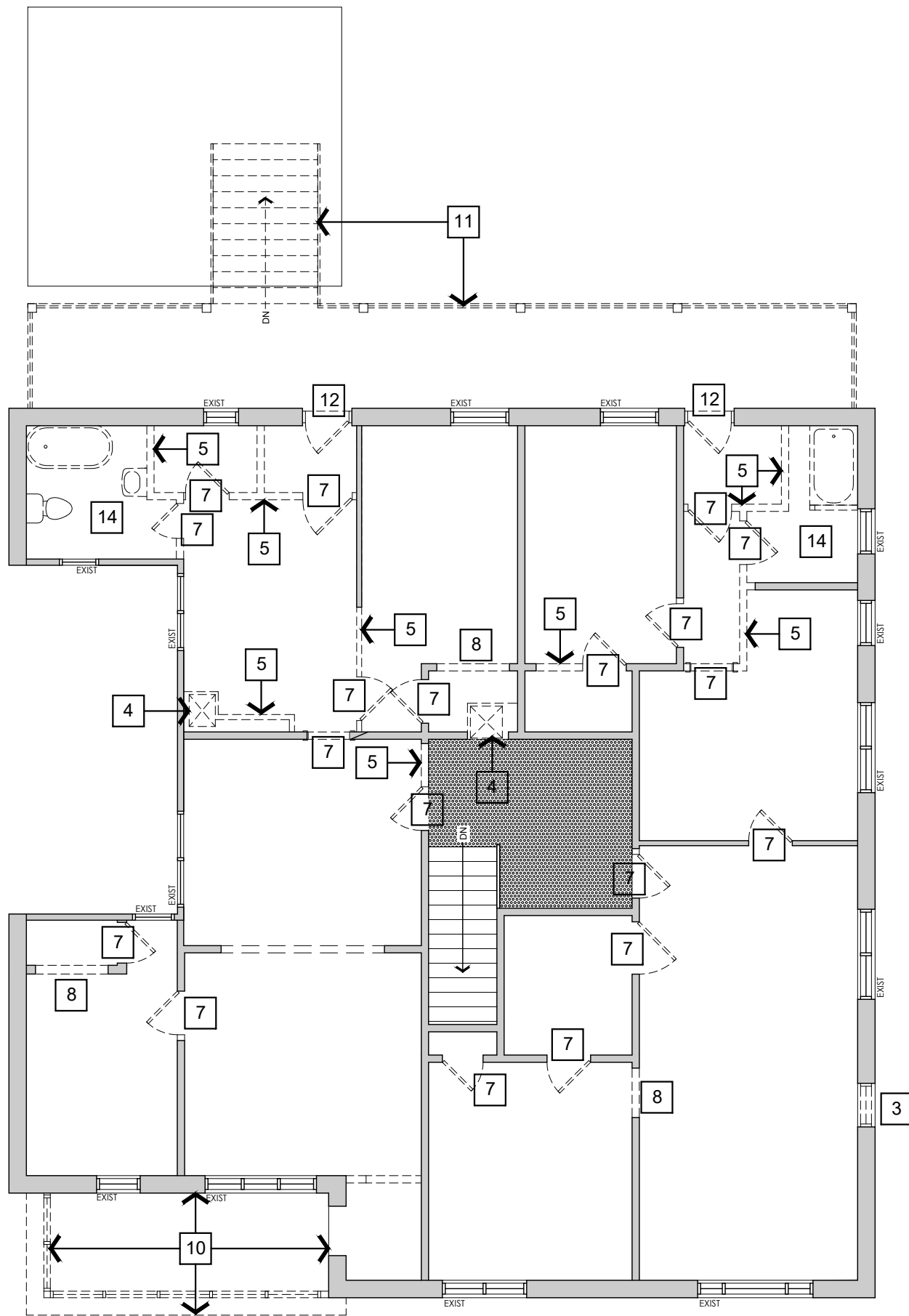
**FOUNDATIONS**  
ARCHITECTURE  
GREGORY P. STROM, ARCHITECT  
2180 CLUAS ROAD  
DULUTH, MN 55804  
TEL: 218 625-4336  
CELL: 218 391-7334  
gps-foundations@gmail.com

**BOECKER**  
Drafting and Design  
TRAVIS J. BOECKER (TJB)  
TRAVIS@BOECKERDRAFTING.COM





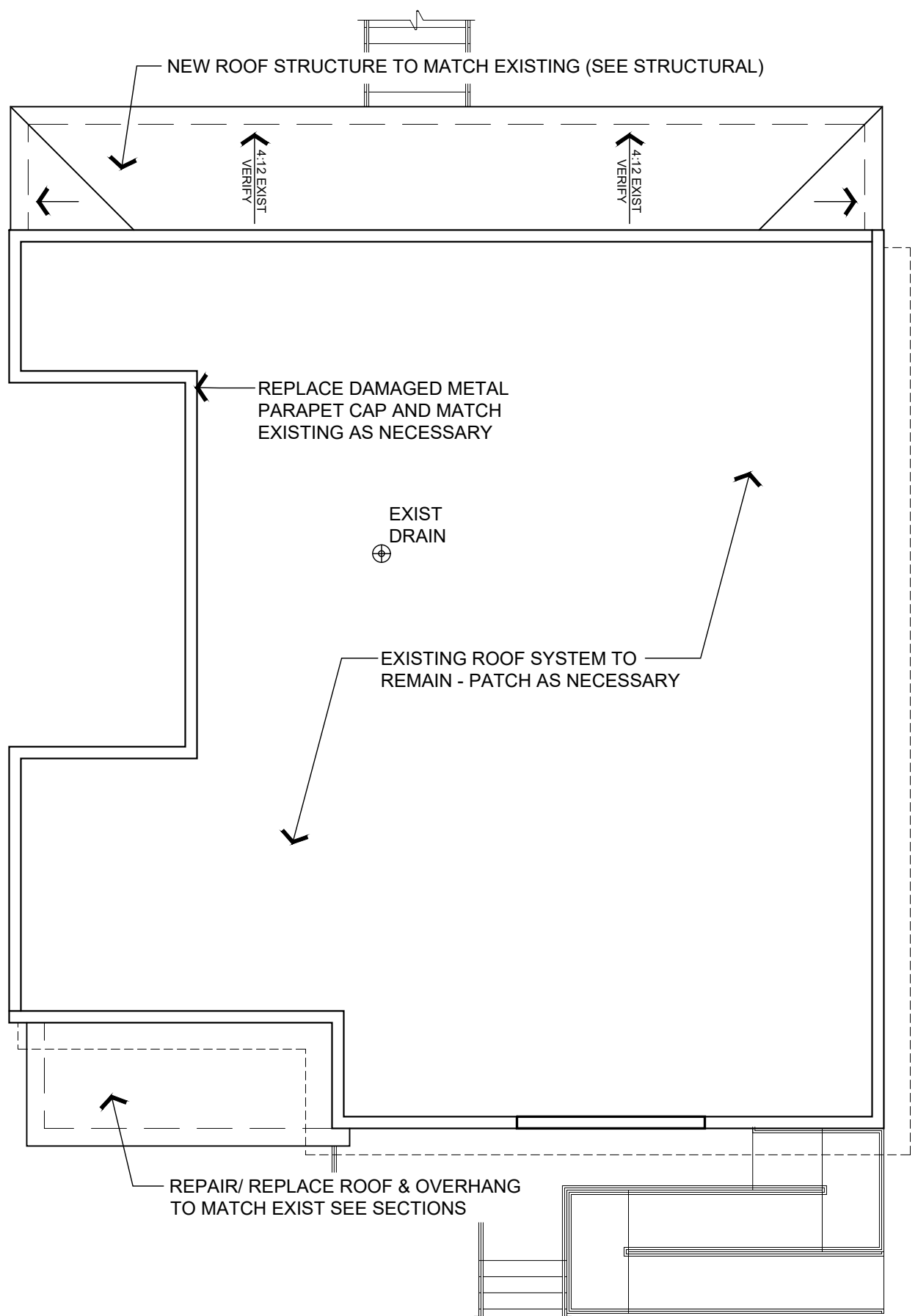




- KEYED DEMOLITION PLAN NOTES**
- 1 REMOVE EXISTING CONCRETE STAIRS (SEE STRUCTURAL)
  - 2 REMOVE FOUNDATION WALL, CONCRETE FLOOR, AND COLUMNS AS CALLED OUT BY STRUCTURAL DRAWINGS TYP (SEE STRUCTURAL)
  - 3 REMOVE EXISTING WINDOW UNIT, PREP FOR NEW (SEE EXTERIOR ELEVATIONS)
  - 4 REMOVE EXISTING CHIMNEY IN IT'S ENTIRETY
  - 5 REMOVE EXISTING PARTITION WALL
  - 6 REMOVE/ PREP EARTH FOR FOUNDATION/ FOOTINGS
  - 7 REMOVE EXISTING INTERIOR DOOR/ FRAME ASSEMBLY
  - 8 MODIFY INTERIOR WALL TO ALLOW FOR NEW OPENING
  - 9 REMOVE EXISTING PLUMBING FIXTURES, LIGHTING FIXTURES, FLOORING, AND WALL FINISHES IN THEIR ENTIRETY (TYP)
  - 10 REMOVE FRONT DECK/ PORCH IN IT'S ENTIRETY
  - 11 REMOVE EXISTING REAR DECK IN IT'S ENTIRETY - EXISTING FOUNDATION TO REMAIN (SEE STRUCTURAL)
  - 12 INSPECT EXISTING EXTERIOR DOOR AND FRAME ASSEMBLY; REPAIR IF POSSIBLE /OR IF BEYOND REPAIR REMOVE TO ALLOW FOR NEW (SEE EXTERIOR ELEVATIONS)
  - 13 REMOVE EXISTING WOOD STAIR TO ALLOW FOR NEW
  - 14 REMOVE EXISTING FIXTURES
  - 15 REMOVE EXISTING STOREFRONT WINDOWS AND TRANSOM TO ALLOW FOR NEW

- DEMOLITION GENERAL NOTES**
1. EXISTING WINDOWS ON FIRST AND SECOND FLOOR TO REMAIN AS ALLOWABLE - PREP FOR RESTORATION. REMOVE SCREEN SASH TO ALLOW FOR NEW STORM SASH.

1  
A102  
DEMOLITION PLAN - SECOND FLOOR  
1/4"=1'-0"



3  
A102  
ROOF PLAN  
1/4"=1'-0"



**FLOOR PLAN GENERAL NOTES**

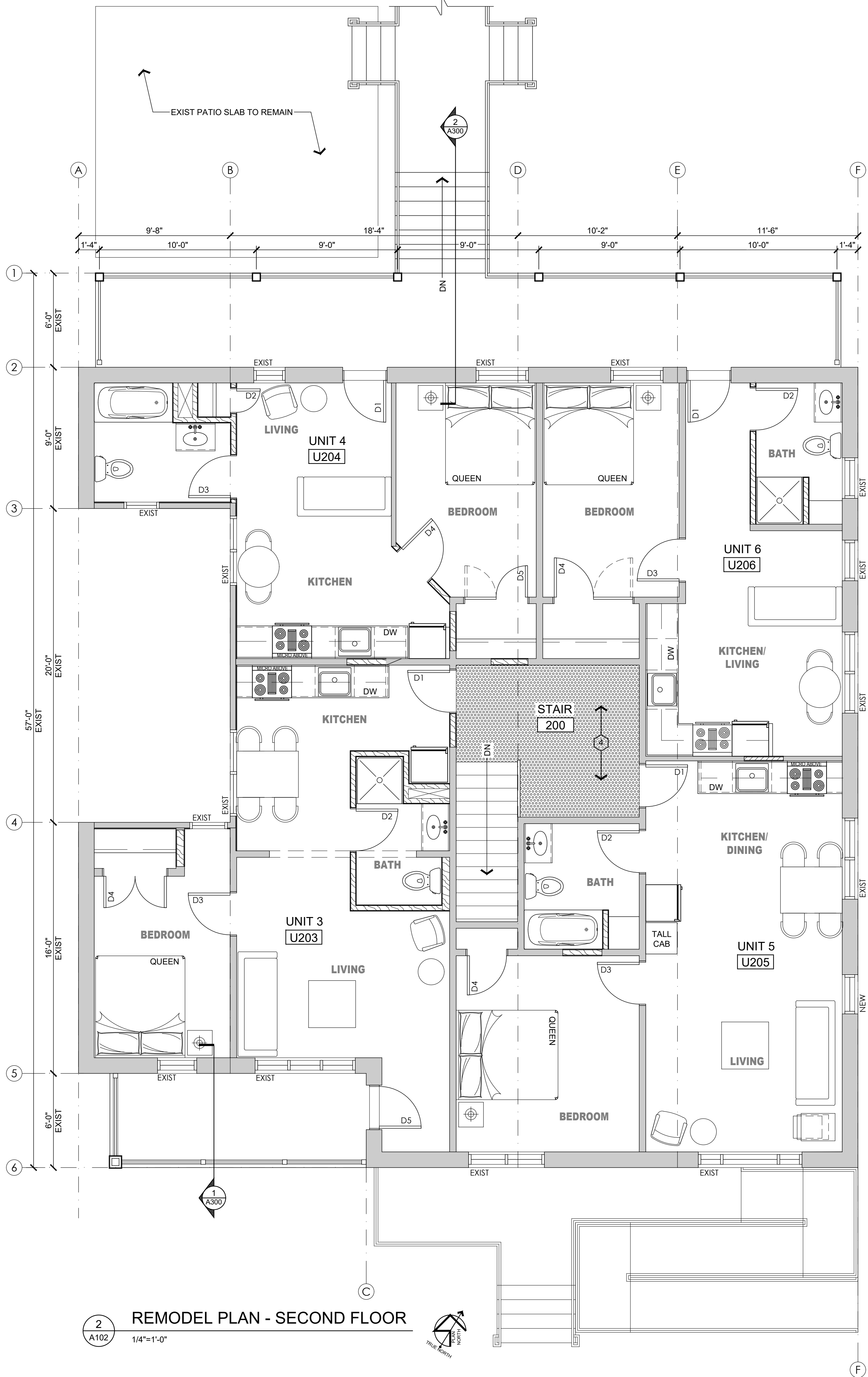
1. DIMENSIONS (UNLESS NOTED OTHERWISE):  
EXISTING WALLS - OUTSIDE FACE OF WALL  
NEW CONSTRUCTION - FACE OF STUD  
WINDOWS - CENTER LINE  
DOORS - CENTER LINE
2. WALL TYPES TO BE 'TYPE A' UNLESS NOTED OTHERWISE.
3. WHERE DEMOLITION HAS OCCURRED, PATCH FINISHES TO MATCH EXISTING.
4. APPLY 5/8" GYP BD OVER EXISTING WOOD STUD WALLS WHERE WALL COVERING HAS BEEN REMOVED

**KEYED FLOOR PLAN NOTES**

- 1 INFILL OPENING W/ CONCRETE TO MATCH EXISTING CONSTRUCTION - SEE STRUCTURAL
- 2 INFILL OPENING TO MATCH EXISTING CONSTRUCTION AND FINISHES
- 3 ALIGN PARTITION W/ EXISTING WALL
- 4 EXIST HEXAGONAL FLOOR TILE TO REMAIN AT STOREFRONT AND SECOND FLOOR INTERIOR STAIR LANDING - REPAIR AS NECESSARY; IF BEYOND REPAIR, REPLACE TO MATCH EXIST

**EXISTING WINDOWS NOTE**

EXISTING WINDOWS TO BE REPAIRED AND RESTORED; IF BEYOND REPAIR, REPLACE WITH QUAKER BRIGHTON SERIES WOOD WINDOWS TO MEET HISTORICAL PRESERVATION STANDARDS. WINDOW SIZES TO BE DETERMINED PRIOR TO CONSTRUCTION AND VERIFIED ON SITE. SEE DETAILS 4/A400, 5/A400 AND 6/A400.



2  
A102  
REMODEL PLAN - SECOND FLOOR  
1/4"=1'-0"



REMODEL AND RENOVATIONS FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

**SHEET TITLE:**  
SECOND FLOOR:  
DEMOLITION PLAN  
REMODEL PLAN

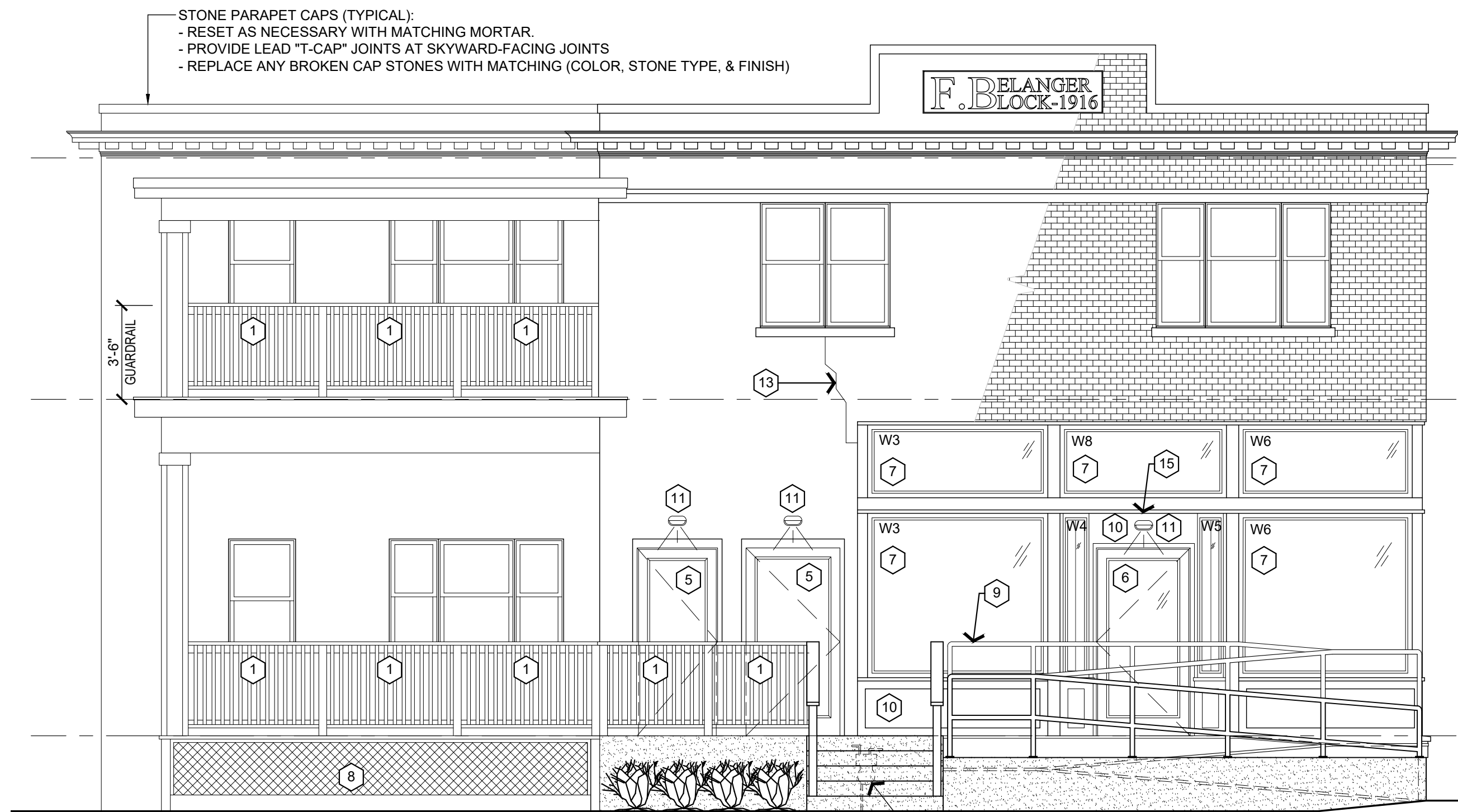
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DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
REG. NO. 26197  
GREGORY P. STROM

DATE: \_\_\_\_\_  
JOB NO.: 2437  
DRAWN BY: TJB  
APPROVED BY: GPS

REVISIONS:

A102





1 SOUTH ELEVATION  
A200 1/4"=1'-0"

KEYED ELEVATION NOTES

- 1 SIMPLE CEDAR TONE RAILING @ 3'-6" AFF W/ WOOD BALUSTERS @ 3 1/2" OC MAX TO MATCH EXISTING
- 2 LP SMARTSIDE LAP SIDING - 4" EXPOSURE (76 SERIES SMOOTH FINISH)
- 3 1x6 TRTD PLANKS W/ 1" GAP
- 4 3'-0" x 6'-8" CUSTOM TRTD PLANK DOOR TO MATCH W/ KEYED LOCK FOR TENANT
- 5 REPAIR EXISTING WOOD DOORS; IF BEYOND REPAIR, REPLACE W/ HISTORIC REPLICA WOOD DOOR (SEE A400)
- 6 REPAIR EXISTING WOOD DOOR AND INCORPORATE INTO NEW STOREFRONT IF POSSIBLE; IF BEYOND REPAIR, REPLACE IN KIND
- 7 NEW STOREFRONT TRANSOM AND WINDOWS W/ CLEAR GLAZING. REPAIR EXISTING WOOD TRANSOM STRIP; IF BEYOND REPAIR REPLACE W/ ALUM TRANSOM PIECE (MATTE BROWN TO APPEAR AS WOOD)
- 8 WOOD LATTICE BELOW DECKS - STAIN
- 9 STEEL OPEN GUARDRAIL @ 3'-6" AFF (NO BALUSTERS @ RAMP) - PAINTED MATTE FINISH, TYPICAL AT ALUMINUM/ MTL RAILINGS
- 10 SMOOTH FINISH DECORATIVE LP SMARTSIDE PANELING (PAINTED) AT LOW STOREFRONT BULKHEAD (TYP)
- 11 SINGLE LED DOWN LIGHT ABOVE DOOR - LIGHT FIXTURES TO BE INSTALLED INTO MORTAR JOINTS (TYP)
- 12 NEW WOOD DOOR TO MATCH EXISTING WOOD DOORS
- 13 REPAIR DAMAGED MASONRY HERE AND ANY OTHER AREAS THAT MAY EXIST
- 14 REMOVE NON-HISTORIC VINYL WINDOW. REPLACE WITH WOOD, TO MATCH EXISTING. SEE WINDOW TYPES AND DETAILS ON SHEET A400.
- 15 RETAIN AND REPAINT EXISTING WOOD BEADBOARD CEILING (ABOVE NON HISTORIC METAL) OR REPLACE IN KIND IF BEYOND REPAIR

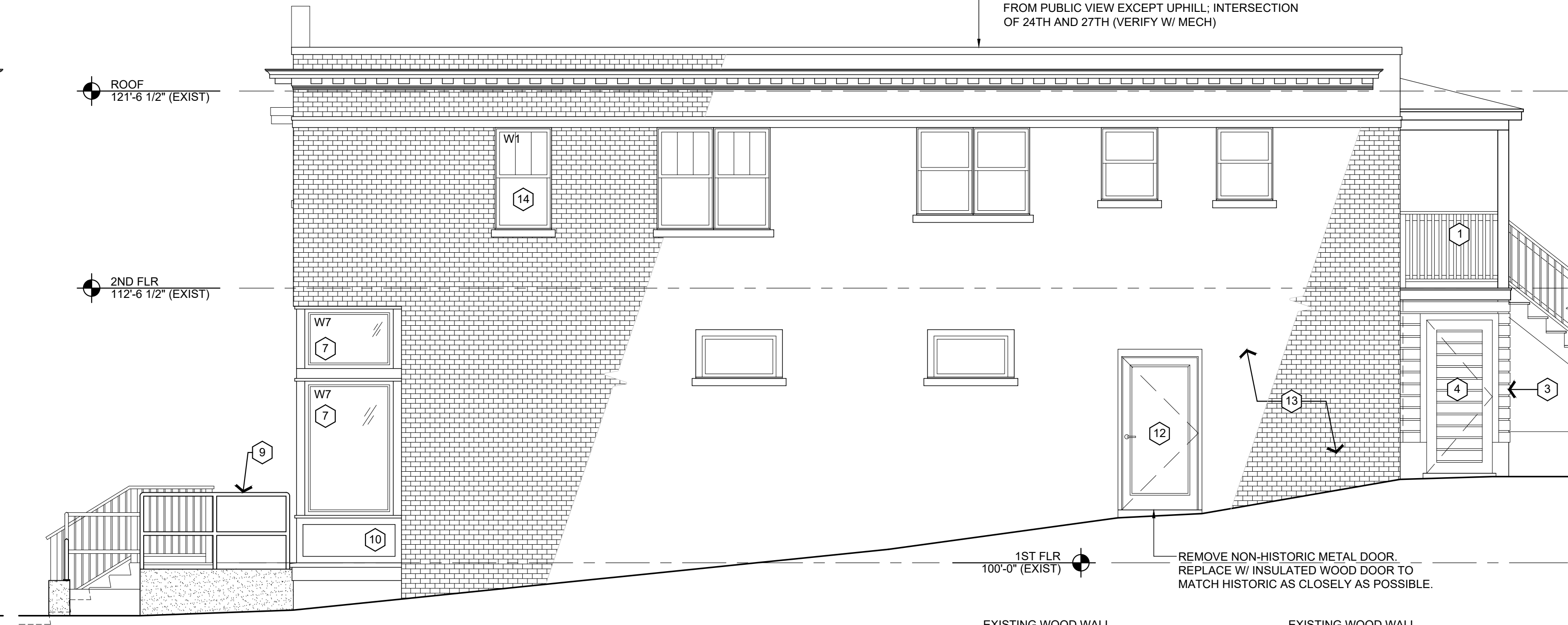
MASONRY REPAIR NOTES:

DETERIORATED OR MISSING MORTAR JOINTS SHOULD BE REPOINTED PER PRESERVATION BRIEF 2: REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS.

- 1) IDENTIFY AND MATCH HISTORIC MORTAR STRENGTH, TEXTURE, AND COLOR, AND MATCH FOR RE-POINTING. DO NOT USE MORTAR WITH HIGH PORTLAND CEMENT CONTENT.
- 2) RE-POINTING SHOULD BE MINIMUM 1.5 INCHES DEEP, AND JOINTS TOoled TO MATCH HISTORIC (WIDTH AND PROFILE).
- 3) MISSING BRICK OR BRICK THAT IS DETERIORATED BEYOND REPAIR SHOULD BE REPLACED TO MATCH THE EXISTING IN SIZE, COLOR, TEXTURE, AND PROFILE. HOLES SHOULD BE PATCHED USING TO MATCH THE APPEARANCE, COLOR, AND TEXTURE OF THE MASONRY USING JAHN RESTORATION MORTARS OR SIMILAR SUBSTITUTES.
- 4) CLEAN MASONRY WITH GENTLEST MEANS POSSIBLE USING A MILD RESTORATION DETERGENT SPECIFICALLY FORMULATED FOR THE CLEANING OF HISTORICAL SUBSTRATES PER PRESERVATION BRIEF 1: ASSESSING CLEANING AND WATER REPELLENT TREATMENTS FOR HISTORIC MASONRY BUILDINGS. NO ABRASIVE CLEANING SHOULD BE USED.

OVERALL DAMAGED MASONRY:

JOINTS: 1%  
BRICKS: < 1%



2 EAST ELEVATION  
A200 1/4"=1'-0"

LINTEL REPAIR NOTE:

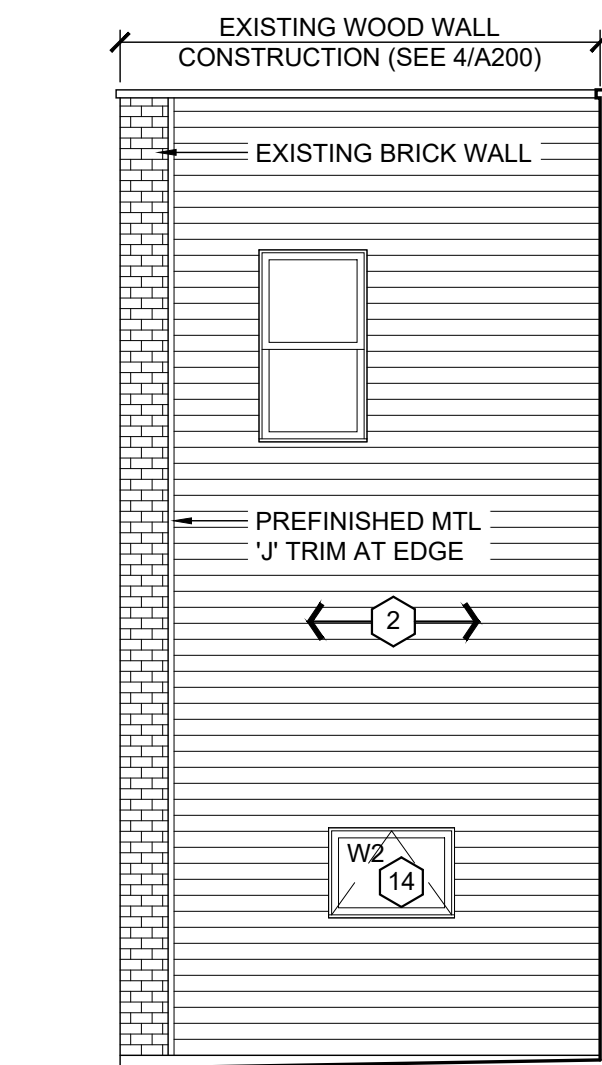
CORRODED STEEL LINTELS WITH MINIMAL DETERIORATION WILL BE SCRAPPED, PRIMED WITH A RUST-INHIBITIVE PRIMER, AND REPAINTED WITH A HIGH-QUALITY EXTERIOR GRADE, RUST-INHIBITING DIRECT TO METAL PAINT.

LINTELS THAT ARE DAMAGED BEYOND REPAIR WILL BE REPLACED WITH NEW STEEL LINTELS TO PREVENT FURTHER DAMAGE. WINDOW OPENINGS WILL BE TEMPORARILY SHORED AS NEEDED TO ENSURE THE SAFE REMOVAL OF BEYOND-REPAIR LINTELS AND AVOID DAMAGE TO THE MASONRY.

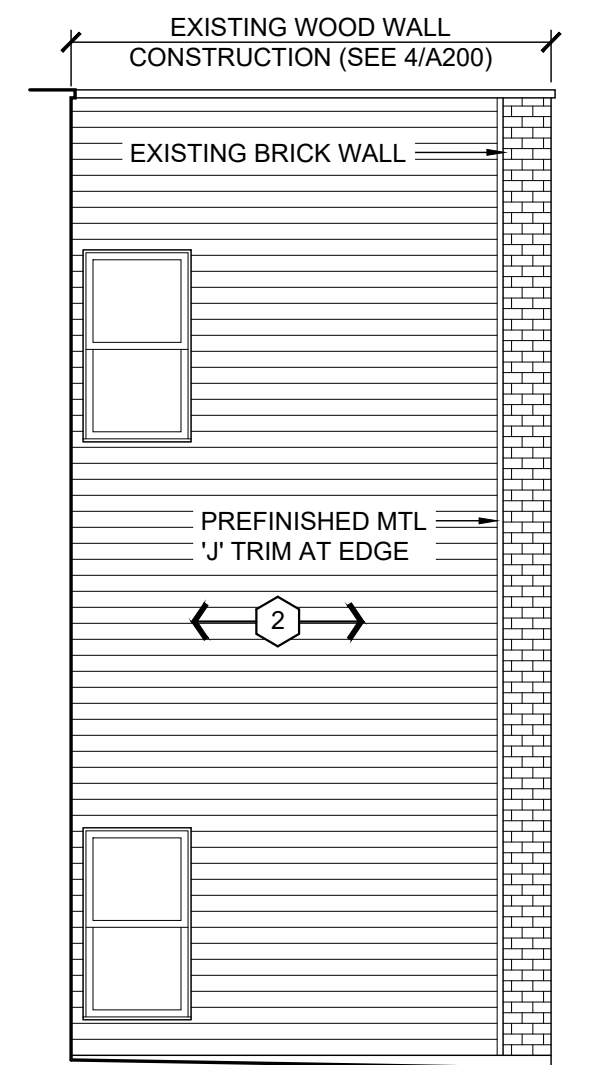
THE REPLACEMENT LINTELS WILL BE PRIMED AND PAINTED AS DESCRIBED ABOVE. THROUGH-WALL FLASHING WITH A DRIP EDGE WILL BE PROVIDED AT THESE LOCATIONS.

ANY BRICKS DISTURBED DURING THE REMOVAL WILL BE SALVAGED FOR REUSE AND RESET WITH MORTAR THAT WILL MATCH THE COLOR, TEXTURE, STRENGTH, JOINT WIDTH AND PROFILE OF THE EXISTING MORTAR JOINTS. ANY BROKEN OR BEYOND-REPAIR BRICK AT LINTEL POCKETS WILL BE REPLACED MATCHING THE HISTORIC.

THE ASSEMBLY, CONFIGURATION, AND EXTERIOR APPEARANCE OF MASONRY AT WINDOW HEADERS WITH REPAIRED OR REPLACED LINTELS WILL MATCH THE HISTORIC.



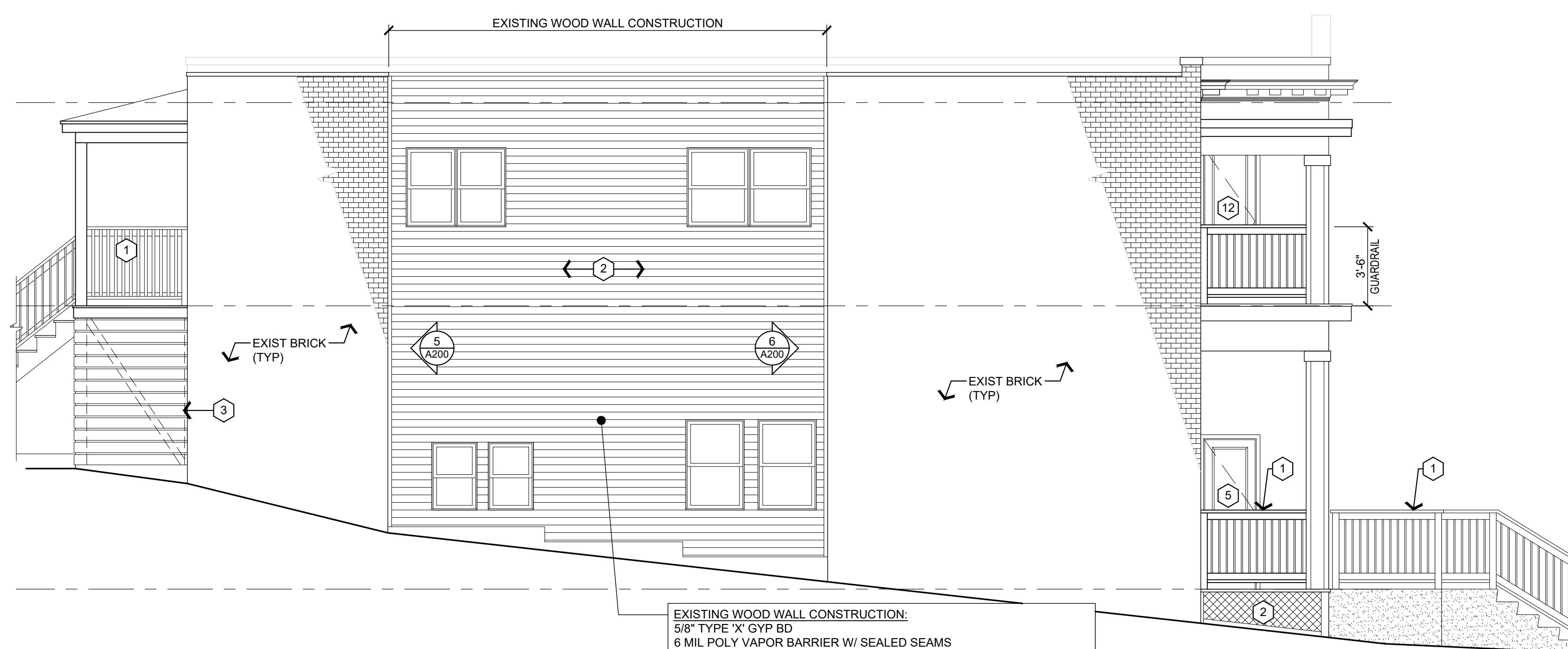
5 UPPER ELEVATION  
A200 1/4"=1'-0"



6 LOWER ELEVATION  
A200 1/4"=1'-0"



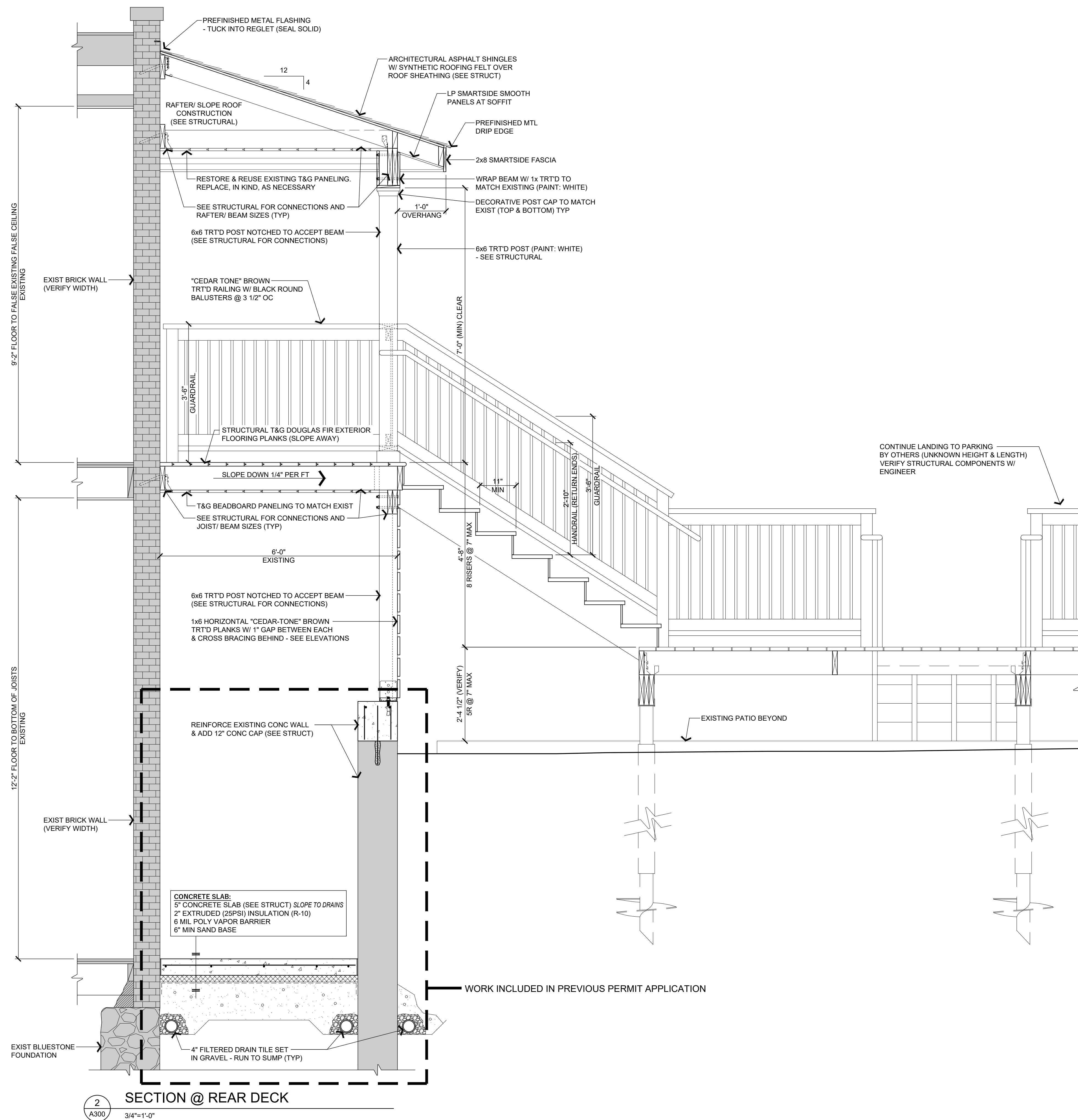
3 NORTH ELEVATION  
A200 1/4"=1'-0"



4 WEST ELEVATION  
A200 1/4"=1'-0"

EXISTING WOOD WALL CONSTRUCTION:  
5/8" TYPE 'X' GYP BD  
6 MIL POLY VAPOR BARRIER W/ SEALED SEAMS  
3 1/2" HD FIBERGLASS BATT INSULATION (R-15)  
EXISTING 2x4 (3 3/4") WD STUD CONSTRUCTION  
EXISTING SHEATHING (VERIFY)  
TYVEK WEATHER BARRIER W/ TAPED SEAMS  
LP SMARTSIDE LAP SIDING - 4" EXPOSURE (76 SERIES SMOOTH FINISH)

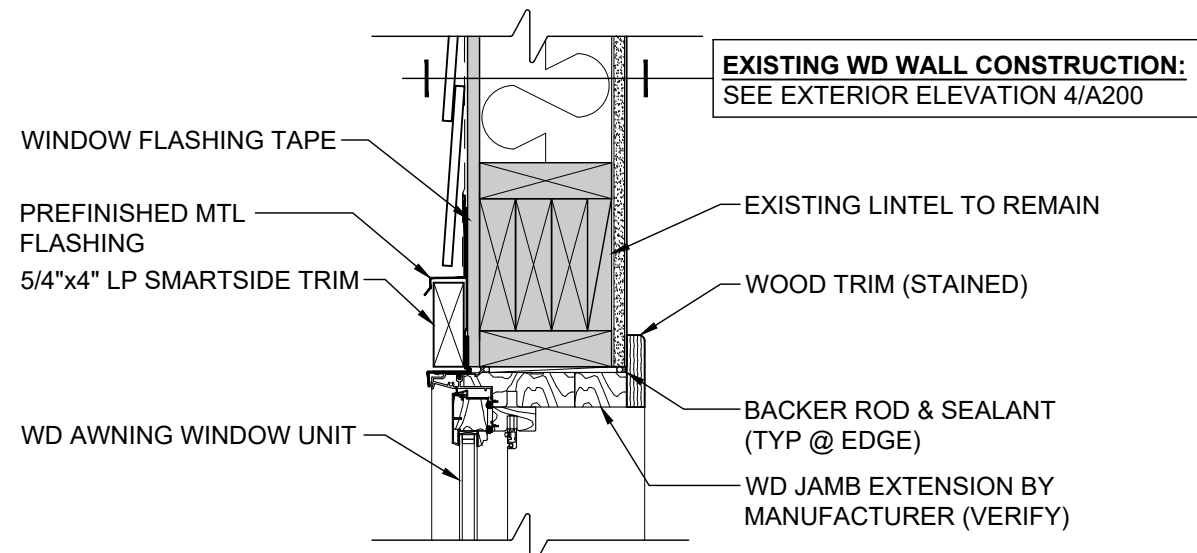






[illegible]

EXISTING WINDOWS TO BE REPAIRED AND RESTORED; IF BEYOND REPAIR, REPLACE WITH QUAKER BRIGHTON SERIES WOOD WINDOW MEET HISTORICAL PRESERVATION STANDARDS. WINDOW SIZES TO BE DETERMINED PRIOR TO CONSTRUCTION AND VERIFIED ON SITE. SEE DETAILS 4/A400, 5/A400 AND 6/A400.



3 NEW WINDOW HEAD @ MASONRY  
A400 1 1/2"=1'-0"



7 NEW WINDOW SILL @ WOOD WALL  
A400 1 1/2"=1'-0" JAMB SIM

10 RESTROOM ELEVATIONS  
A400 1/4"=1'-0" NOTE: PROVIDE BLOCKING FOR WALL MOUNTED GRAB BARS AND ACCESSORIES



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
FIGURES

Property name F. Belanger Block  
Property address 2403 West 6th Street, Duluth MN 55806

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Figure.01 Circa 1955 Sanborn Fire Insurance Map. Sanborn Map Company, Map of Duluth, Minnesota, 1909, republished ca. 1955, Vol 1, Sheet 7. Courtesy of the Library of Congress.



**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS  
FIGURES**

Property name        F. Belanger Block  
Property address     2403 West 6th Street, Duluth MN 55806

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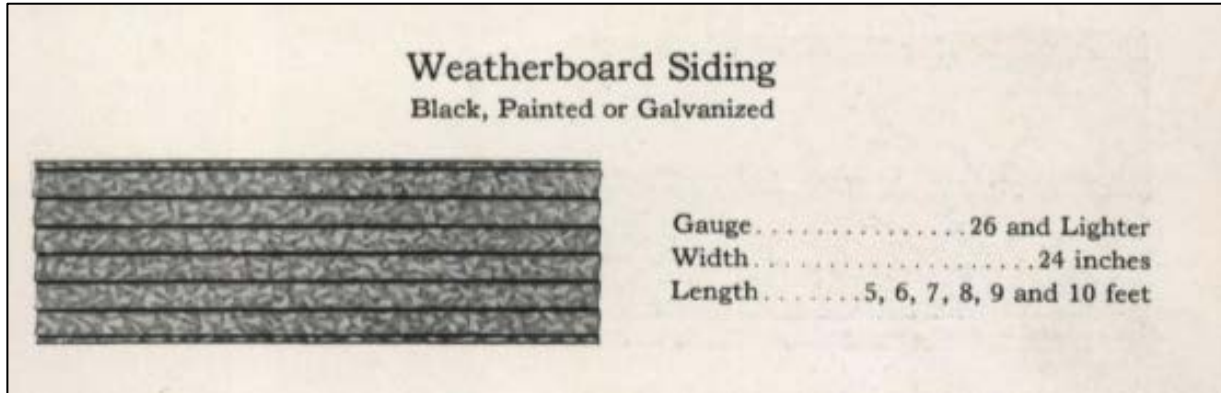
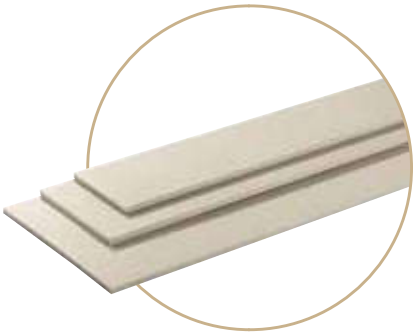


Figure.02        View metal weatherboard siding from Wheeler Corrugating Company 1911 catalog. See Wheeler Corrugating Company, *Sheet Metals and Sheet Products*, No 292 (1911): 23, <https://archive.org/details/SheetMetalsAndSheetMetalProductsNo.292/page/n23/mode/2up>.

# Smooth Finish Lap

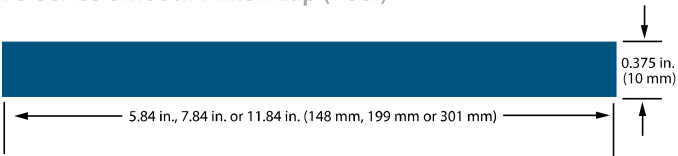
## A Traditional, Subtle Look

- Traditional look that accentuates the architectural features of any home
- Smooth finish for a clean appearance
- Pre-primed for exceptional paint adhesion
- 16' length can result in faster installation and fewer seams
- Treated engineered wood fiber substrate



Smooth finish

### 76 Series Smooth Finish Lap (fiber)



DESCRIPTION	LENGTH	ACTUAL WIDTH	MINIMUM THICKNESS	PID NUMBER
76 Series Smooth Finish Lap (fiber)	16 ft. (192 in.)(4877 mm)	5.84 in. (148 mm)	0.375 in. (10 mm)	25919
	16 ft. (192 in.)(4877 mm)	7.84 in. (199 mm)	0.375 in. (10 mm)	25920
	16 ft. (192 in.)(4877 mm)	11.84 in. (301 mm)	0.375 in. (10 mm)	25921

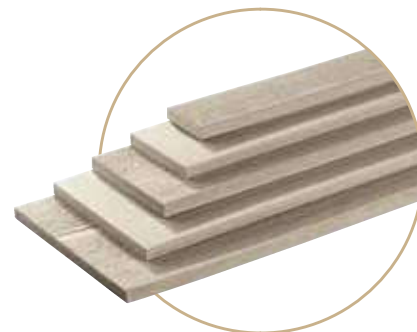
4" exposure



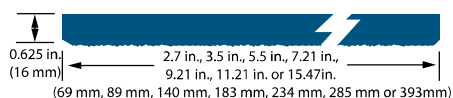
# Reversible Trim

## Two Great Looks In One

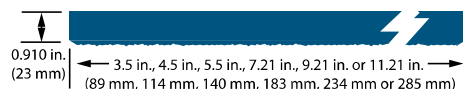
- The natural look of cedar on one side and smooth on the other
- Interior or exterior use, including corner boards, windows and doors
- Pre-primed for exceptional paint adhesion
- 16' length can result in faster installation and fewer seams
- Treated engineered wood fiber substrate
- Reversible trim has a 1/8" bevel cut on its cedar texture side, and is square cut on the smooth finish side.



### 440 Series Reversible Trim (fiber)



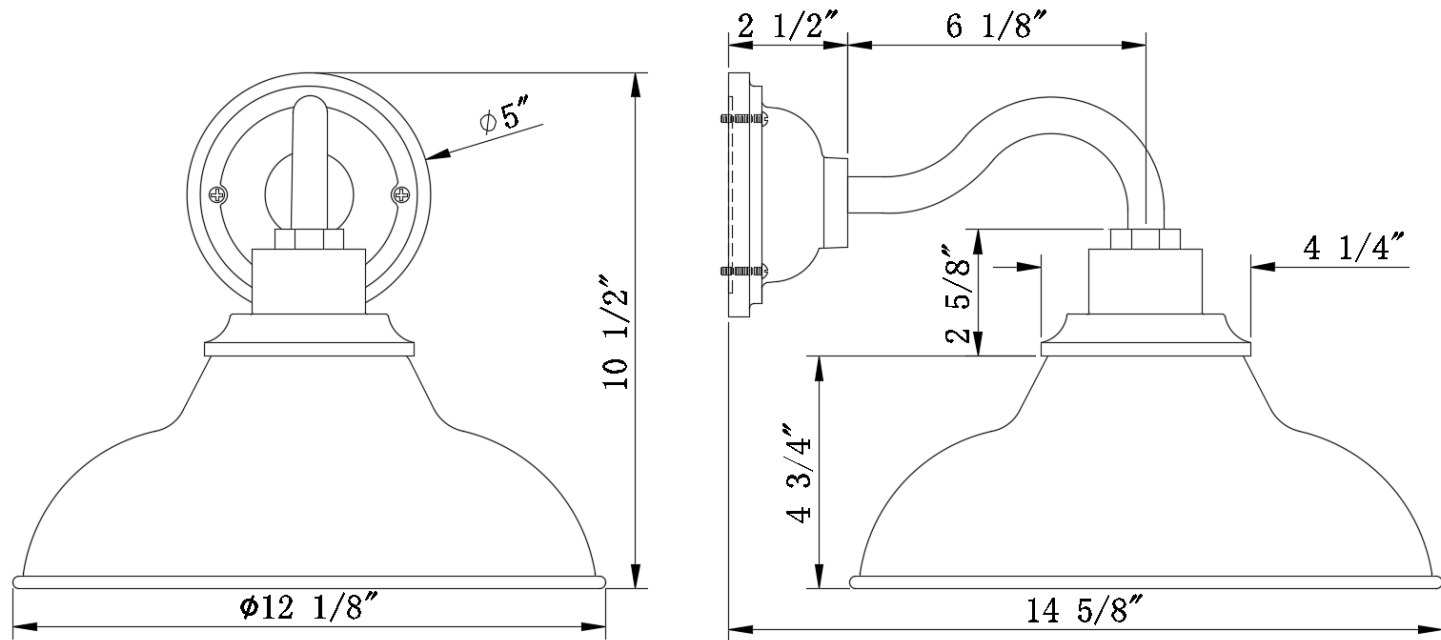
### 540 Series Reversible Trim (fiber)



DESCRIPTION	LENGTH	ACTUAL WIDTH	MINIMUM THICKNESS	PID NUMBER
440 Series Reversible Trim (fiber)	16 ft. (192 in.) (4877 mm)	2.70 in. (69 mm)	0.625 in. (16 mm)	25940 *
	16 ft. (192 in.) (4877 mm)	3.50 in. (89 mm)	0.625 in. (16 mm)	25941
	16 ft. (192 in.) (4877 mm)	5.50 in. (140 mm)	0.625 in. (16 mm)	25942
	16 ft. (192 in.) (4877 mm)	7.21 in. (183 mm)	0.625 in. (16 mm)	25943
	16 ft. (192 in.) (4877 mm)	9.21 in. (234 mm)	0.625 in. (16 mm)	25944
	16 ft. (192 in.) (4877 mm)	11.21 in. (285 mm)	0.625 in. (16 mm)	25945
	16 ft. (192 in.) (4877 mm)	15.47 in. (393 mm)	0.625 in. (16 mm)	38445
540 Series Reversible Trim (fiber)	16 ft. (192 in.) (4877 mm)	3.50 in. (89 mm)	0.910 in. (23 mm)	25946
	16 ft. (192 in.) (4877 mm)	4.50 in. (114 mm)	0.910 in. (23 mm)	25947
	16 ft. (192 in.) (4877 mm)	5.50 in. (140 mm)	0.910 in. (23 mm)	25948
	16 ft. (192 in.) (4877 mm)	7.21 in. (183 mm)	0.910 in. (23 mm)	25949
	16 ft. (192 in.) (4877 mm)	9.21 in. (234 mm)	0.910 in. (23 mm)	25950
	16 ft. (192 in.) (4877 mm)	11.21 in. (285 mm)	0.910 in. (23 mm)	25951



Carson 12in Gooseneck Single DG





Exterior Light Fixture - Image



# Model: FGI-12x38

Hooded Gravity Intake Ventilator

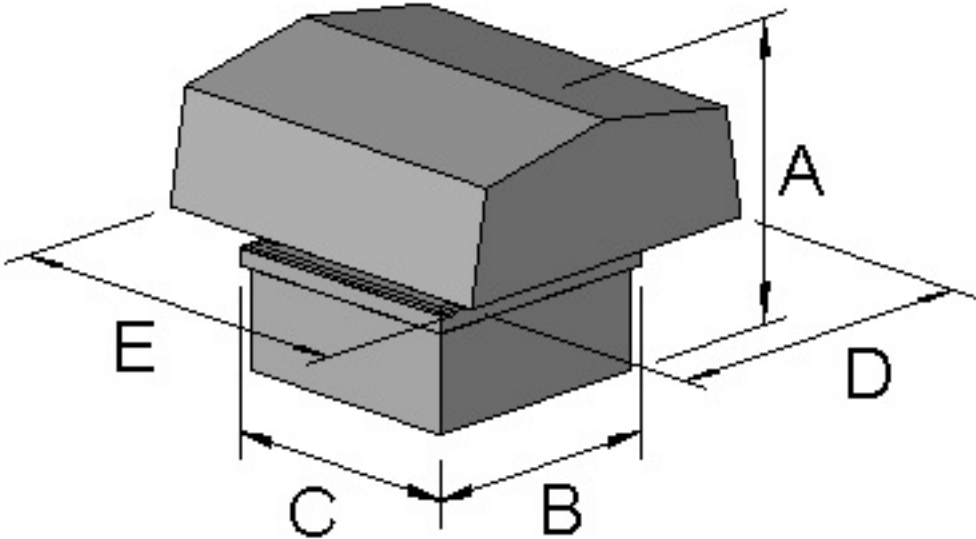
**Standard Construction Features:** Fabra hood design (standing seam) galvanized hood (optional aluminum). Larger sizes require field assembly.

**Certifications/special requirements:** Filter Required

Performance	
Application	Intake
Volume (CFM)	1,660
Pressure Drop (in. wg)	0.119
Throat Velocity (ft/min)	524
Max Velocity (ft/min)	1200
Throat Area (ft^2)	3
Installation Type	Non Ducted
Filtered	Yes
Insect Screen	Yes

Fan Configuration	
Mounting	Curb Cap
Shipped Assembled	Yes

Dimensions and Weights		
Label	Value	Description
-	105	Weight w/o accessories (lbs)
A	26	Overall Height (in)
E	51	Overall Length (in)
D	32	Overall Width (in)
B	18	Curb Cap Width (in)
C	44	Curb Cap Length (in)
-	12	Throat Width (in)
-	38	Throat Length (in)
-	14.5	Roof Opening Width (in)
-	40.5	Roof Opening Length (in)





## 24000 BTU/HR INVERTER DRIVEN MULTI-ZONE HEAT PUMP SYSTEM

## 3U24MS2VHB

Job Name: \_\_\_\_\_

Purchaser: \_\_\_\_\_

Submitted To: \_\_\_\_\_

Construction: \_\_\_\_\_

Reference: \_\_\_\_\_

Approval: \_\_\_\_\_

Date: \_\_\_\_\_

Submitted By: \_\_\_\_\_

Unit: \_\_\_\_\_

Drawing #: \_\_\_\_\_



### Accessories

#### Wind Baffle

Uses wind baffle QAWB44A

#### Electrical Requirement

Power Supply	208/230V, 1 Phase, 60 HZ
Operating Voltage Range	187~253 VAC
Recommended Fuse/Breaker Size	25A
MCA	18A

Connecting cable to indoor units must be 14/4 AWG unshielded stranded copper. Cable must be ran continuous, without splicing.

#### Operating Range

Cooling	14~115°F (-10~46°C)
Heating	-4~75°F (-20~24°C)

#### Heating Performance

Heating Capacity Range (Non-Ducted/Ducted)	6,100~25,500 BTU/ 6,100~25,000 BTU
HSPF (Non-Ducted/Ducted)	10.0/8.5

#### Cooling Performance

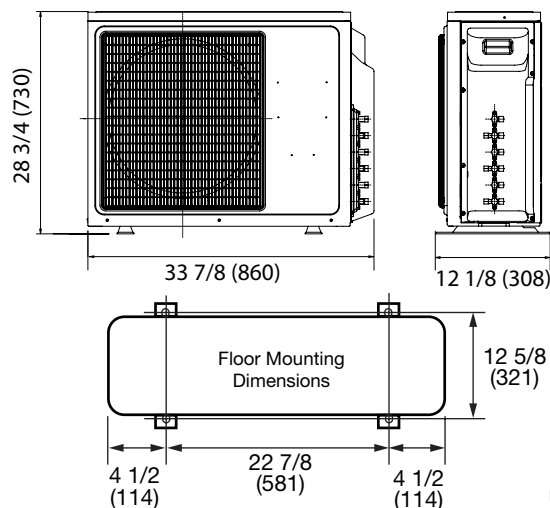
Cooling Capacity Range (Non-Ducted/Ducted)	5,000~24,500 BTU/ 5,000~23,000 BTU
Rated Power Input (Non-Ducted/Ducted)	2,250/2,416 W
SEER (Non-Ducted/Ducted)	18.0/16.0
EER (Non-Ducted/Ducted)	10.0/8.5

#### Pipe Length

Minimum Pipe Length (Each)	6 ft
Maximum Pipe Length (Each/All)	82 ft /197 ft
Pre-Charged	75 ft
Additional Charge	0.2 oz/ft
Maximum Pipe Height Difference	50 ft
Flare Connection	1/4", 1/4", 1/4" (Discharge) 3/8", 3/8", 3/8" (Suction)

#### Outdoor Unit

Compressor	DC inverter Driven Rotary
Uncrated Dimension (HxWxD)	28 3/4 x 33 7/8 x 12 1/8 in (730 x 860 x 308 mm)
Crated (HxWxD)	32 5/8 x 39 3/4 x 16 7/8 in (830 x 1010 x 430 mm)
Outdoor Sound Rating dB	54
Heat Exchanger Fin Type	Blue Fin
Weight (Ship/Net)	123.5/116.8 lbs
Factory Refrigerant Charge	R-410A (67.0 oz)



**GE APPLIANCES**  
a Haier company

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[www.Haierductless.com](http://www.Haierductless.com)  
[www.Haierductlesshelp.com](http://www.Haierductlesshelp.com)



# Haier

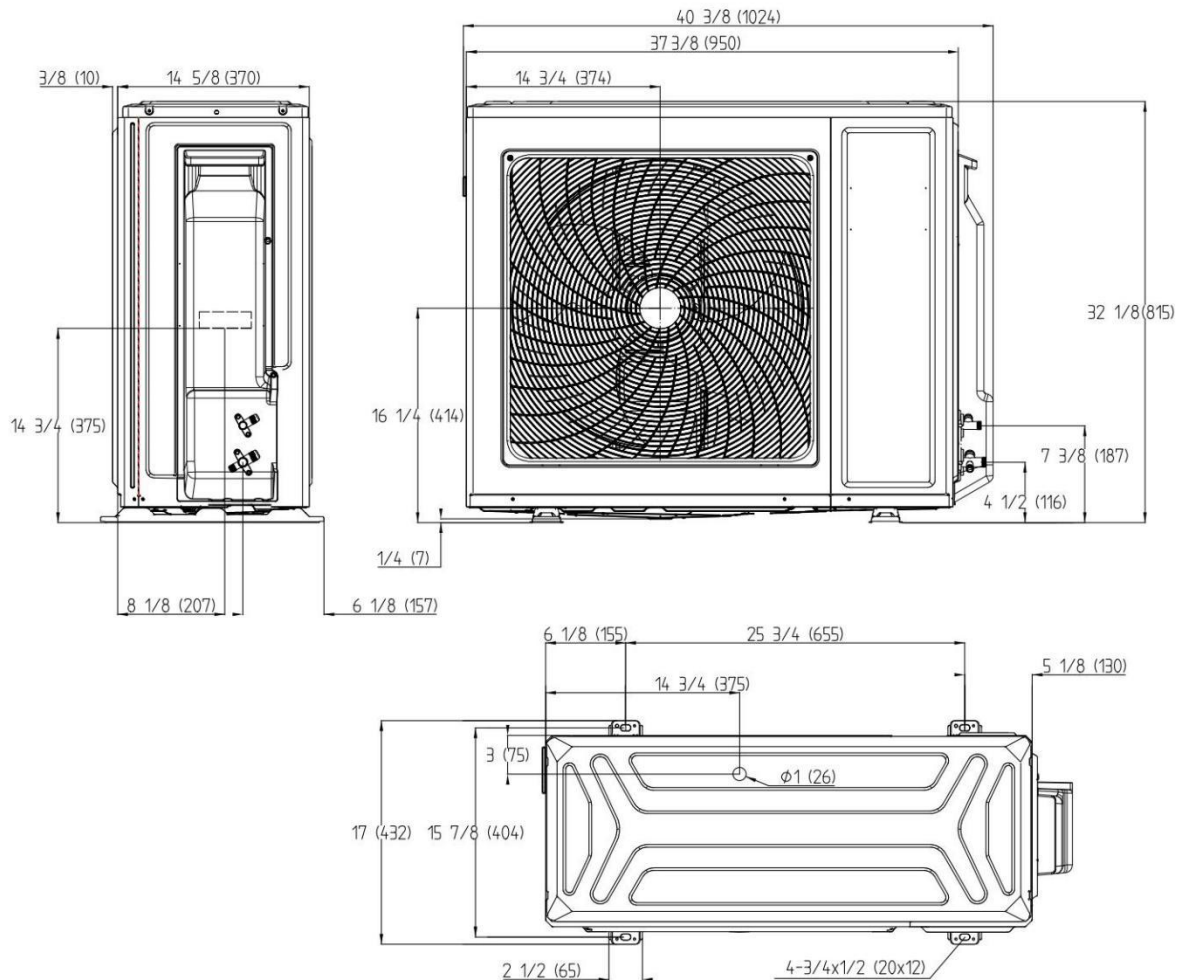
SINGLE-ZONE DUCTLESS HEAT PUMP SYSTEM

# HIGHWALL

24K

Heat Pump - Type 2

1Q24TE2BEA



Note: Dimensions are shown in inches (millimeters)

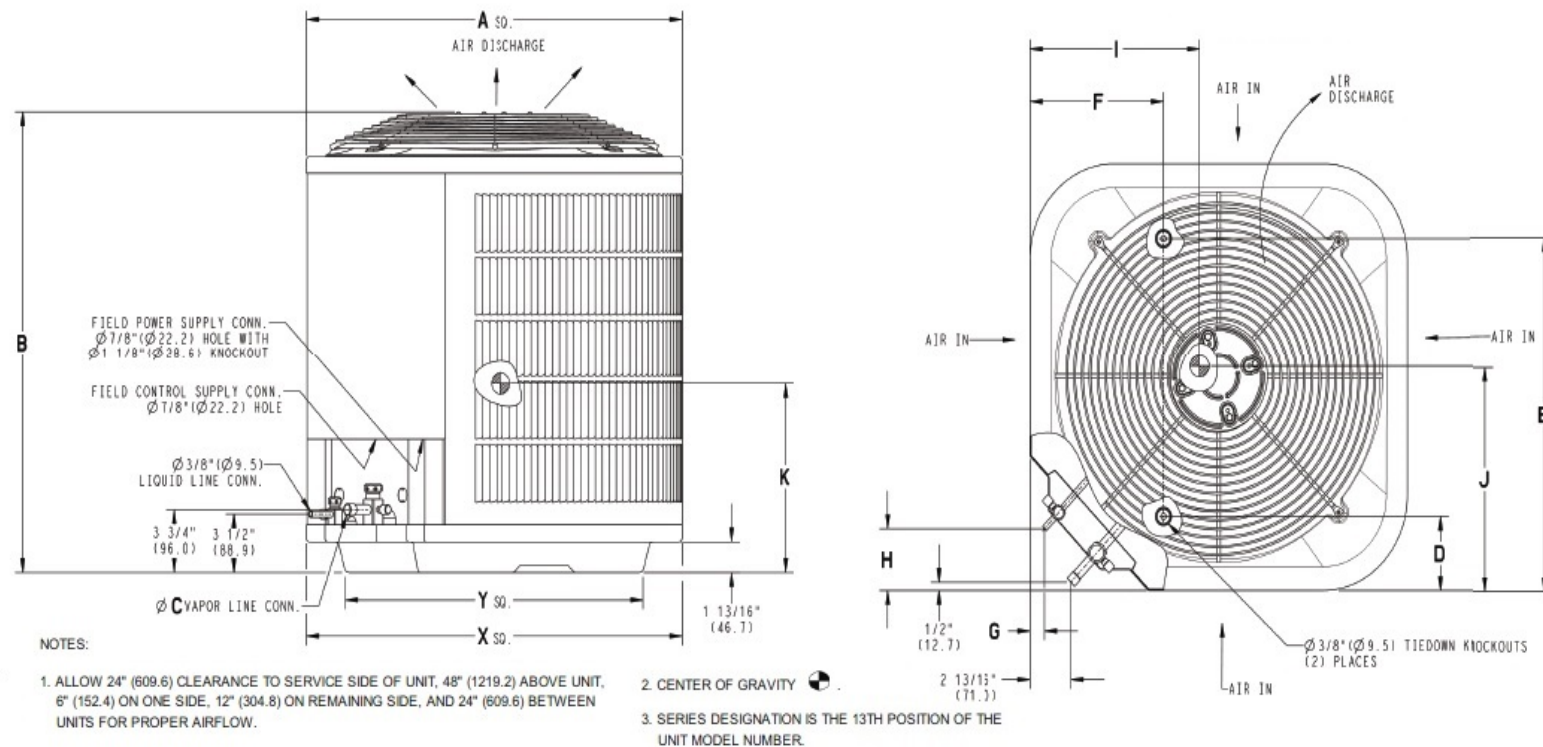
For more information visit us:  
[GEAppliancesAirAndWater.com](http://GEAppliancesAirAndWater.com)



**GE APPLIANCES**  
 a Haier company







### Outdoor Model

Unit Model:.....**148T**  
Unit Size:.....**3 Tons (Size 36)**  
Voltage:.....**208/230-1-60** V-Ph-Hz  
SEER:.....**18**  
PartNumber:.....**148TAN03600W**

Shipping Dimensions and Weights	Outdoor Unit
Height	39.81 in
Width	38.00 in
Length	38.00 in
Operating Weight	214. lb
Shipping Weight	241. lb

Dimensions										
A	B	C	D	E	F	G	H	I	J	K
35.00 in	35.50 in	0.88 in	6.56 in	28.44 in	9.13 in	0.31 in	3.00 in	16.50 in	16.50 in	17.50 in

The Product and Ratings Data in this program is subject to change at any time and without notice. Please refer to the latest product literature and the AHRI directory at [www.ahridirectory.org](http://www.ahridirectory.org) for the most up-to-date information.



## GENERAL

Made from clear pine — no finger joints

Storm panel provides several places to “lock” the storm panel to allow different levels of air flow

Looks like a traditional storm, but you do not need to store any inserts

### OPTIONS

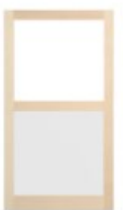
### SPECIFICATIONS

- Storms/Screens are manufactured: 1-1/8" thick
- Top Rail and Stiles: 2-1/8" wide
- Bottom Rail: 3-1/2" wide
- Cross Bar: 2-1/8" wide
- Clear Annealed Glass
- Raw to be finished by others

## PRICING

Please [contact us](#) for a custom quote.

Category: Wood Storm Windows •

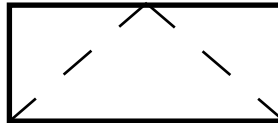






**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

New Casement Window



**Brighton Series**  
**R-50**  
**6" Frame Depth**  
**Awning (Project-Out)**

## BRIGHTON SERIES AWNING (PROJECT-OUT)

The Quaker Brighton Series Awning window is ideal for a variety of applications including - Energy Efficient, Apartments, Assisted Living and Housing Authority.

### FEATURES

- ◇ Commercial Framing System
  - 6" main frame
- ◇ Enhanced Design
  - Extruded clad exterior, pine interior
- ◇ Glazing
  - ¾" insulated glass
- ◇ Hardware
  - Single point locking system with fold-down handle to avoid interference with window blinds (Crank-out only)
  - Low profile cam handle (Push-out only)
- ◇ Screen
  - Extruded aluminum screen frame with BetterVue™ mesh (Crank-out only)
  - Wicket screet (Push-out only)

### BENEFITS

- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings

### OPTIONS

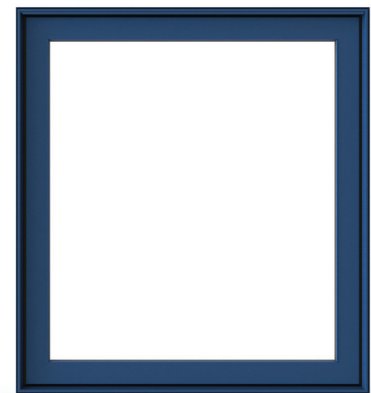
- ◇ Available Configurations
  - Project-out awning
  - Push-out or Crank-out
- ◇ Muntin Choices
  - Internal or simulated divided lites available
- ◇ Limited travel hardware
- ◇ Nailing Fin
- ◇ Screen
  - Extruded aluminum screen frame with aluminum wire mesh
  - Extruded aluminum screen frame with sunscreen mesh
  - Extruded aluminum screen frame with stainless steel 0.009" thickness mesh
- ◇ Glazing
  - Capillary tubes
  - Argon gas
  - Wide variety of glazing, tinting and thickness options
- ◇ Panning & Trim Choices
  - Wide variety of panning, receptor and trim available
- ◇ Mulling
  - Wide variety of structural mulls

### PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

Model	Awning (Project-Out)
AAMA/WDMA/CSA 101/I.S.2/A440-08 Rating	R-50
Structural Load P.S.F.	75.19
Air at 50 MPH (cfm/ft <sup>2</sup> )	0.05
Water (No Penetration) P.S.F.	7.52
U-Value (with Low-E and Argon)	0.28-0.32
SHGC (with Low-E and Argon)	0.12-0.28

Window test size: 48" × 24"  
Operating Force: 1.5 lbf (maintain motion)



Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.

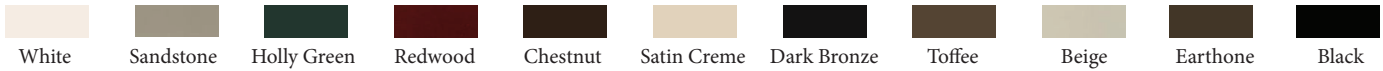


**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

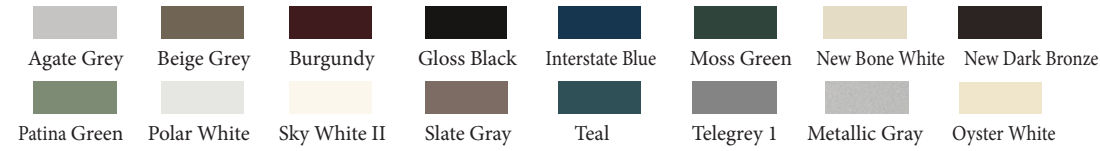
## ARCHITECTURAL PAINT COATINGS AND FINISHES

◇ Baked on powder coat finish meets ANSA/AAMA 2604 specs and is available in unlimited colors

- 11 Popular Colors



- 16 Impressive Colors



- 7 Resemble Colors (painted finish resembling anodized)



- Unlimited Custom Colors

\* Printed colors shown here may not accurately depict actual painted colors. Color samples are available upon request.

◇ ANSA/AAMA 2605 powder coat finishes

◇ AAMA 611-98 Class I clear and tinted anodized finishes

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.

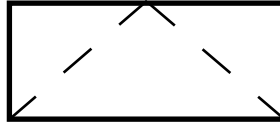


**QUAKER**  
COMMERCIAL WINDOWS AND DOORS





**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

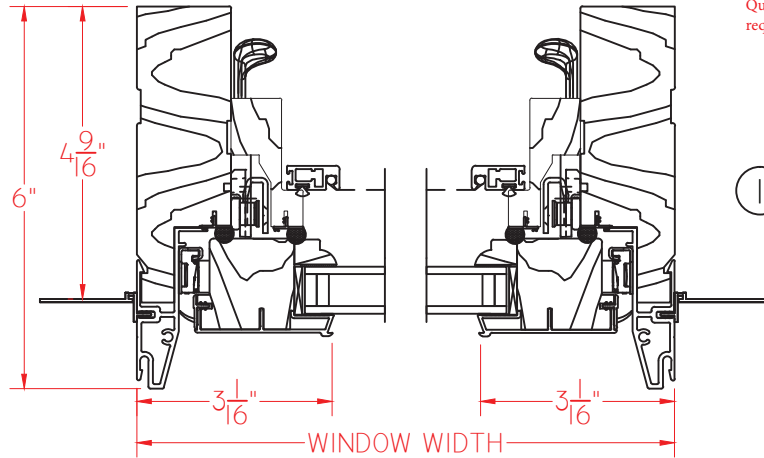


**BRIGHTON**  
SERIES

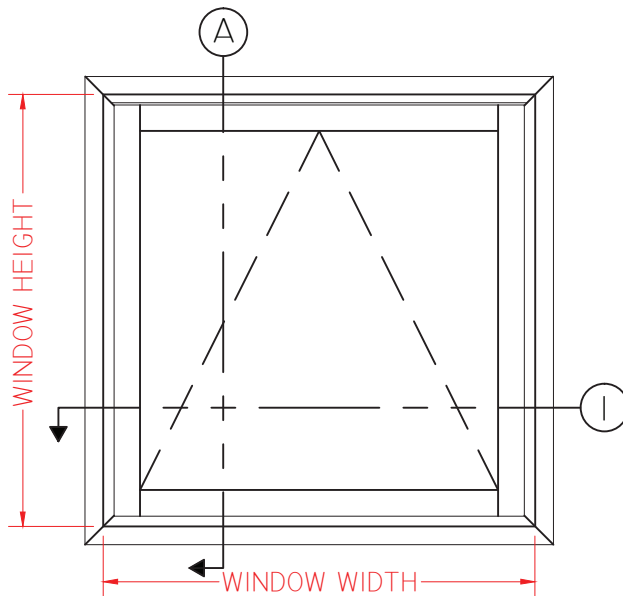
**Brighton Series  
R-50  
6" Frame Depth  
Awning (Project-Out)**

**BRIGHTON AWN**

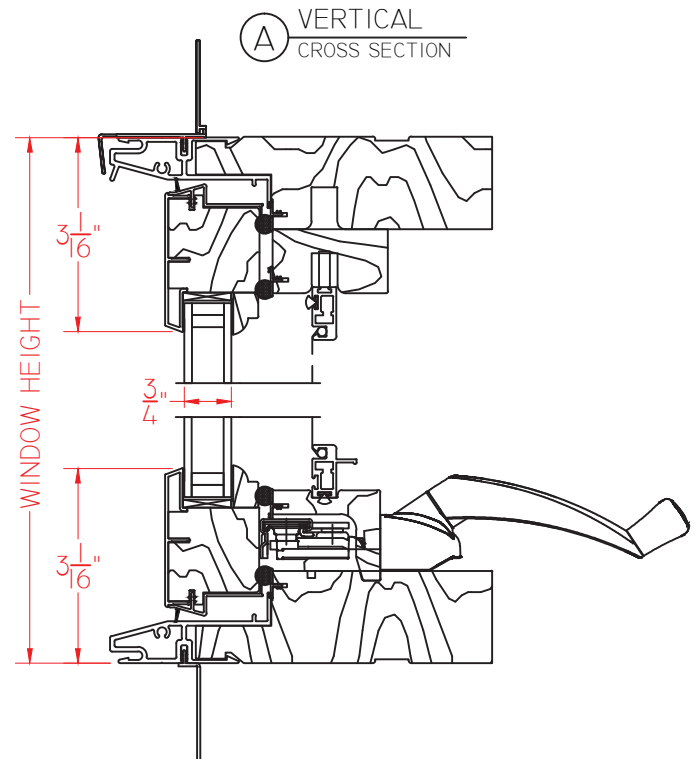
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Quaker reserves the right to change any/all designs without notice. Due to periodic re-certification requirements, result shown may vary.



1 HORIZONTAL  
CROSS SECTION



ELEVATION SCALE  $\frac{3}{4}" = 1'-0"$



A VERTICAL  
CROSS SECTION

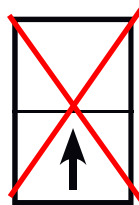
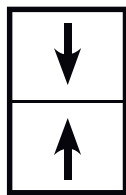
BRIGHTON AWNING 12-29-2015 VERSION 3.0

SCALE 1:3

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



**Brighton Series**  
**R-50**  
**6" Frame Depth**  
**Double Hung/Single Hung**

## BRIGHTON SERIES DOUBLE HUNG/SINGLE HUNG

The Quaker Brighton Series Double Hung/Single Hung window is ideal for a variety of applications including - Energy Efficient, Apartments, Assisted Living and Housing Authority.

### FEATURES

- ◇ Commercial Framing System
  - 6" main frame
- ◇ Enhanced Design
  - Extruded clad exterior, pine interior
- ◇ Glazing
  - ¾" insulated glass
- ◇ Hardware
  - Two block and tackle balancers and vinyl step jamb liners
  - Self-aligning cam-type locks
- ◇ Screen
  - Extruded aluminum screen frame with BetterVue™ mesh

### BENEFITS

- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings

### OPTIONS

- ◇ Available Configurations
  - **Double Hung**
  - Single Hung
  - Bay or bow unit
- ◇ Muntin Choices
  - Internal, wood removable or simulated divided lites available
- ◇ Limited travel hardware
- ◇ Nailing Fin
- ◇ Screen **no screen**
  - Extruded aluminum screen frame with aluminum wire mesh
  - Extruded aluminum screen frame with sunscreen mesh
  - Extruded aluminum screen frame with stainless steel 0.009" thickness mesh
- ◇ Glazing
  - Capillary tubes
  - Argon gas
  - Wide variety of glazing, tinting and thickness options
- ◇ Panning & Trim Choices
  - Wide variety of panning, receptor and trim available
- ◇ Mulling
  - Wide variety of structural mulls

### PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

Model	Double Hung/Single Hung
AAMA/WDMA/CSA 101/IS.2/A440-08 Rating	R-50
Structural Load P.S.F.	75.19
Air at 50 MPH (cfm/ft²)	0.04
Water (No Penetration) P.S.F.	7.52
U-Value (with Low-E and Argon)	0.28-0.32
SHGC (with Low-E and Argon)	0.12-0.29

Window test size: 36" × 84"

Operating Force: 22 lbf (maintain motion), 3 lbf (locks)



Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



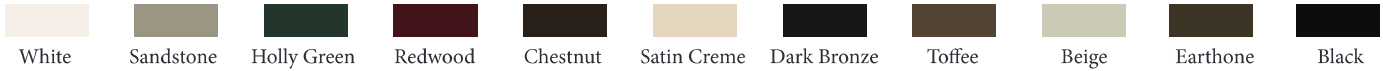
**QUAKER**  
 COMMERCIAL WINDOWS AND DOORS



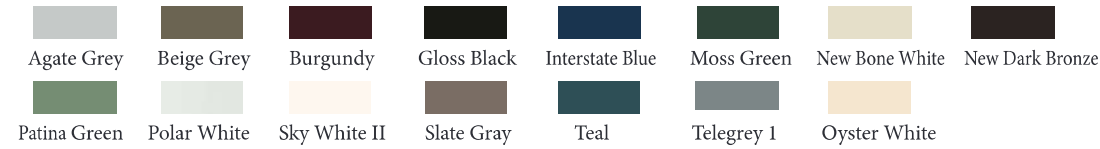
## ARCHITECTURAL PAINT COATINGS AND FINISHES

◇ Baked on powder coat finish meets ANSA/AAMA 2604 specs and is available in unlimited colors

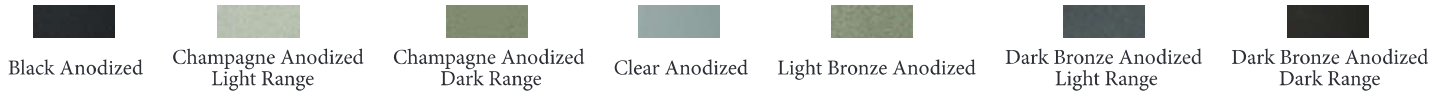
- 11 Popular Colors



- 15 Impressive Colors



- 7 Resemble Colors (painted finish resembling anodized)



- Unlimited Custom Colors

◇ ANSA/AAMA 2605 powder coat finishes

◇ AAMA 611-98 Class I clear and tinted anodized finishes

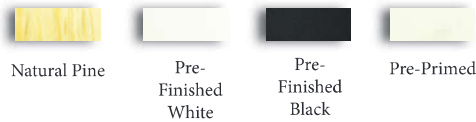
\* Printed colors shown here may not accurately depict actual painted colors. Color samples are available upon request.

## INTERIOR FINISHES

◇ Standard interior is Natural Pine wood

◇ Interior painted finish is available in Pre-Finished white or Pre-Finished black. Custom painted colors available

◇ Pre-primed interior is an option



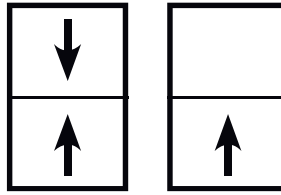
Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



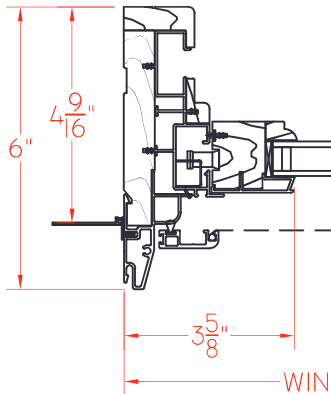
**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



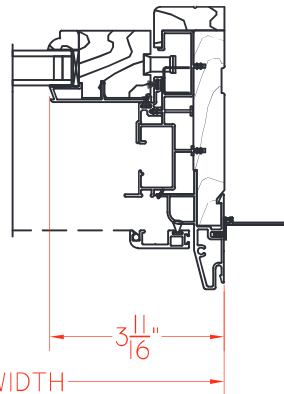
**Brighton Series**  
**R-50**  
**6" Frame Depth**  
**Double Hung/Single Hung**

**BRIGHTON DH/SH**

② HORIZONTAL  
CROSS SECTION

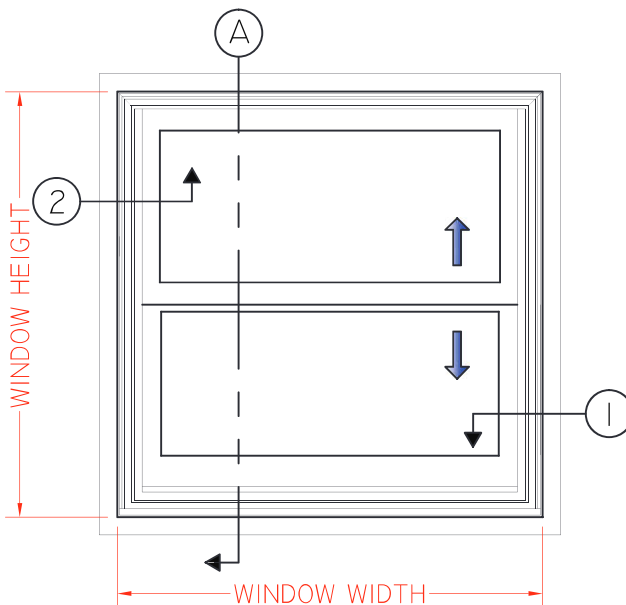
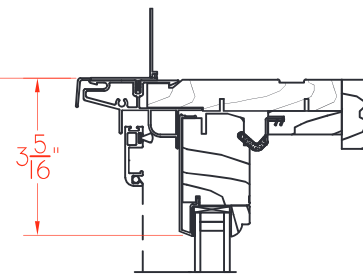


① HORIZONTAL  
CROSS SECTION



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Due to periodic re-certification requirements, result shown may vary.

Ⓐ VERTICAL  
CROSS SECTION



ELEVATION SCALE 3/4" = 1'-0"

INSTALLER TO FILL CAVITY  
WITH FIBERGLASS INSULATION  
BEFORE SETTING WINDOW

WINDOW HEIGHT

WINDOW HEIGHT

WINDOW WIDTH

WINDOW WIDTH

SCALE 1:4

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



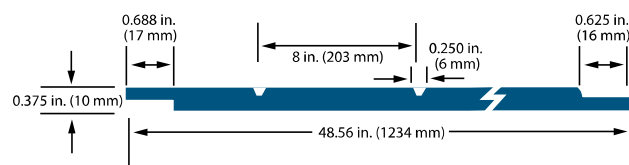
# Smooth Finish Panel

## Designed For Ease And Performance

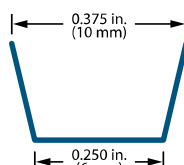
- The shiplap edge makes it easier to install
- Pre-primed for exceptional paint adhesion
- Not rated for structural use
- Smooth finish
- Treated engineered wood fiber substrate



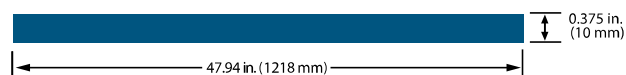
### 76 Series Smooth Finish Panel 8" o.c. (fiber)



### Groove Detail



### 76 Series Smooth Finish Siding Panel and Soffit - Square Edge (fiber)



Smooth finish

DESCRIPTION	LENGTH	GROOVE	GROOVE WIDTH	ACTUAL WIDTH	MINIMUM THICKNESS	PID NUMBER
76 Series Smooth Finish Panel 8" o.c. (fiber)	8 ft. (96 in.)(2438 mm)	8 in. o.c.	1/4 in. (6 mm)	48.56 in. (1234 mm)	0.375 in. (10 mm)	25932
76 Series Smooth Finish Panel 8" o.c. (fiber) with slip sheets	8 ft. (96 in.)(2438 mm)	8 in. o.c.	1/4 in. (6 mm)	48.56 in. (1234 mm)	0.375 in. (10 mm)	39051
76 Series Smooth Finish Siding Panel and Soffit - Square Edge (fiber)	8 ft. (96 in.)(2438 mm)	No Groove	N/A	47.94 in. (1218 mm)	0.375 in. (10 mm)	25930
	9 ft. (108 in.)(2743 mm)	No Groove	N/A	47.94 in. (1218 mm)	0.375 in. (10 mm)	25931

# Prefer the ease of ordering online?

New Storm Door - Type 1

Click here to be taken to [www.screendoors.com](http://www.screendoors.com) to order directly without an estimate.

The exceptional design of the SimpleSwitch makes it an attractive addition to your entrance. The switch between its wood-framed screen insert and a wood-framed storm insert is easily accomplished. Ideal for a historic home, upgrading an existing entryway, or for a new house, the SimpleSwitch can fit into any style with ease. Our craftsmen use solid wood with no finger joints in our work to create a screen door custom fit to your specifications that will withstand the seasons.

## FEATURES

Available in half, 2/3, and full-light panels

SimpleSwitch closures to secure insert in door

Door is constructed of clear Pine – no finger joints

Standard wood-framed charcoal aluminum insect screen

Can be used as panels in screen rooms

Hardware and machining for hardware is not included

### OPTIONS

### SPECIFICATIONS

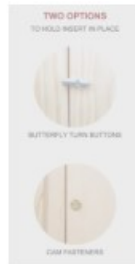
Doors are manufactured 1-1/8" thick

Stiles and top rail are 4-1/2" wide

Mid rail is 5" wide

Bottom rail is 7" wide

1/8" clear tempered safety glass





# Prefer the ease of ordering online?

New Storm Door - Type 2

Click here to be taken to [www.screendoors.com](http://www.screendoors.com) to order directly without an estimate.

The exceptional design of the SimpleSwitch makes it an attractive addition to your entrance. The switch between its wood-framed screen insert and a wood-framed storm insert is easily accomplished. Ideal for a historic home, upgrading an existing entryway, or for a new house, the SimpleSwitch can fit into any style with ease. Our craftsmen use solid wood with no finger joints in our work to create a screen door custom fit to your specifications that will withstand the seasons.

## FEATURES

Available in half, 2/3, and full-light panels

SimpleSwitch closures to secure insert in door

Door is constructed of clear Pine – no finger joints

Standard wood-framed charcoal aluminum insect screen

Can be used as panels in screen rooms

Hardware and machining for hardware is not included



### OPTIONS

### SPECIFICATIONS

Doors are manufactured 1-1/8" thick

Stiles and top rail are 4-1/2" wide

Mid rail is 5" wide

Bottom rail is 7" wide

1/8" clear tempered safety glass

# F. BELANGER BLOCK BUILDING

## 2403 W 6TH ST.

## DULUTH, MINNESOTA 55808

### APPLICABLE CODES AND REGULATIONS:

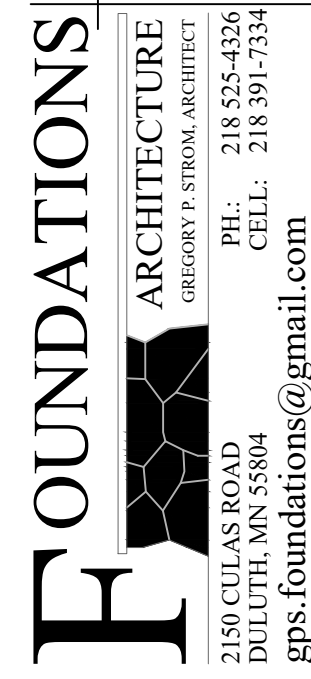
THE DESIGN CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS BASED ON, BUT NOT LIMITED TO:

2020	MINNESOTA STATE BUILDING CODE
2020	MINNESOTA STATE MECHANICAL & FUEL GAS CODE
2020	MINNESOTA RESIDENTIAL ENERGY CODE
2020	MINNESOTA STATE PLUMBING CODE

### MECHANICAL SHEET INDEX:

PM000	MECHANICAL LEGEND
P100	UNDERGROUND PLUMBING PLAN
P101	WASTE & VENT PIPING PLAN - BASEMENT
P102	WASTE & VENT PIPING PLAN - FIRST FLOOR
P103	WASTE & VENT PIPING PLAN - SECOND FLOOR
P200	DOMESTIC WATER PIPING PLAN - BASEMENT
P201	DOMESTIC WATER PIPING PLAN - FIRST FLOOR
P202	DOMESTIC WATER PIPING PLAN - SECOND FLOOR
P300	WASTE & VENT ISOMETRIC
P301	DOMESTIC WATER ISOMETRIC
P400	PLUMBING SCHEDULES
P401	PLUMBING DETAILS
M100	HVAC PLAN - BASEMENT
M101	HVAC PLAN - FIRST FLOOR
M102	HVAC PLAN - SECOND FLOOR
M103	MECHANICAL ROOF PLAN
M400	HVAC SCHEDULES
M401	HVAC SCHEDULES & DETAILS
M402	HVAC DETAILS

\* A SPECIFICATION MANUAL SHALL ACCOMPANY THESE PLANS



REMODEL FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

SHEET TITLE:  
MECHANICAL LEGEND

NOT FOR CONSTRUCTION

DATE: 5-29-25  
JOB NO.: 2437  
DRAWN BY: JPK  
APPROVED BY: JPK

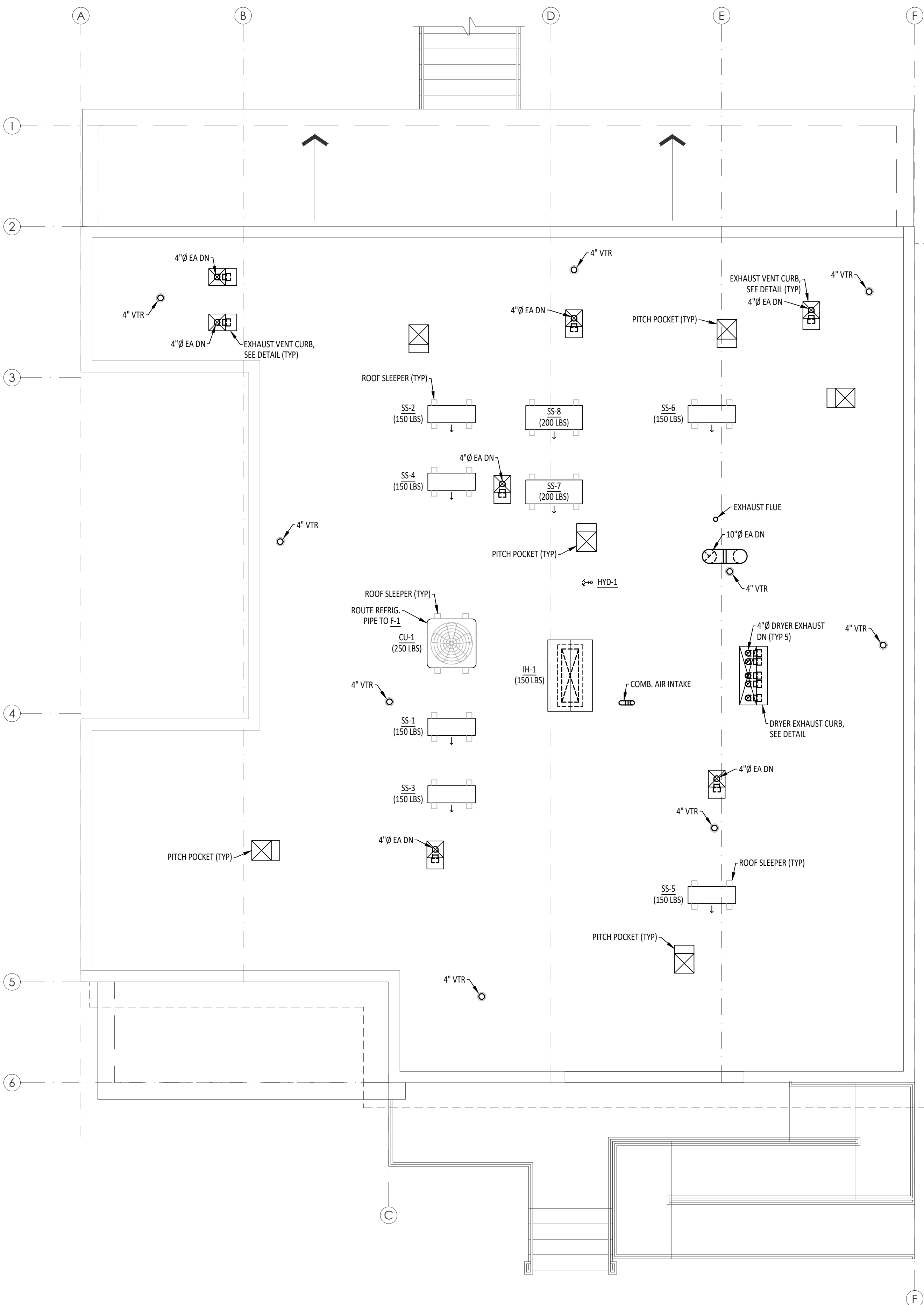


PM000

ABBREVIATIONS					
@	AT	EXIST	EXISTING	OA	OUTSIDE AIR
AD	AIR DOOR	F	FAHRENHEIT DEGREES	ODB	OPPOSED BLADE DAMPER
AF	AIR FILTER	F	FURNACE	OFCI	OWNER FURNISHED / CONTRACTOR INSTALLED
AFF	ABOVE FINISHED FLOOR	FC	FAN COIL UNIT	OFOI	OWNER FURNISHED / OWNER INSTALLED
AHU	AIR HANDLING UNIT	FCO	FLOOR CLEANOUT	ORD	OVERFLOW ROOF DRAIN
ARCH	ARCHITECTURAL OR ARCHITECT	F/SD	COMBINATION FIRE/SMOKE DAMPER	ORL	OVERFLOW RAIN LEADER
ARU	AIR ROTATION UNIT	FD	FIRE DAMPER OR FLOOR DRAIN	P	PUMP
ATC	AUTOMATIC TEMPERATURE CONTROL	FLEX	FLEXIBLE	PH	PHASE
AW	ACID WASTE	FLA	FULL LOAD AMPS	PSI	POUNDS PER SQUARE INCH
B	BOILER	FLR	FLOOR	PRV	POWER ROOF VENTILATOR
BAS	BUILDING AUTOMATION SYSTEM	FMD	FLOW MEASURING DEVICE (LIQUID)	PV	PROPANE VAPORIZER
BDD	BACKDRAFT DAMPER	FOB	FLAT ON BOTTOM	RA	RETURN AIR
BLDG	BUILDING	FPM	FEET PER MINUTE	RAF	RETURN AIR FAN
BP	DOMESTIC BOOSTER PUMP	FTR	FINNED TUBE RADIATION	RCP	DOMESTIC RECIRCULATING PUMP
BT	BATHTUB	GALV	GALVANIZED	RD	ROOF DRAIN
BT	BUFFER TANK	GC	GENERAL CONTRACTOR	RGD	REGISTERS, GRILLES AND DIFFUSERS
BTUH	BRITISH THERMAL UNITS PER HOUR	GD	GREASE DUCT	RH	ROOF HOOD
BVI	BALL VALVE INDICATOR	GI	GREASE INTERCEPTOR	RH	REHEAT COIL
CA	COMBUSTION AIR	GPH	GALLONS PER HOUR	RHW	DOMESTIC RECIRC HOT WATER
CC	COOLING COIL	GPM	GALLONS PER MINUTE	RL	RAIN LEADER
CD	CONTROL DAMPER	HB	HOSE BIBB	RMB	RADIANT MIXING BLOCK
CFM	CUBIC FEET PER MINUTE	HC	HEATING COIL	RPM	REVOLUTIONS PER MINUTE
CFCI	CONTRACTOR FURNISHED / CONTRACTOR INSTALLED	HP	HEAT PUMP OR HORSE POWER	RTU	ROOFTOP UNIT
CFOI	CONTRACTOR FURNISHED / OWNER INSTALLED	HR	HOUR	S	SINK
CH	CHILLER	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	SA	SUPPLY AIR
CHWS	CHILLED WATER SUPPLY	HU	HUMIDIFIER	SAF	SUPPLY AIR FAN
CHWR	CHILLED WATER RETURN	HW	DOMESTIC HOT WATER	SD	STORM DRAIN
CIRC	CIRCULATING	HWS	HOT WATER SUPPLY	SE	SEWAGE EJECTOR
CONC	CONCRETE	HWR	HOT WATER RETURN	SEER	SEASONAL ENERGY EFFICIENCY RATIO
COND	CONDENSATE	HXR	HEAT EXCHANGER	SHI	SHOWER
CONN	CONNECTION	HYD	HYDRANT	SOI	SAND OIL INTERCEPTOR
CT	COOLING TOWER	IAS	INLINE AIR SEPARATOR	SP	SUMP PUMP
CJ	AIR COOLED CONDENSING UNIT	IFR	INFRARED RADIANT HEATER	SPEC	SPECIFICATION
CW	DOMESTIC COLD WATER	IJS	IN JOIST SPACE	SSAC	SPLIT SYSTEM AIR CONDITIONER
dB	DECIBELS	IM	ICE MAKER	TA	TRANSFER AIR
DC	DRY COOLER	KEF	KITCHEN EXHAUST FAN	TD	TRENCH DRAIN
DB	DRY BULB TEMPERATURE	KEH	KITCHEN EXHAUST HOOD	TR	TEMPERATURE RISE
DEMO	DEMOLITION OR DEMOLISH	KW	KILOWATT	TMV	THERMOSTATIC MIXING VALVE
DIA	DIAMETER	LAT	LEAVING AIR TEMPERATURE	TS	TUB/SHOWER
DIV	DIVISION	L	LAVATORY	TSP	TOTAL STATIC PRESSURE
DS	DUCT SILENCER	LB/Hr	POUNDS PER HOUR	TYP	TYPICAL
DN	DOWN	LDB	LEAVING DRY BULB	UH	UNIT HEATER
DWG	DRAWING	LVR	LOUVER	UR	URINAL
(E)	EXISTING	LVB	LEAVING WET BULB	UV	ULTRAVIOLET LIGHT
EA	EXHAUST AIR	LWT	LEAVING WATER TEMPERATURE	V	VANITARY VENT
EAT	ENTERING AIR TEMPERATURE	MA	MAKE-UP AIR	VD	VOLUME DAMPER (MANUAL OPPOSED BLADE)
EDB	ENTERING DRY BULB	MAU	MAKE-UP AIR UNIT	(VER)	VERIFY SIZE AND LOCATION
EDH	ELECTRIC DUCT HEATER	MB	MOP BASIN	VAV	VARIABLE AIR VOLUME
EER	ENERGY EFFICIENCY RATIO	MBH	ONE THOUSAND BTU PER HOUR	VFD	VARIABLE FREQUENCY DRIVE
EFC	EXHAUST FAN	MCA	MINIMUM CIRCUIT AMPACITY	VTR	VENT THROUGH ROOF
ELEC	ELECTRIC OR ELECTRICAL	MC	MECHANICAL CONTRACTOR	VSC	VARIABLE SPEED CONTROLLER
ERV	ENERGY RECOVERY VENTILATOR	MECH	MECHANICAL	W	SANITARY WASTE
ESP	EXTERNAL STATIC PRESSURE	MFS	MAXIMUM FUSE SIZE	W	WITH
ET	EXPANSION TANK	MISC	MISCELLANEOUS	WB	WET BULB TEMPERATURE
EFW	EMERGENCY EYE/FACE WASH	MOCP	MAXIMUM OVER CURRENT PROTECTION	WB	WASHER BOX
EW	ELECTRIC WATER COOLER	MOD	MOTORIZED DAMPER	WC	WATER CLOSET
EWS	EMERGENCY WASH SHOWER	N/A	NOT APPLICABLE	WCO	WALL CLEANOUT
EWT	ENTERING WATER TEMPERATURE	NC	NORMALLY CLOSED/NOISE CRITERIA	WF	WASH FOUNTAIN
EWB	ENTERING WET BULB	NIC	NOT IN CONTRACT	WH	WATER HEATER
EWH	ELECTRIC WALL HEATER	NO	NORMALLY OPEN	WIC	WALK IN COOLER
EXH	EXHAUST	NTS	NOT TO SCALE	WS	WATER SOFTENER
				W/O	WITHOUT

PIPING LINETYPES				
	D	CONDENSATE DRAIN		SOIL OR WASTE PIPE (ABOVE GROUND)
	PC	PUMPED CONDENSATE		VENT PIPE (V)
	RL	REFRIGERANT LIQUID		DOMESTIC COLD WATER
	RS	REFRIGERANT SUCTION		DOMESTIC HOT WATER
	HGB	HOT GAS BYPASS		DOMESTIC HOT WATER RECIRC
	FOR	FUEL OIL RETURN		RAIN LEADER
	FOS	FUEL OIL SUPPLY		OVERFLOW RAIN LEADER
	FOV	FUEL OIL VENT		STORM DRAIN BELOW GRADE
	FNG	FIRM NATURAL GAS		HEATING WATER RETURN
	ING	INTERRUPTIBLE NATURAL GAS		HEATING WATER SUPPLY
	HPS	HIGH PRESSURE STEAM LINE		GLYCOL HEATING WATER RETURN
	LPS	LOW PRESSURE STEAM LINE		GLYCOL HEATING WATER SUPPLY
	GAS	GAS LINE		CHILLED WATER RETURN
		SOIL OR WASTE PIPE (UNDER GROUND)		CHILLED WATER SUPPLY





- A. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE "AS-BUILT" CONDITIONS AND THESE DRAWINGS.
- B. MAINTAIN MINIMUM 10'-0" CLEARANCE FROM EQUIPMENT TO ROOF EDGE.
- C. MAINTAIN MINIMUM 10'-0" CLEARANCE FROM ALL AIR INTAKES TO EXHAUST OUTLETS AND PLUMBING VENTS.
- D. ROOF CUTTING AND PATCHING BY G.C.

**FOUNDATIONS**  
ARCHITECTURE  
GREGORY P. STROM, ARCHITECT

2150 CULAS AVENUE  
DULUTH, MN 55804  
PH: 218.525-4326  
CELL: 218.391-7334  
[gps.foundations@gmail.com](mailto:gps.foundations@gmail.com)

**BOECKER**  
Drafting and Design  
TRAVIS J. BOECKER (TJB)  
TRAVIS@BOECKERDRAFTING.COM

REMODEL FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

SHEET TITLE:  
MECHANICAL ROOF PLAN

NOT FOR CONSTRUCTION

DATE: 5-28-25
JOB NO.: 2437
DRAWN BY: JPK
APPROVED BY: JPK

**JPK**  
ENGINEERING, LLC  
1325 23rd St. S., Ste E  
Fargo, ND 58103  
(701) 532-1788

# M203

1 MECHANICAL ROOF PLAN  
M203 1/4"=1'-0"



TAG	MANUFACTURER	EFFICIENCY				HEAT PUMP								NOTES	TAG	MODEL	EVAPORATOR								SERVES	NOTES				
		COOLING SEER	COOLING EER	HEATING HSPF	HEATING COP	MODEL	REFRIG.	HEATING CAP.		ELECTRICAL							HEATING CAPACITY				HEATING CAPACITY						HIGH AIRFLOW (CFM)	ELECTRICAL		
								TOTAL (MBH)	HEATING (MBH)	VOLT	PHASE	MCA	MOCP				BY	COOLING CAPACITY		HEATING CAPACITY		ELECTRICAL								
																		TOTAL (MBH)	DB	WB	AT 47° F (MBH)	AT -4° F (MBH)	DB	WB				VOLTS	PHASE	BY
SS-1	HAIER	18	10	10	---	3U24MS2VHB	410A	24.5	25.5	208/230	1	18	25	E.C.	1,2,3,4,5,6	FC-1	AW09LC2VHB	9	80	67	9.6	5.1	70	60	410	208/230	1	E.C.	UNIT 101	1,2,3,4,5,6,7
																FC-2	AW12LC2VHB	12	80	67	12.8	6.8	70	60	440	208/230	1	E.C.	UNIT 101	1,2,3,4,5,6,7
SS-2	HAIER	18	10	10	---	3U24MS2VHB	410A	24.5	25.5	208/230	1	18	25	E.C.	1,2,3,4,5,6	FC-1	AW09LC2VHB	9	80	67	9.6	5.1	70	60	410	208/230	1	E.C.	UNIT 102	1,2,3,4,5,6,7
																FC-2	AW12LC2VHB	12	80	67	12.8	6.8	70	60	440	208/230	1	E.C.	UNIT 102	1,2,3,4,5,6,7
SS-3	HAIER	18	10	10	---	3U24MS2VHB	410A	24.5	25.5	208/230	1	18	25	E.C.	1,2,3,4,5,6	FC-1	AW09LC2VHB	9	80	67	9.6	5.1	70	60	410	208/230	1	E.C.	UNIT 101	1,2,3,4,5,6,7
																FC-2	AW12LC2VHB	12	80	67	12.8	6.8	70	60	440	208/230	1	E.C.	UNIT 201	1,2,3,4,5,6,7
SS-4	HAIER	18	10	10	---	3U24MS2VHB	410A	24.5	25.5	208/230	1	18	25	E.C.	1,2,3,4,5,6	FC-1	AW09LC2VHB	9	80	67	9.6	5.1	70	60	410	208/230	1	E.C.	UNIT 202	1,2,3,4,5,6,7
																FC-2	AW12LC2VHB	12	80	67	12.8	6.8	70	60	440	208/230	1	E.C.	UNIT 202	1,2,3,4,5,6,7
SS-5	HAIER	18	10	10	---	3U24MS2VHB	410A	24.5	25.5	208/230	1	18	25	E.C.	1,2,3,4,5,6	FC-1	AW09LC2VHB	9	80	67	9.6	5.1	70	60	410	208/230	1	E.C.	UNIT 203	1,2,3,4,5,6,7
																FC-2	AW12LC2VHB	12	80	67	12.8	6.8	70	60	440	208/230	1	E.C.	UNIT 203	1,2,3,4,5,6,7
SS-6	HAIER	18	10	10	---	3U24MS2VHB	410A	24.5	25.5	208/230	1	18	25	E.C.	1,2,3,4,5,6	FC-1	AW09LC2VHB	9	80	67	9.6	5.1	70	60	410	208/230	1	E.C.	UNIT 204	1,2,3,4,5,6,7
																FC-2	AW12LC2VHB	12	80	67	12.8	6.8	70	60	440	208/230	1	E.C.	UNIT 204	1,2,3,4,5,6,7
SS-7	HAIER	18	12	9.5	1.8	1Q24TE2BEA	454B	24.0	24.0	208/230	1	20	30	E.C.	1,2,3,4,5,6	FC-3	QS24WB2BEA	24	80	67	24.0	14.4	70	60	800	208/230	1	E.C.	COMM. 100	1,2,3,4,5,6
SS-8	HAIER	18	12	9.5	1.8	1Q24TE2BEA	454B	24.0	24.0	208/230	1	20	30	E.C.	1,2,3,4,5,6	FC-4	QS24WB2BEA	24	80	67	24.0	14.4	70	60	800	208/230	1	E.C.	COMM. 100	1,2,3,4,5,6

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.
- (2) PROVIDE AND INSTALL REMOTE WALL MOUNTED AND WIRED THERMOSTAT.
- (3) FURNISH AND INSTALL REFRIGERANT PIPING AND ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS.
- (4) ALL WIRING BETWEEN INDOOR AND OUTDOOR UNIT BY M.C.
- (5) INSTALL HEAT PUMP ON 4" CONCRETE PAD WITH GALVANIZED UNISTRUT STAND A MINIMUM OF 24" ABOVE GRADE.
- (6) PROVIDE AND INSTALL ELECTRICAL COMPONENTS TO LOCK OUT BASEBOARD HEAT WHEN UNIT IS IN COOLING MODE.
- (7) PROVIDE AND INSTALL IN MULTIPLE LOCATIONS.

LAUNDRY EQUIPMENT - DRYERS (OFCI)										
TAG	MANUFACTURER	MODEL	FUEL	LOAD CAPACITY (LB)	GAS INLET CONNECTION		EXHAUST SIZE (IN)	EXHAUST AIRFLOW (CFM)	NAT. GAS INPUT (MBH)	NOTES
					QTY	SIZE				
GLD-1	SPEED QUEEN	LDG30RGS113TW01	GAS	18	1	3/8	4	220	22.5	1,2,3,4,5,6
GLD-2	SPEED QUEEN	LDG30RGS113TW01	GAS	18	1	3/8	4	220	22.5	1,2,3,4,5,6
GLD-3	SPEED QUEEN	LDG30RGS113TW01	GAS	18	1	3/8	4	220	22.5	1,2,3,4,5,6
GLD-4	SPEED QUEEN	LDG30RGS113TW01	GAS	18	1	3/8	4	220	22.5	1,2,3,4,5,6
GLD-5	SPEED QUEEN	LDG30RGS113TW01	GAS	18	1	3/8	4	220	22.5	1,2,3,4,5,6

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE. GLD - GUEST LAUNDRY DRYER
- (2) COORDINATE ALL FINAL RING-UP IN LOCATIONS AND HEIGHTS WITH LAUNDRY EQUIPMENT PLANS AND LAUNDRY EQUIPMENT CONTRACTOR.
- (3) ALL LAUNDRY EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY FSEC. ALL FINAL CONNECTIONS TO EQUIPMENT SHALL BE BY M.C.
- (4) ALL WATER AND GAS PIPING TO EQUIPMENT SHALL BE PROVIDED WITH ISOLATION BALL VALVES.
- (5) M.C. SHALL FURNISH AND INSTALL ALL NECESSARY ACCESSORIES NOT PROVIDED WITH LAUNDRY EQUIPMENT FOR FINAL CONNECTIONS.
- (6) FLEXIBLE QUICK DISCONNECT GAS HOSES SHALL BE PROVIDED AND INSTALLED BY M.C. REGULATORS AND SHUTOFF VALVES TO GAS EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY M.C.

ELECTRIC DUCT HEATER (SPECIFICATION 238217)															
TAG	MANUFACTURER	MODEL	HEATING				DUCT DIMENSIONS		ELECTRICAL				SERVES	NOTES	
			KW	CFM	STAGES	EAT (F)	LAT (F)	WIDTH (IN)	HEIGHT (IN)	VOLT	PHASE	SCCR (KA)			DISC BY
EDH-1	GREENHECK	IDHE	18	560	SCR	-30	70	12	10	240	1	---	E.C.	APTS / BSMINT	1,2,3,4,5,6,7
EDH-2	GREENHECK	IDHE	35	1100	SCR	-30	70	18	12	240	1	---	E.C.	LAUNDRY	1,2,3,4,5,6,7

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.
- (2) LISTED PERFORMANCE IS THE REQUIRED OUTPUT; NO DERATING IS CALCULATED INTO THESE VALUES. OUTPUTS MUST MEET SCHEDULED VALUES AT SCHEDULED VOLTAGE.
- (3) PROVIDE ELECTRONIC DUCT THERMOSTAT.
- (4) PROVIDE PROPORTIONAL SCR CONTROLLER.
- (5) PROVIDE AUTOMATIC THERMAL CUTOUT.
- (6) PROVIDE AIR FLOW SWITCH.
- (7) PROVIDE CONTROL CIRCUIT TRANSFORMER.

ELECTRIC HEATERS (SPECIFICATION 238333)													
TAG	MANUFACTURER	MODEL	TYPE	FAN CFM	KW	LENGTH (FT)	ELECTRICAL			HEIGHT (A.F.F.)	COLOR	SERVES	NOTES
							VOLT	PHASE	DISC BY				
EBB-1	QMARK	25126NW	BASEBOARD	---	0.5	2.5	120	1	E.C.	10"	WHITE	APARTMENT UNITS	1,2,3,4
EBB-2	QMARK	2544NW	BASEBOARD	---	1.0	4	240	1	E.C.	10"	WHITE	APARTMENT UNITS	1,2,3,4
EBB-3	QMARK	2546NW	BASEBOARD	---	1.5	6	240	1	E.C.	10"	WHITE	APARTMENT UNITS	1,2,3,4
EBB-4	QMARK	25408NW	BASEBOARD	---	2.5	8	240	1	E.C.	10"	WHITE	APARTMENT UNITS	1,2,3,4
ECH-1	QMARK	RCCG012C	COVE	---	0.6	4	120	1	E.C.	7'	WHITE	APT. UNIT BATHROOMS	1,2,3,4
EH-1	QMARK	CWH1151DSF	RECESSED	160	1.5	---	120	1	E.C.	10"	WHITE	EAST ENTRY DOOR	1,2,5
EH-2	QMARK	CWH1151DSF	RECESSED	160	1.5	---	120	1	E.C.	10"	WHITE	SOUTH LAUNDRY	1,2,5
EH-3	QMARK	CWH1151DSF	RECESSED	160	1.5	---	120	1	E.C.	10"	WHITE	SOUTH STAIRWAY	1,2,5
EH-4	QMARK	CWH1151DSF	RECESSED	160	1.5	---	120	1	E.C.	10"	WHITE	EAST STAIRWAY	1,2,5
EUH-1	QMARK	MUH-072	SUSPENDED	650	7.5	---	240	1	E.C.	8'	WHITE	BASEMENT	1,2,3,6
EUH-2	QMARK	MUH-072	SUSPENDED	650	7.5	---	240	1	E.C.	8'	WHITE	BASEMENT	1,2,3,6

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.
- (2) LISTED PERFORMANCE IS THE REQUIRED OUTPUT; NO DERATING IS CALCULATED INTO THESE VALUES. OUTPUTS MUST MEET SCHEDULED VALUES AT SCHEDULED VOLTAGE.
- (3) PROVIDE REMOTE WALL-MOUNTED LINE-VOLTAGE THERMOSTAT.
- (4) PROVIDE IN MULTIPLE LOCATIONS.
- (5) PROVIDE WITH INTEGRAL THERMOSTAT.
- (6) PROVIDE WITH UNIVERSAL WALL/CEILING BRACKET.

TAG	MANUFACTURER	MODEL	TYPE	FAN					MOTOR					DISC BY	VSC	VFD BYPASS	DAMPER TYPE	DAMPER SIZE	AREA SERVES	NOTES
				AIRFLOW (CFM)	ESP (IN WC)	SPEED (RPM)	SONES	INLET dBA	BRAKE (HP)	POWER (HP)	VOLT	PHASE	DRIVE							
EF-1	GREENHECK	SP-A125	CEF	75	0.3	1059	1.0	---	0.01	0.01	115	1	DIRECT	M.C.	ECM	NO	BDD	6" Ø	APT. BATHROOMS	1,2,3,4,5,6,8
EF-2	GREENHECK	SP-A200	CEF	100	0.3	674	1.5	---	0.01	0.01	115	1	DIRECT	M.C.	ECM	NO	BDD	6" Ø	PUBLIC RESTROOM	1,2,4,5,6,8
EF-3	GREENHECK	SP-A390-VG	CEF	290	0.5	1380	5.5	---	0.08	0.08	115	1	DIRECT	M.C.	ECM	NO	BDD	10" Ø	BASEMENT	1,2,5,7
SAF-1	GREENHECK	SQ-95-VG	IL	560	0.5	1674	9.0	---	0.12	0.12	115	1	DIRECT	M.C.	ECM	NO	MOD	12/12	APT. VENT.	1,2,5,7
SAF-2	GREENHECK	SQ-100-VG	IL	1100	0.5	1619	9.8	---	0.19	0.19	115	1	DIRECT	M.C.	ECM	NO	MOD	14/14	COMM. VENT.	1,2,5,7,9

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.
- (2) PROVIDE VIBRATION ISOLATION KIT.
- (3) PROVIDE AT MULTIPLE LOCATIONS.
- (4) PROVIDE WITH INSULATED ROOF CURB AND WALL CAP (SEE DETAIL) TO MATCH ROOF PITCH.
- (5) PROVIDE WITH SPEED SWITCH, FIELD INSTALLED AND WIRED BY E.C.
- (6) PROVIDE AND INSTALL CEILING RADIATION DAMPER.
- (7) INTERLOCK WITH FA DAMPER.
- (8) OCCUPANCY SWITCH FURNISHED AND WIRED BY E.C.
- (9) INTERLOCK WITH TJERNLUND ROOM PRESSURE CONTROL TO MODULATE AIRFLOW CORRESPONDING TO DRYER OPERATION.
- TYPE:  
CEF - CEILING EXHAUST FAN  
IL - IN-LINE

AIR-COOLED CONDENSING UNIT (SPECIFICATION 236313)																			
TAG	MANUFACTURER	MODEL	SEER2	EER2	REFRIG. TYPE	DESIGN CAP. (MBH)	CIRCUITS	STAGES	AMBIENT TEMP. (F)	TYPE OF COMPR.	ELECTRICAL				SERVES	WEIGHT (LBS)	NOTES		
											VOLT	PHASE	MCA	MOCp				SCA (kA)	DISC BY
CU-1	BRYANT	148TAN03600W	16	13	454B	35.5	1	2	95	SCROLL	208/230	1	20.9	35	---	E.C.	BASEMENT	241	1,2,3

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.
- (2) FURNISH AND INSTALL REFRIGERANT PIPE SIZING AND ROUTING PER MANUFACTURER'S RECOMMENDATIONS WITH SIGHT GLASS AND FILTER DRIER.
- (3) FURNISH AND INSTALL ON 4" CONCRETE PAD / ROOF SLEEPERS.

GAS FURNACE (SPECIFICATION 235416)																			
TAG	MANUFACTURER	MODEL	HEATING						FAN			OA (CFM)	ELECTRICAL				AREA SERVES	NOTES	
			FUEL	STAGES	INPUT (MBH)	OUTPUT (MBH)	EAT (F)	LAT (F)	AFUE (%)	TOTAL (CFM)	ESP (IN WC)		DRIVE	HP	VOLT	PHASE			DISC BY
F-1	BRYANT	927TA48080V17	NG	2	80	77	65	124	97	1200	0.5	DIRECT	0	1/2	120	1	E.C.	BASEMENT	1,2,3,4,5,6,7,8

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.
- (2) PROVIDE 2" FILTER RACK.
- (3) PROVIDE NEOPRENE ISOLATORS.
- (4) PROVIDE CASED COIL WITH CONDENSATE OVERFLOW SWITCH.
- (5) TRAP AND PIPE PRIMARY CONDENSATE TO NEAREST FLOOR DRAIN.
- (6) INSTALL VENTING WITH TWIN PIPE SYSTEM AS PER MANUFACTURER'S INSTRUCTIONS.
- (7) PROVIDE TOUCHSCREEN PROGRAMMABLE THERMOSTAT/CONTROLLER TO MATCH STAGES/MODULATION OF HEATING AND COOLING.
- (8) EXTERNAL STATIC PRESSURE IS CALCULATED ON DUCTWORK AND REGISTERS ONLY, NOT INCLUDING FILTER AND COOLING COIL.

ROOF HOODS (SPECIFICATION 233700)											
TAG	MANUFACTURER	MODEL	TYPE	THROAT (W x L)	AIRFLOW (CFM)	HOOD (W x L x H)	VELOCITY (FPM)	S.P. (IN WC)	SERVES	WEIGHT (LBS)	NOTES
IH-1	GREENHECK	FGI	INTAKE	12 x 38	1660	32 x 51 x 26	524	0.119	BLDG. FRESH AIR	105	1,2,3

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.  
(2) PROVIDE WITH INSULATED CURB TO MATCH ROOF PITCH.  
(3) PROVIDE WITH 12" THROAT.

REGISTERS/GRILLES/DIFFUSERS (SPECIFICATION 233713)											
TAG	MANUFACTURER	MODEL	MATERIAL	FRAME SIZE	NECK SIZE	MOUNT	NARROW GRID	NOISE CRITERIA	OBD	COLOR	NOTES
S-1	PRICE	510	STEEL	8/8	6/6	SURFACE	N/A	<20	YES	WHITE	1,2
S-2	PRICE	510	STEEL	16/8	14/6	SURFACE	N/A	<20	YES	WHITE	1,2
R-1	PRICE	530	STEEL	38/20	36/18	SURFACE	N/A	<20	NO	WHITE	1,2

- (1) MODEL NUMBERS ARE PROVIDED FOR GENERAL REFERENCE; ALL PERFORMANCE PARAMETERS IN SCHEDULE SHALL TAKE PRECEDENCE OVER MODEL NUMBER REFERENCE.  
(2) INCLUDES SCREW HOLES.

**JPK**  
ENGINEERING,LLC  
1325 23rd St. S., Ste E  
Fargo, ND 58103  
(701) 532-1788

REMODEL FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

SHEET TITLE:

## HVAC SCHEDULES

NOT FOR CONSTRUCTION

DATE: 5-29-25

JOB NO.: 243

DRAWN BY: JPK

APPROVED BY:

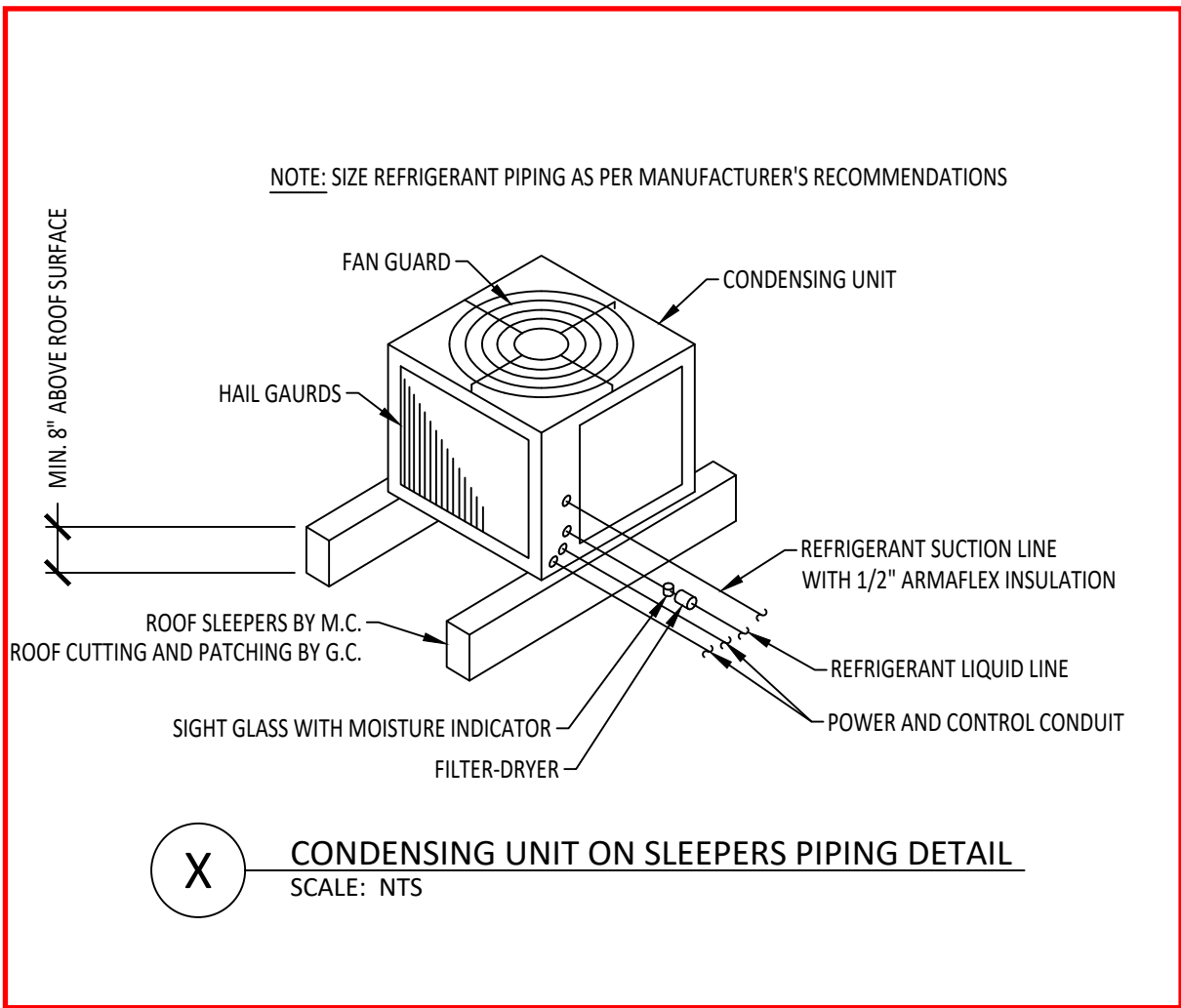
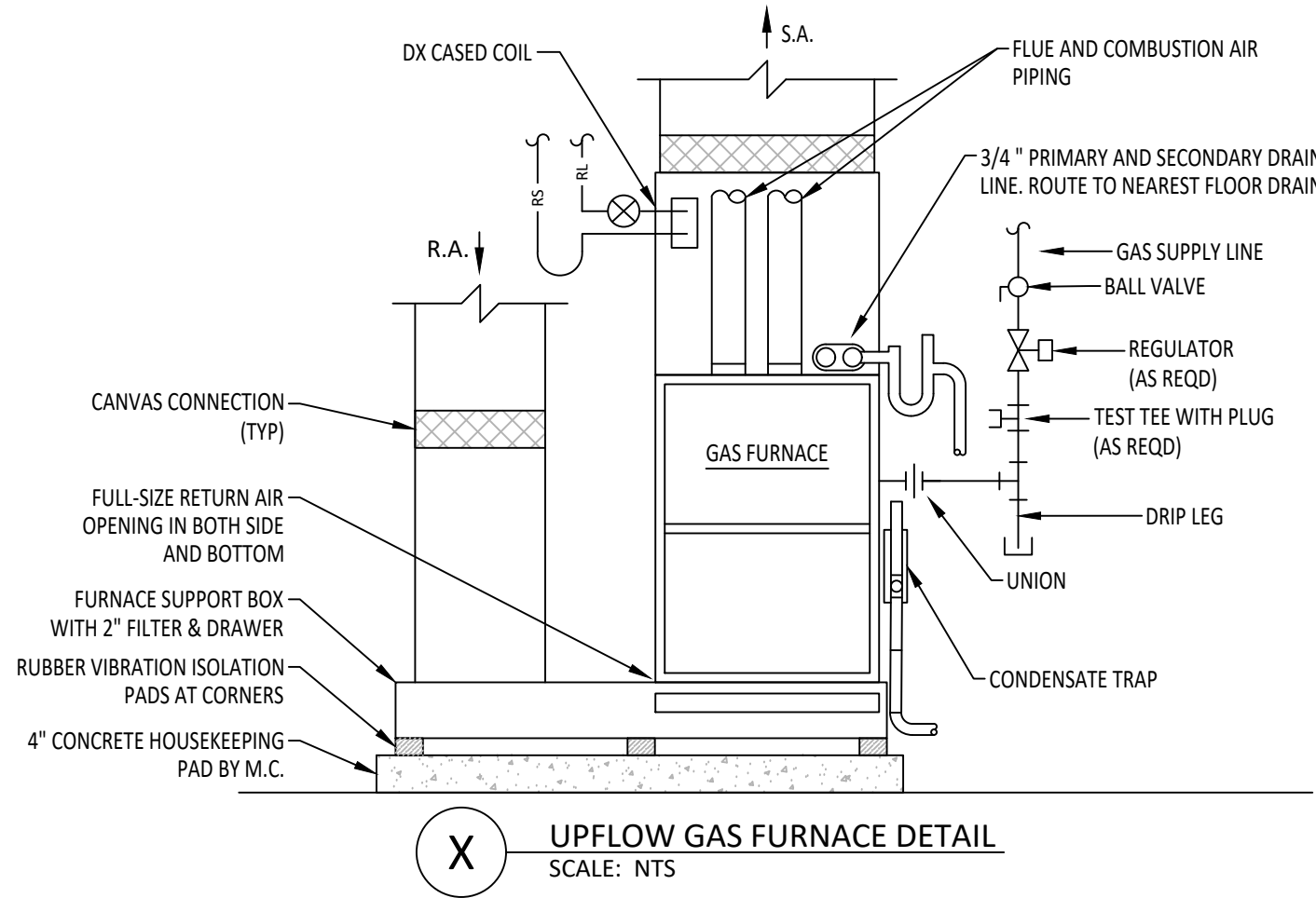
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OUTDOOR AIR VENTILATION SCHEDULE												
ROOM	ROOM COUNT	AREA (SQ FT)	OCCUP. DENSITY (/1000 FT2)	OCCUP. RATE (CFM/PER)	AREA RATE (CFM/SQ FT)	AREA VENT. (CFM)	OCCUP. (# PEOPLE)	OCCUP. VENT. (CFM)	TOTAL REQ. VENT. (CFM)	TOTAL EFFECT. (CFM)	TOTAL VENT. (CFM)	EXH. (CFM)
BASEMENT												
001 - BASEMENT	1	1925	0	0.00	0.12	231	0	0	231	289	290	290
BASEMENT TOTALS		1925							231	289	290	290
FIRST FLOOR												
100 - COMMERCIAL	1	735	20	7.5	0.12	88	5	38	126	157	160	0
101 - UNIT 1	1	528	0	15.0	0.00	0	2	30	30	38	40	75
102 - UNIT 2	1	360	0	15.0	0.00	0	2	30	30	38	40	75
PUBLIC RESTROOM	1	64	0	0.0	0.00	0	0	0	0	0	0	100
STAIRWAY	1	105	0	0.0	0.06	6	0	0	6	8	10	0
FIRST FLOOR TOTALS		1792							192	240	250	250
SECOND FLOOR												
201 - UNIT 3	1	528	0	15.0	0.00	0	2	30	30	38	40	75
202 - UNIT 4	1	377	0	15.0	0.00	0	2	30	30	38	40	75
203 - UNIT 5	1	520	0	15.0	0.00	0	2	30	30	38	40	75
204 - UNIT 6	1	400	0	15.0	0.00	0	2	30	30	38	40	75
200 - STAIR	1	200	0	0.0	0.06	12	0	0	12	15	15	0
SECOND FLOOR TOTALS		1497							132	165	175	300
NOTES:												

MINNESOTA DWELLING UNIT VENTILATION CALCULATIONS												
ROOM DESCRIPTION	ROOM AREA (FT2)	NO. BEDROOMS	NO. BATHROOMS	TVR (CFM)	CVR (CFM)	1-HOUR VENTILATION RATE (CFH)	BATHROOM EXHAUST (CFM)	TOTAL BATHROOM EXHAUST (CFM)	MINUTES PER HOUR EXHAUST FAN MUST RUN	1-HOUR BATHROOM EXHAUST RATE (CFH)	% BALANCE PER HOUR	NOTES
101 - Unit 1 (1-Bed / 1-Bath)	528	1	1	26.56	40	2400	75	75	30	2250	6%	1,2,3,4,5,6,7,8,9
102 - Unit 2 (1-Bed / 1-Bath)	360	1	1	23.2	40	2400	75	75	30	2250	6%	1,2,3,4,5,6,7,8,9
201 - Unit 3 (1-Bed / 1-Bath)	528	1	1	26.56	40	2400	75	75	30	2250	6%	1,2,3,4,5,6,7,8,9
202 - Unit 4 (1-Bed / 1-Bath)	377	1	1	23.54	40	2400	75	75	30	2250	6%	1,2,3,4,5,6,7,8,9
203 - Unit 5 (1-Bed / 1-Bath)	520	1	1	26.4	40	2400	75	75	30	2250	6%	1,2,3,4,5,6,7,8,9
204 - Unit 6 (1-Bed / 1-Bath)	400	1	1	24	40	2400	75	75	30	2250	6%	1,2,3,4,5,6,7,8,9

- 1) TVR = Total Ventilation Rate  
2) CVR= Continuous Ventilation Rate  
3) TVR (cfm) = (0.02 x ft2 of conditioned space) + (15 x (# of bedrooms + 1))  
4) CVR (cfm) = TVR / 2  
5) 1 Hour Vent Rate (cfh) = CVR x 60  
6) 1 Hour Exhaust Rate (cfh) = Total Bathroom Exhaust x 60  
7) Calculated Bathroom Exhaust Run Time = 1 Hour Ventilation Rate / 1 Hour Exhaust Rate  
8) % Balance per Hour = 1 - (1 Hour Exhaust Rate x Commanded Bathroom Exhaust Run Time) / 1 Hour Ventilation Rate  
9) Bathroom exhaust fans shall be controlled by a manually operated 60 minute digital timer. Manual time shall be located in each individual bathroom space to control the exhaust fan in that space.



JPK

ENGINEERING, LLC

1325 23rd St. S., Ste E  
Fargo, ND 58103  
(701) 532-1788

FOUNDATIONS

ARCHITECTURE

GREGORY P. STROM, ARCHITECT  
2150 CULAS ROAD  
DULUTH, MN 55804  
PH.: 218 525-4326  
CELL: 218 391-7334  
gps-foundations@gmail.com

BOECKER

Drafting and Design

TRAVIS J. BOECKER (TJB)  
TJB@BOECKERDRAFTING.COM

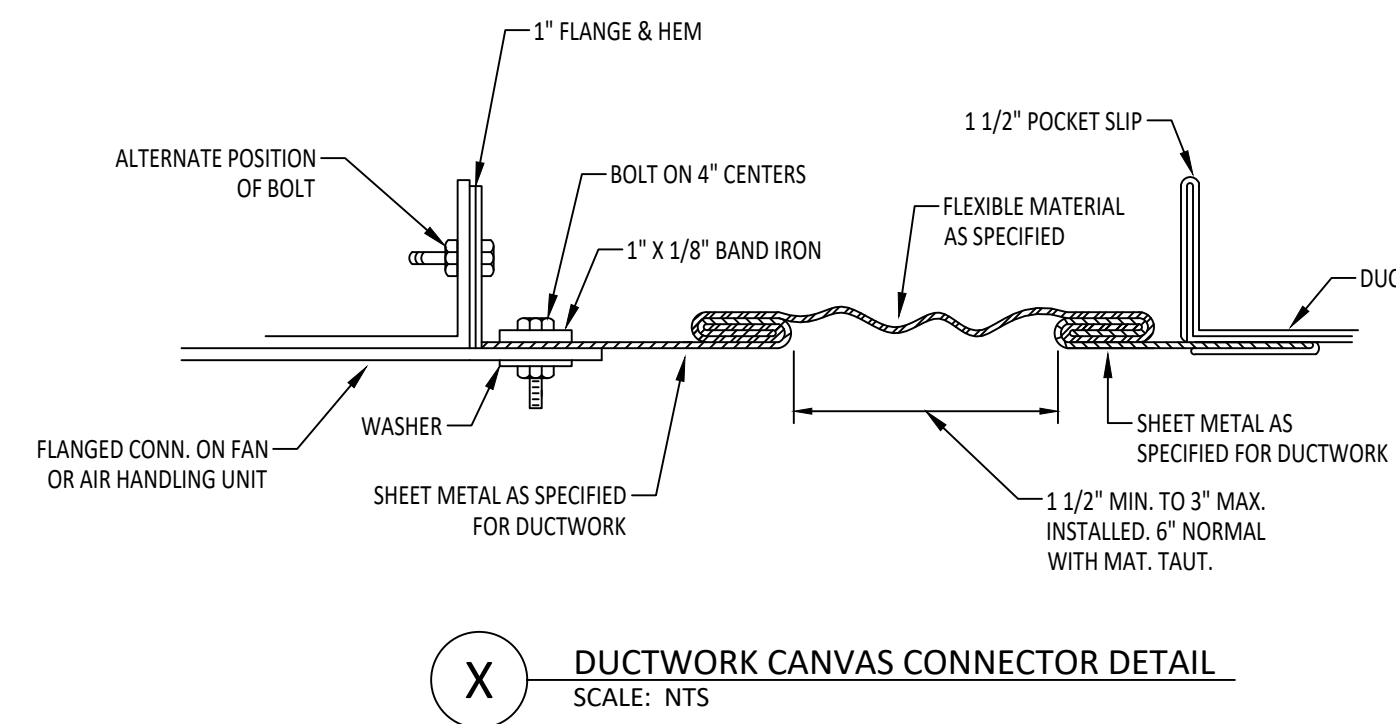
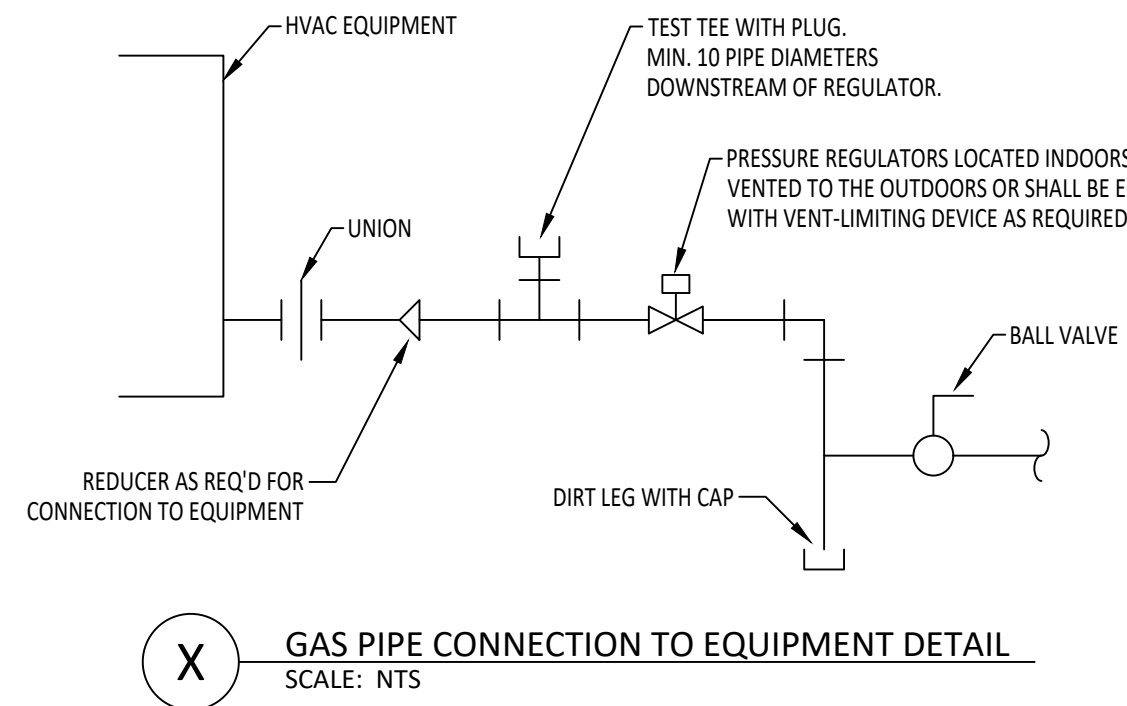
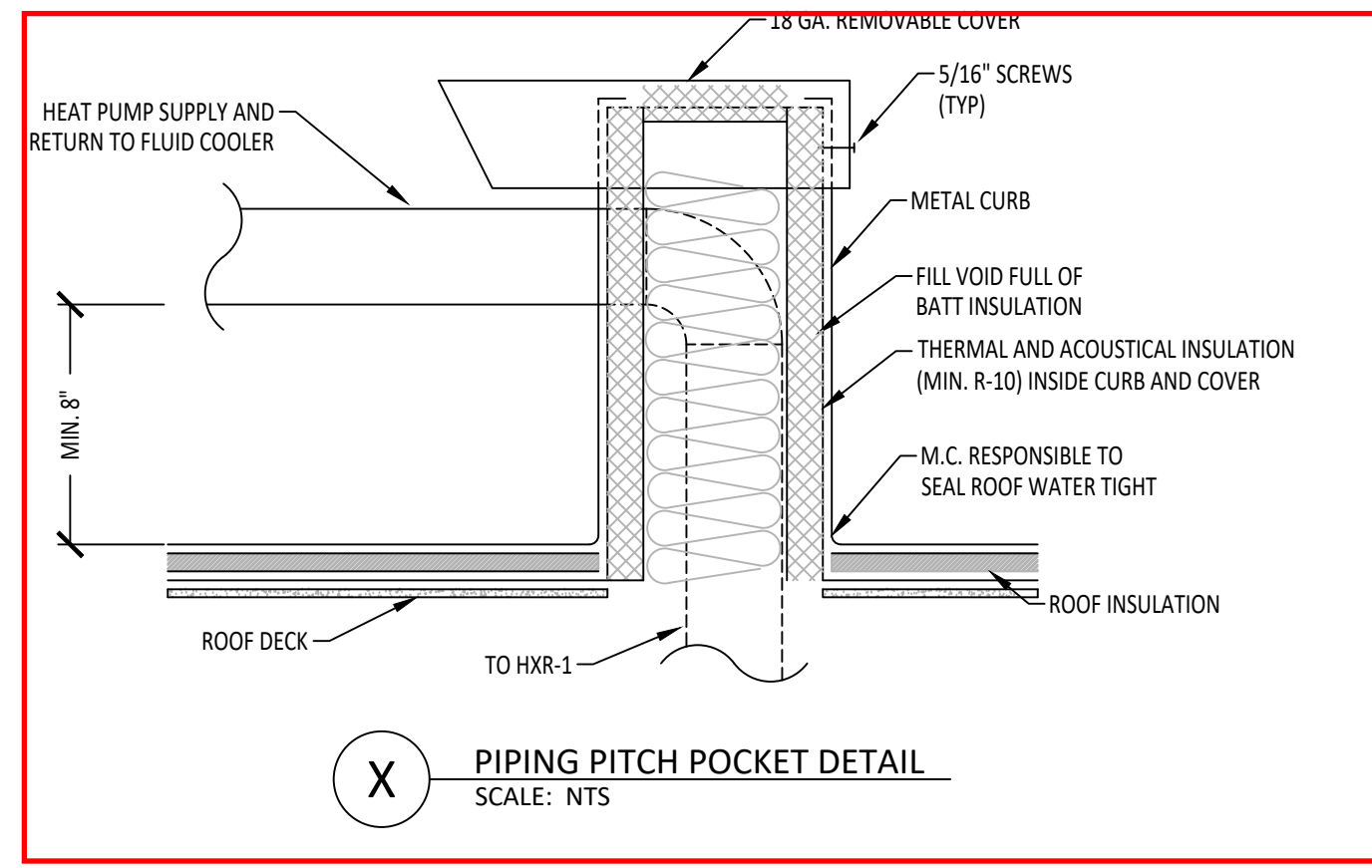
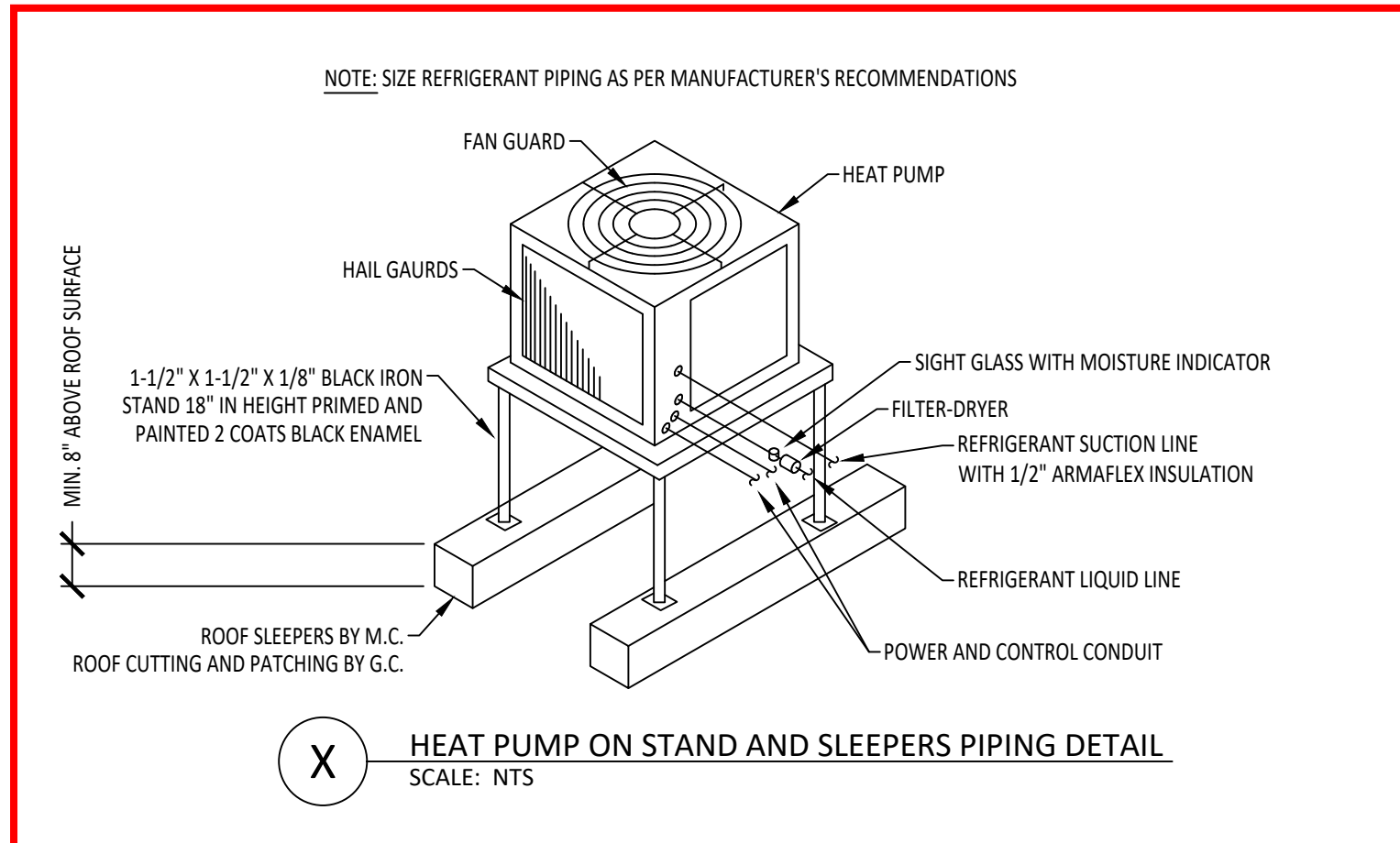
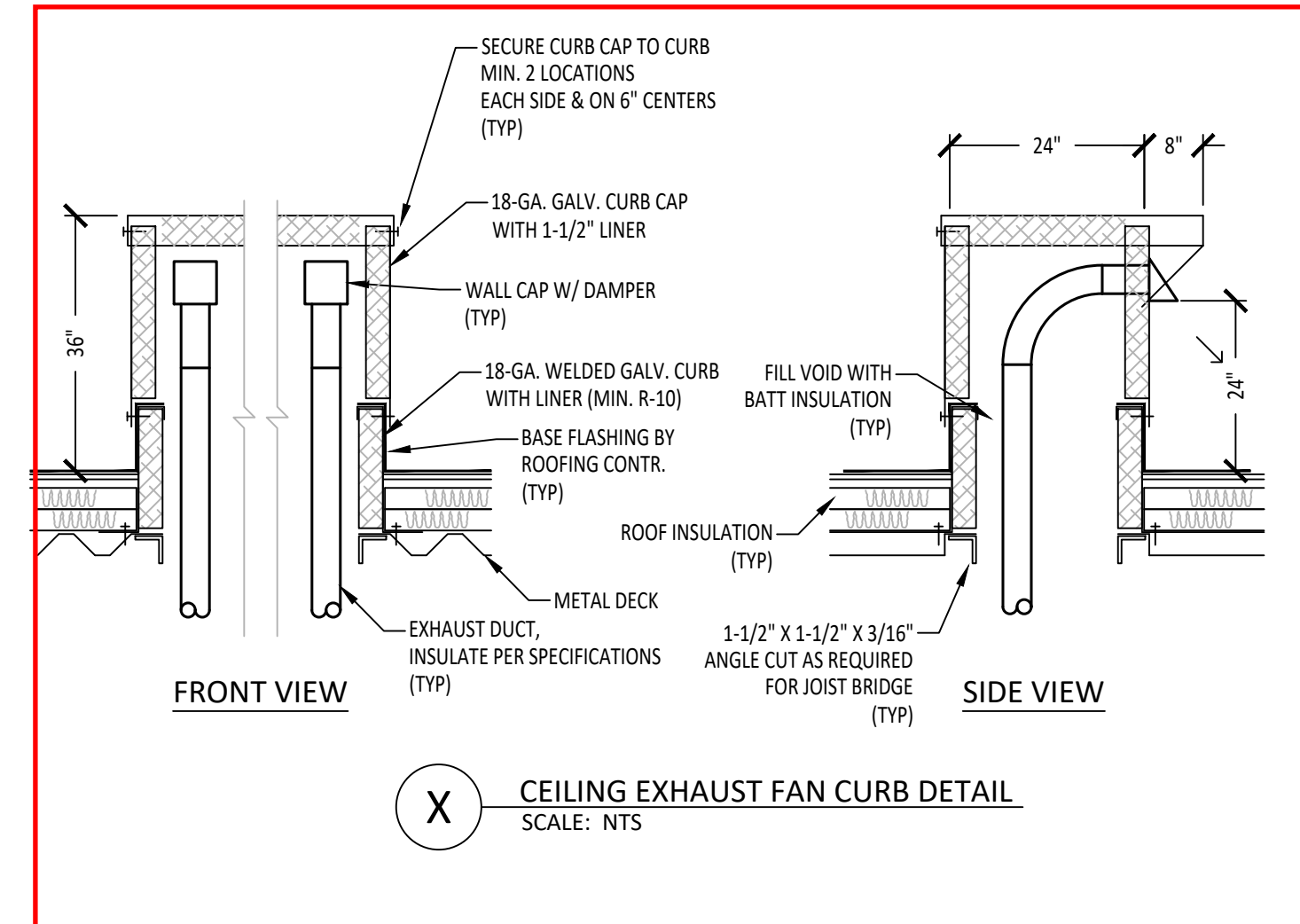
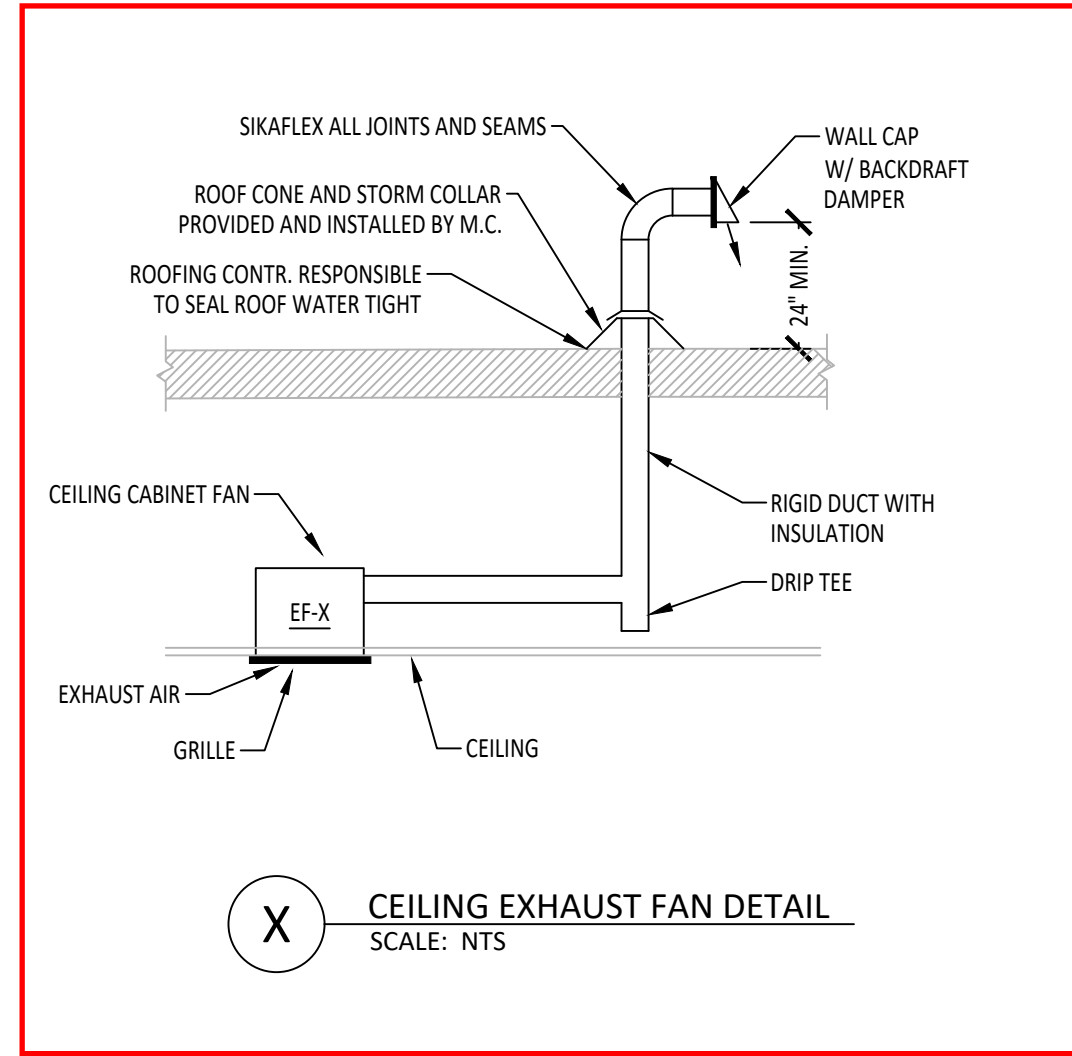
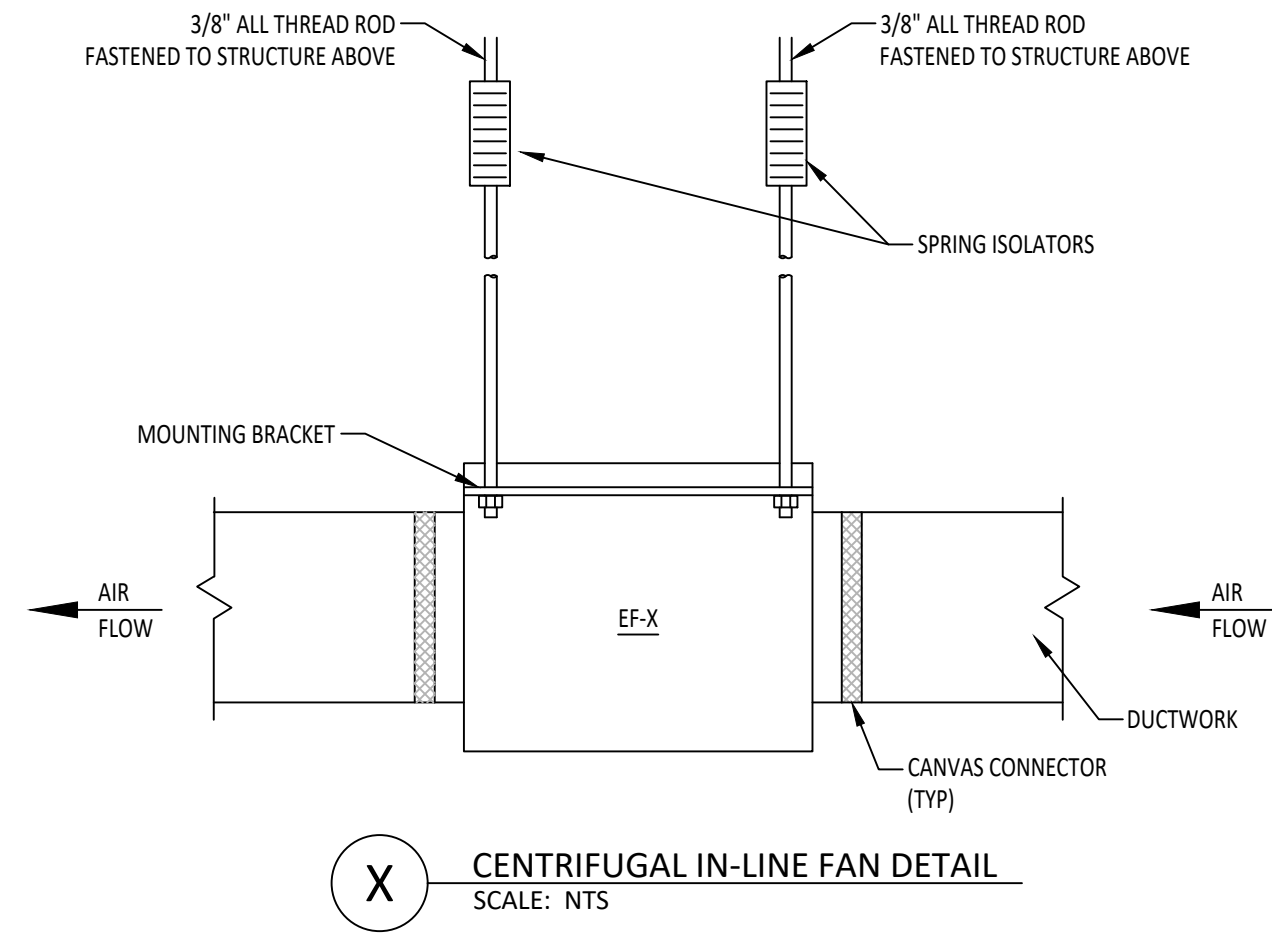
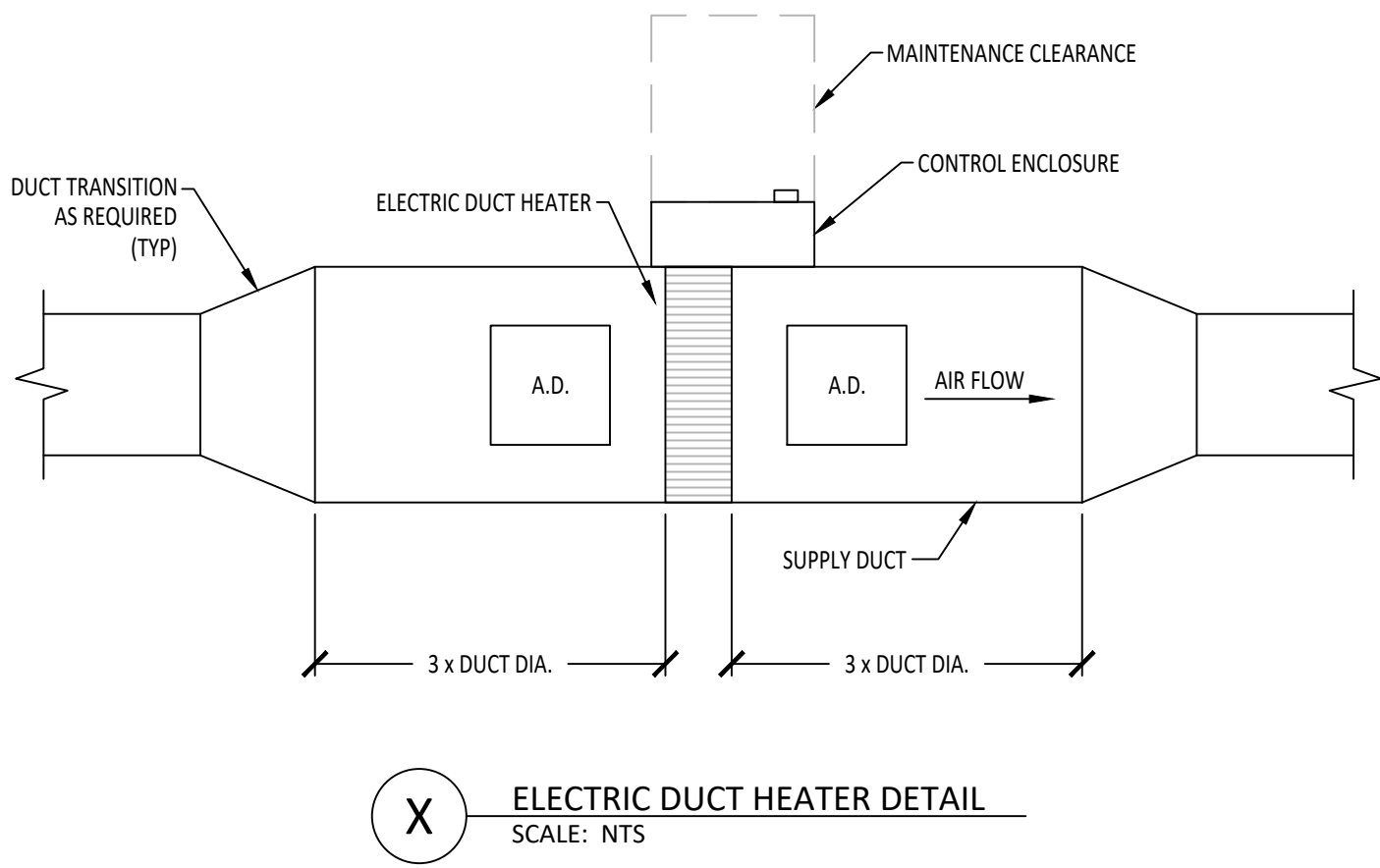
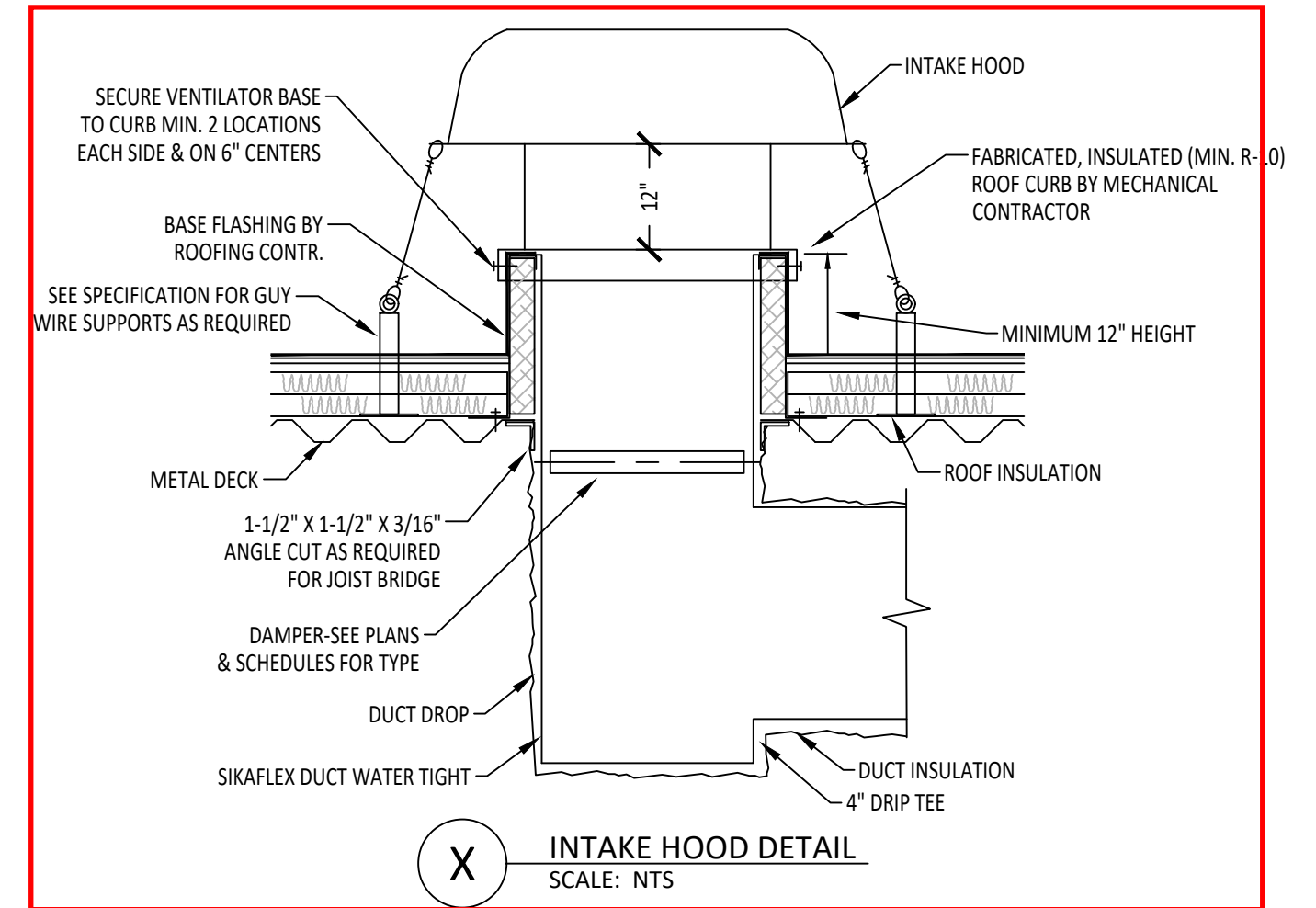
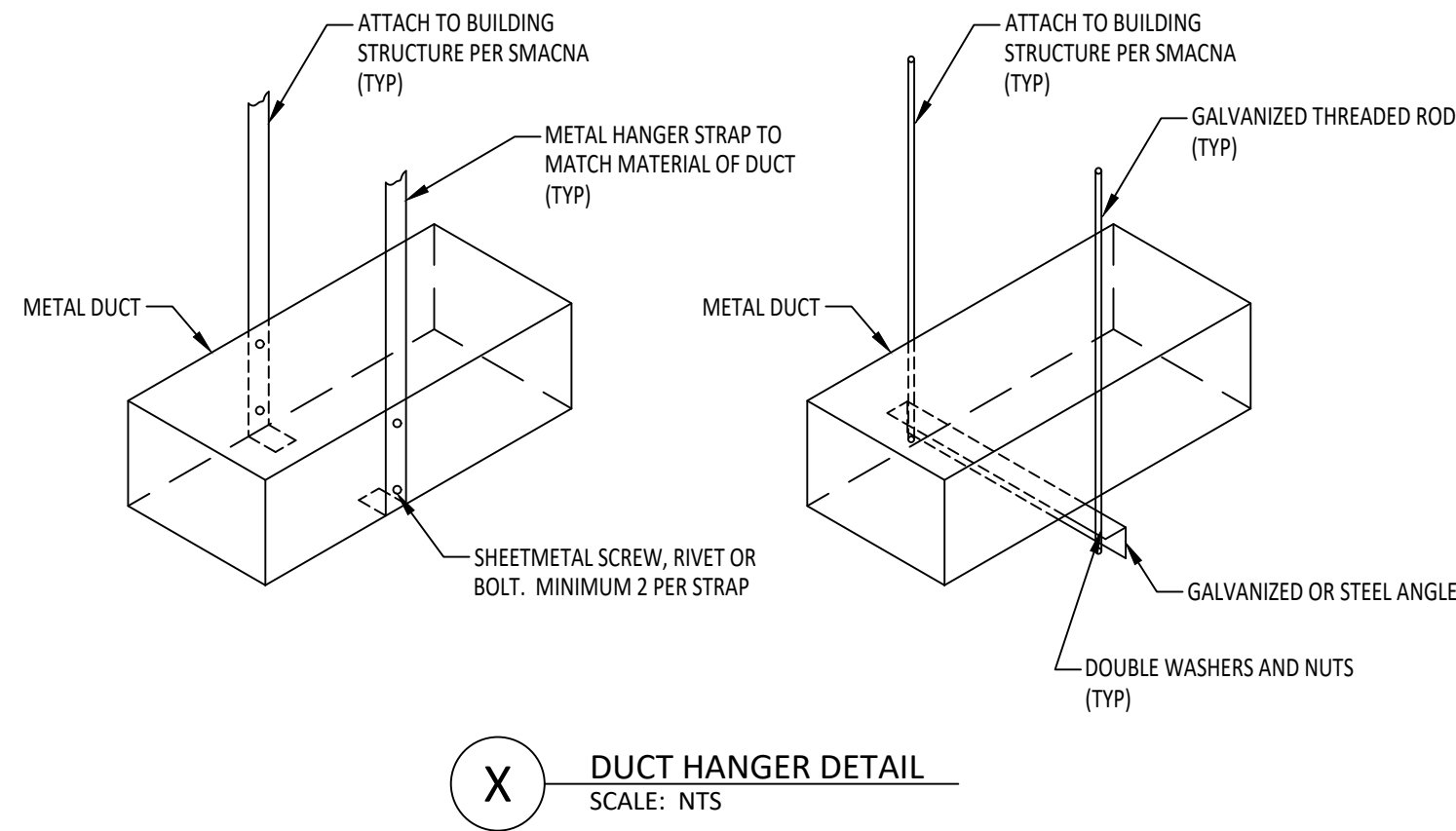
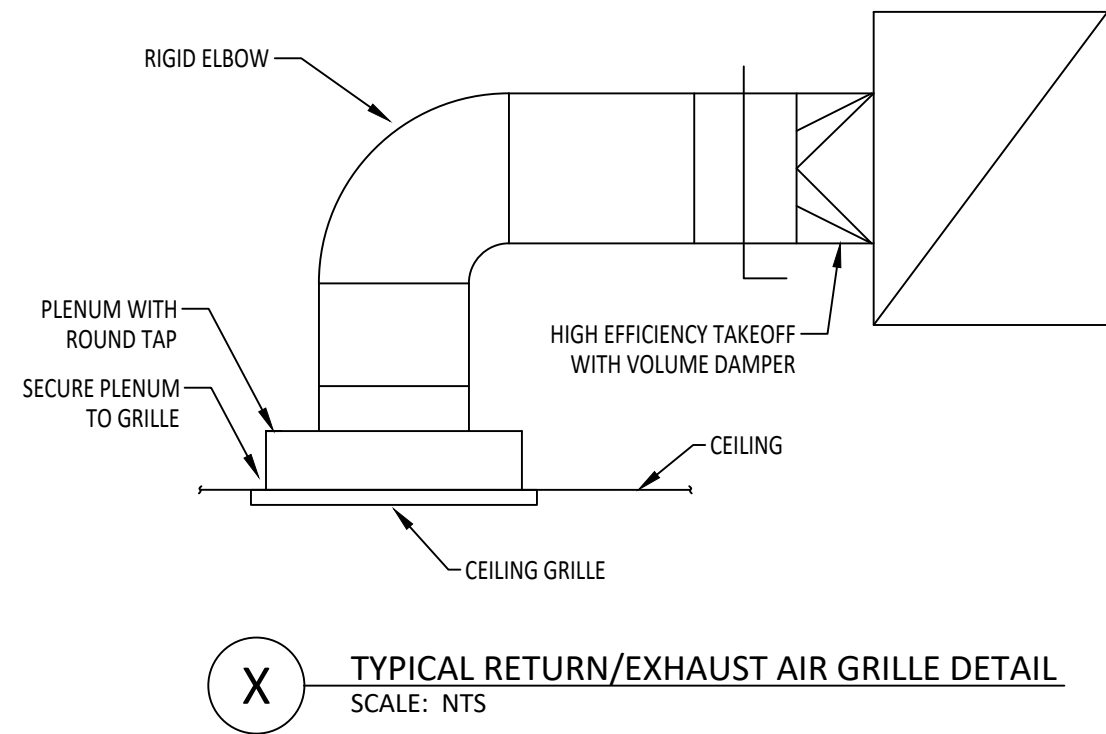
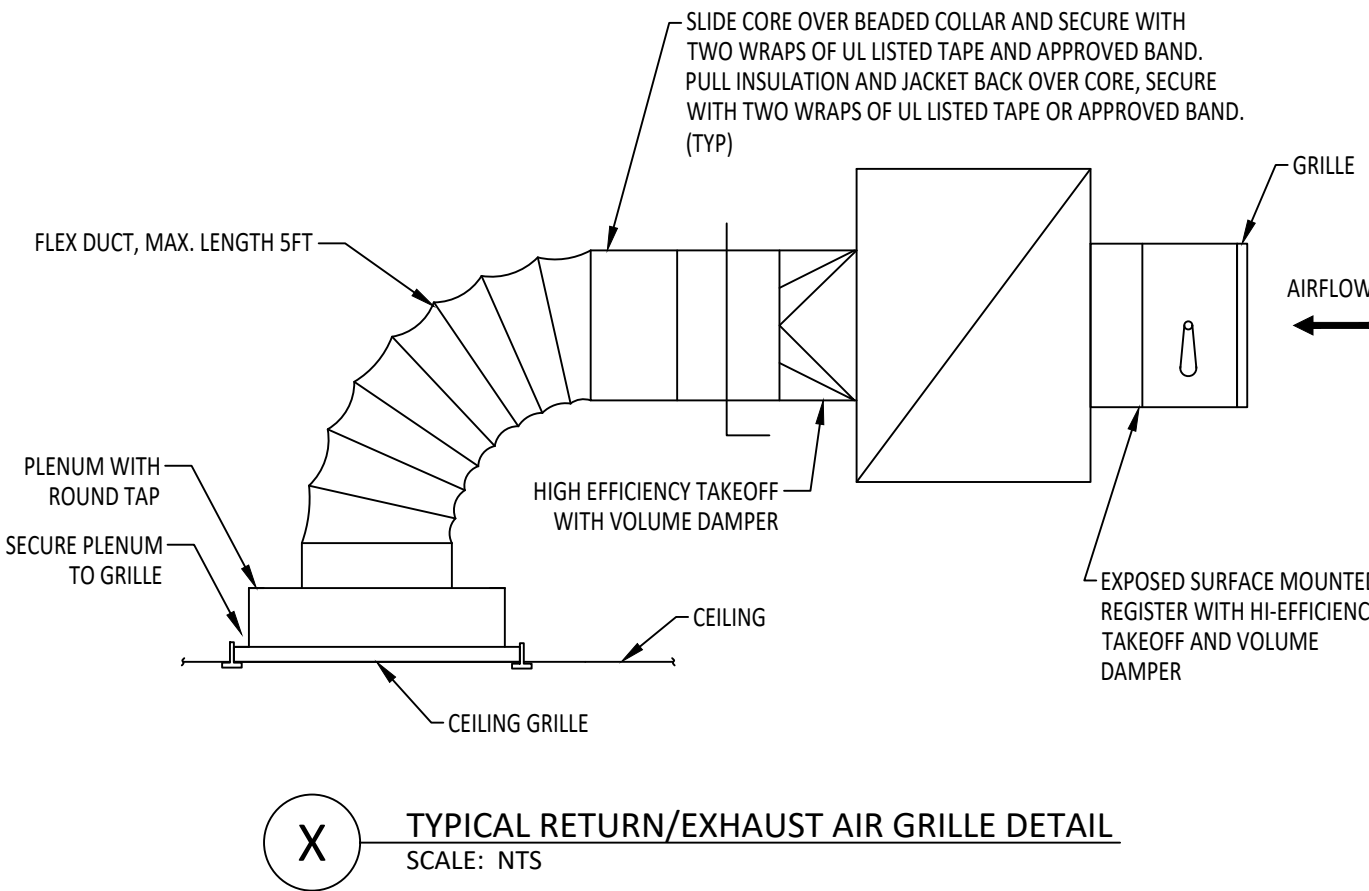
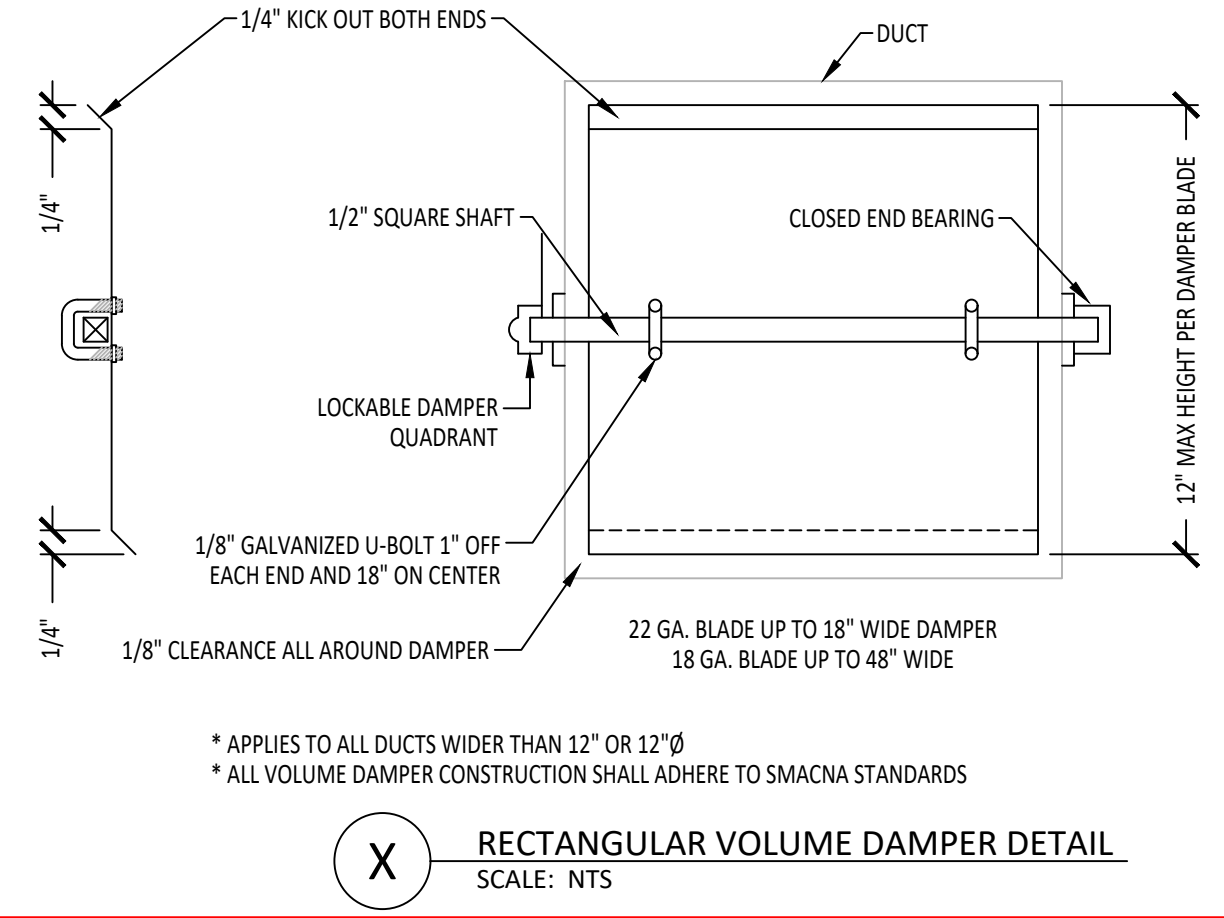
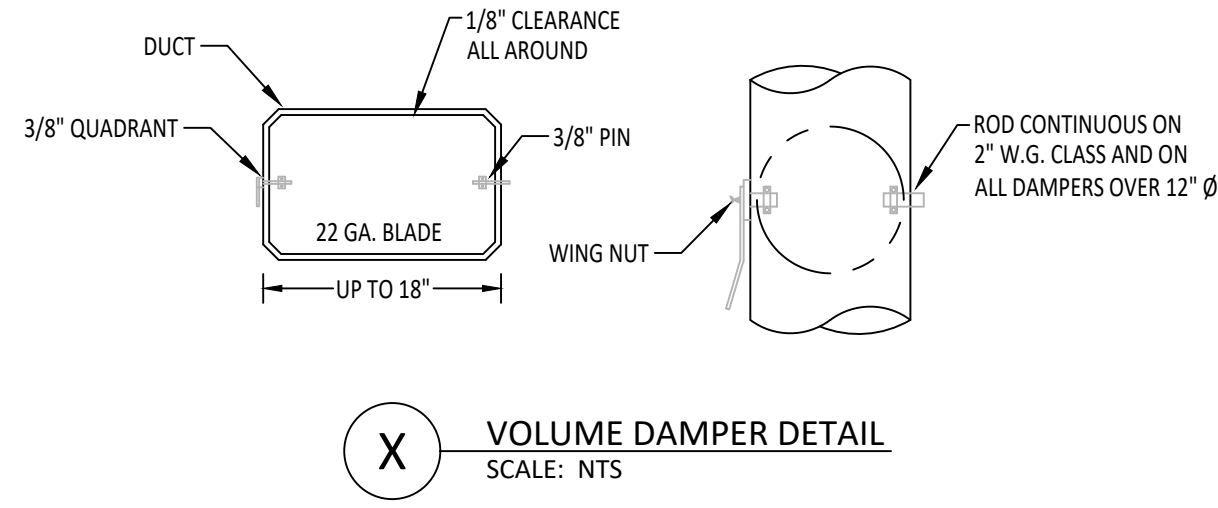
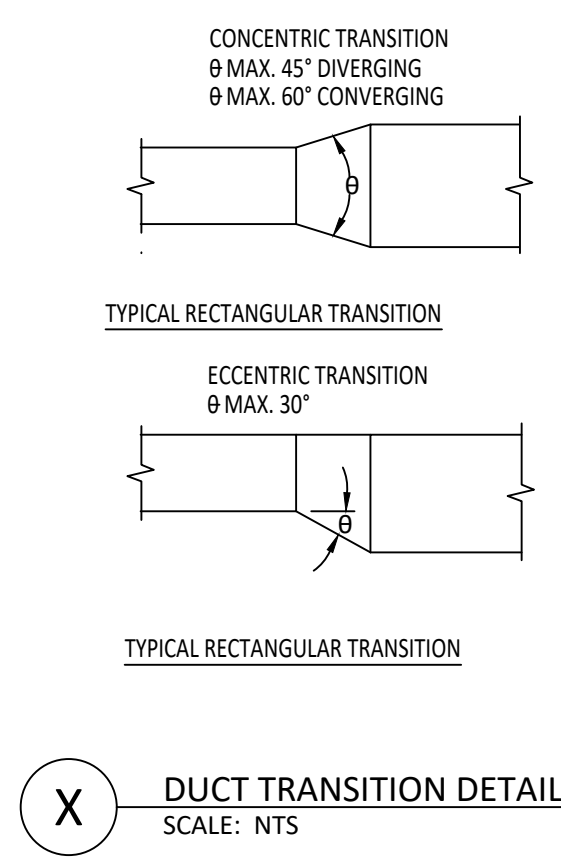
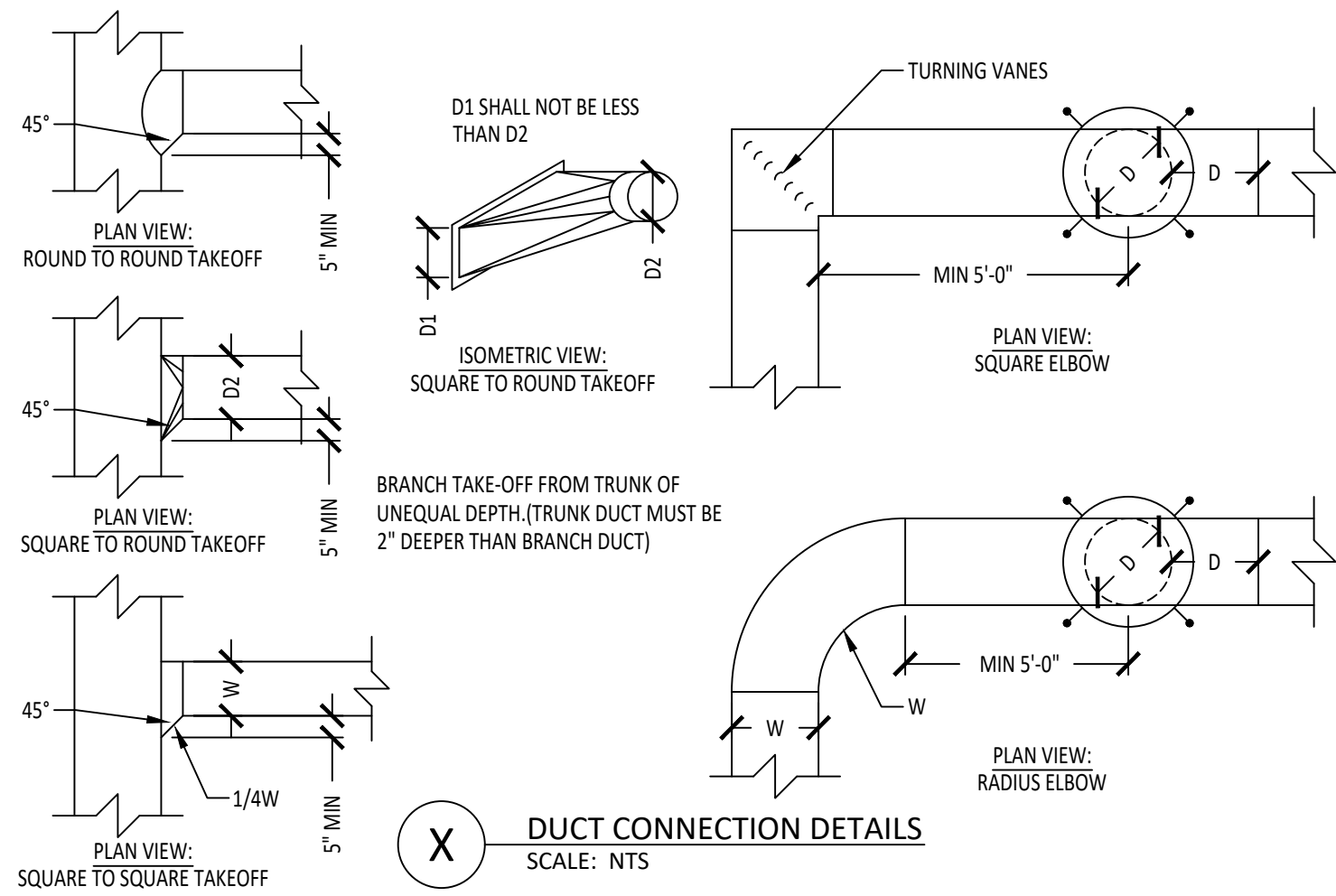
REMODEL FOR:  
F. BELANGER BLOCK BUILDING  
2403 W 6TH ST  
DULUTH, MN 55806

SHEET TITLE:  
HVAC SCHEDULES &  
DETAILS

NOT FOR CONSTRUCTION

DATE: 5-29-25  
JOB NO.: 2437  
DRAWN BY: JPK  
APPROVED BY: JPK

M401



FOUNDATIONS

ARCHITECTURE

GREGORY P. STROM, ARCHITECT

2150 CULAS ROAD  
DULUTH, MN 55804

PH: 218 525-4326  
CELL: 218 391-7334  
gps-foundations@gmail.com

BOECKER

Drafting and Design

TYRAVE, J. BOECKER (T.B.)  
TYRABO@BOECKERDRAFTING.COM

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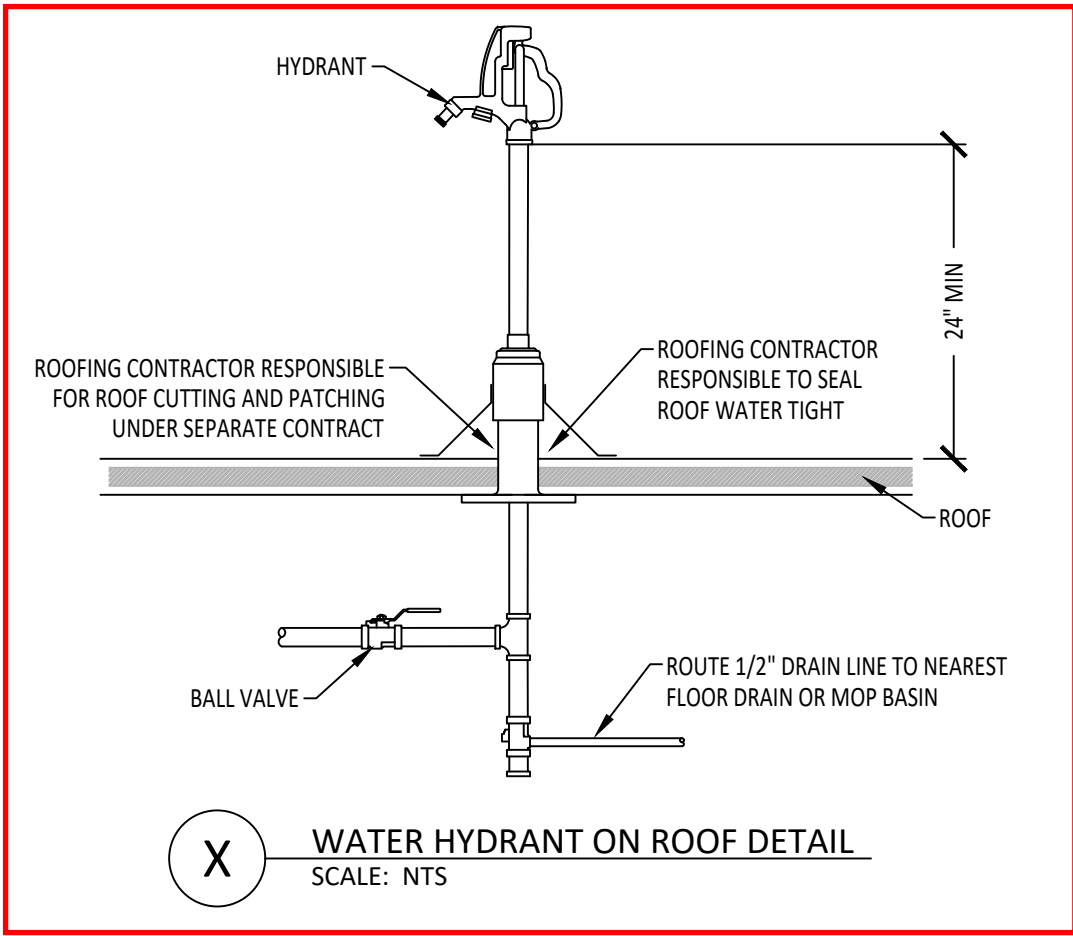
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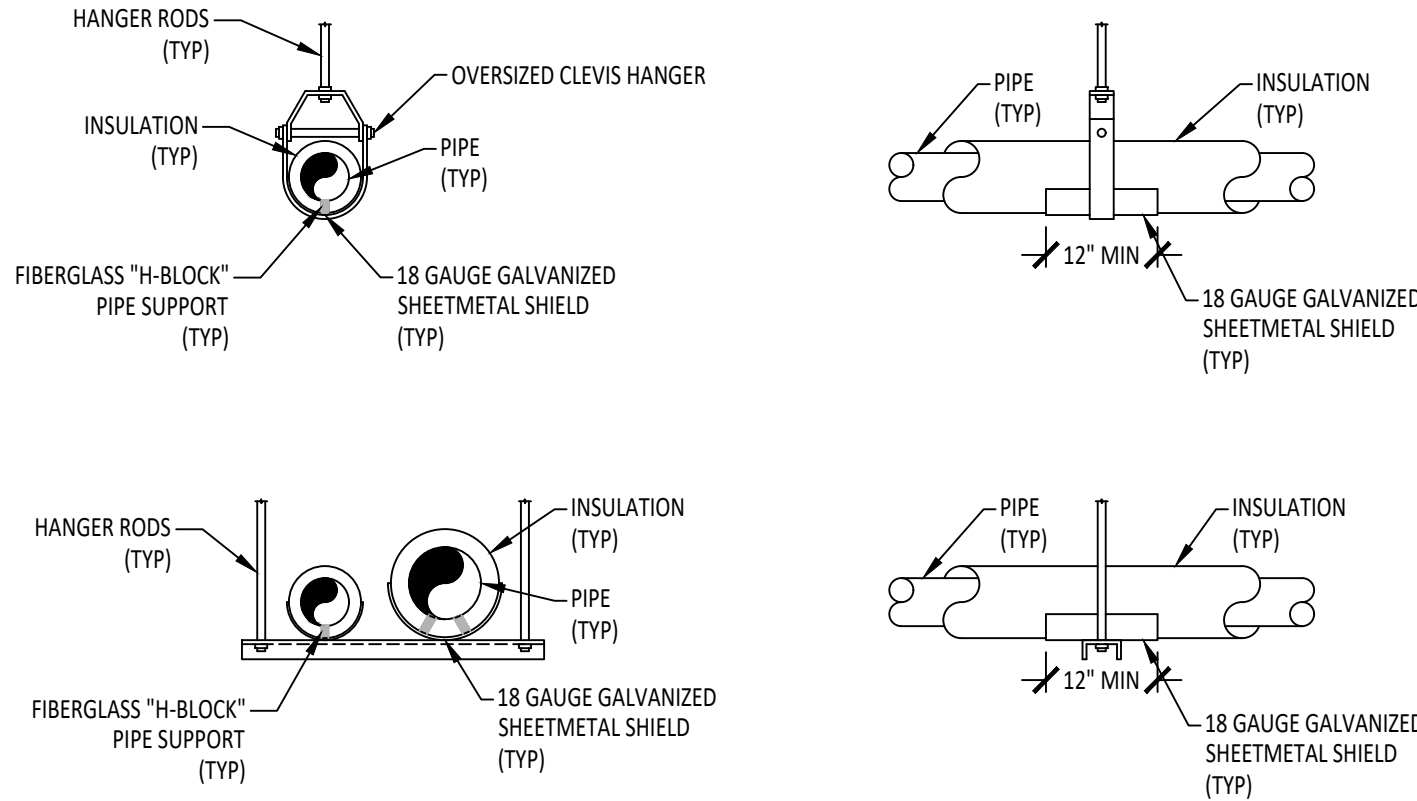
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(701) 532-1788

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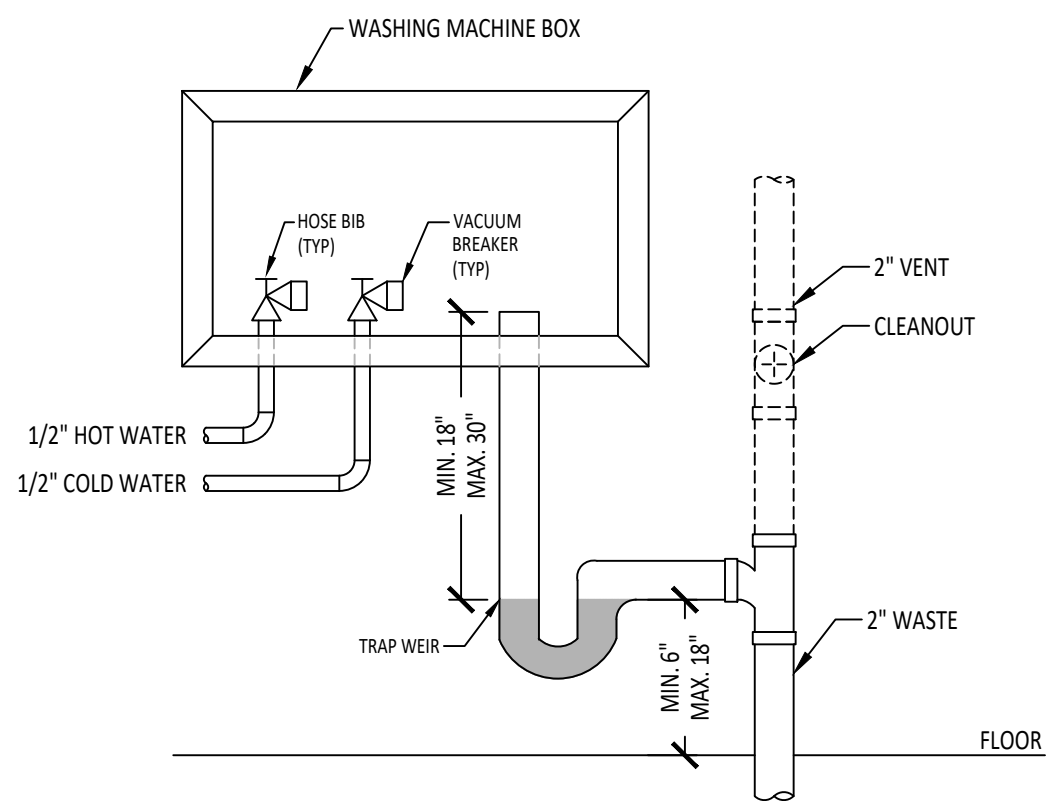




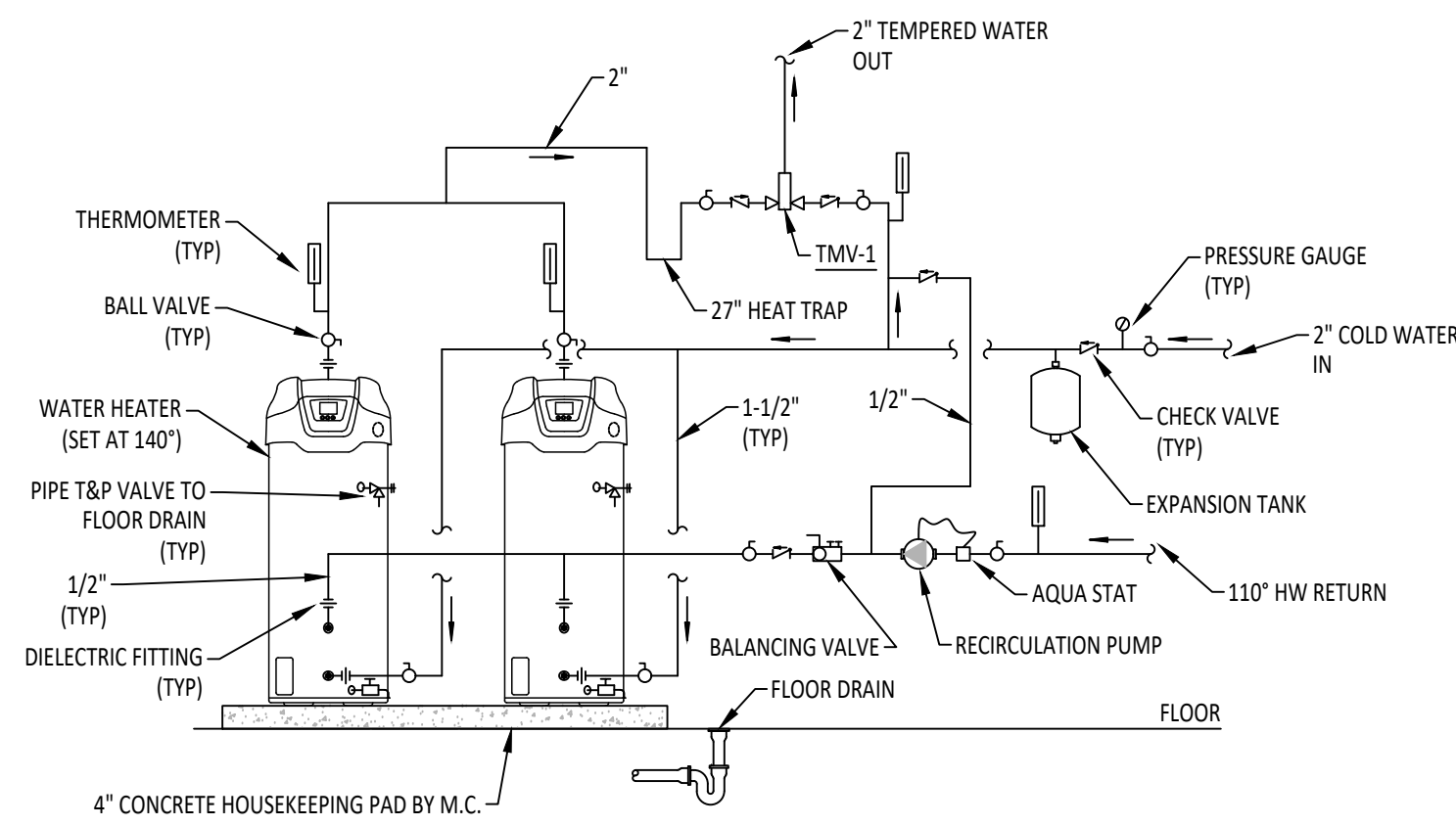
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SCALE: NTS



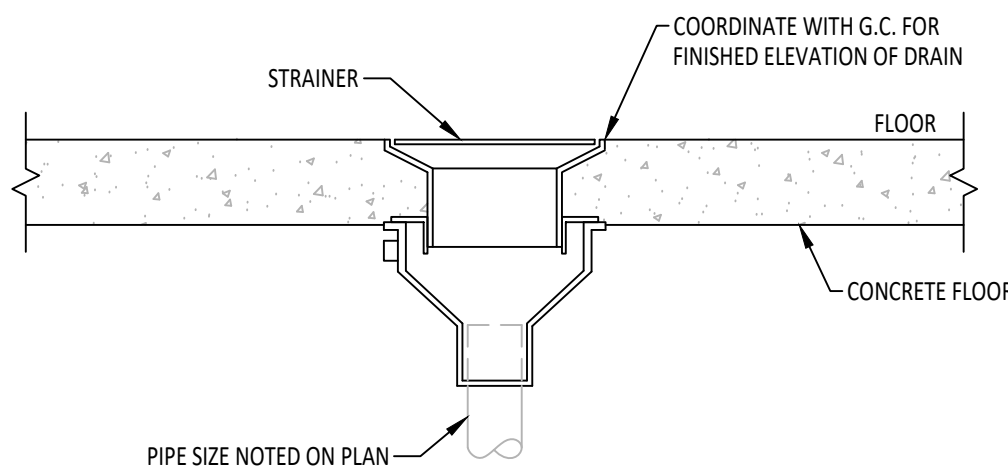
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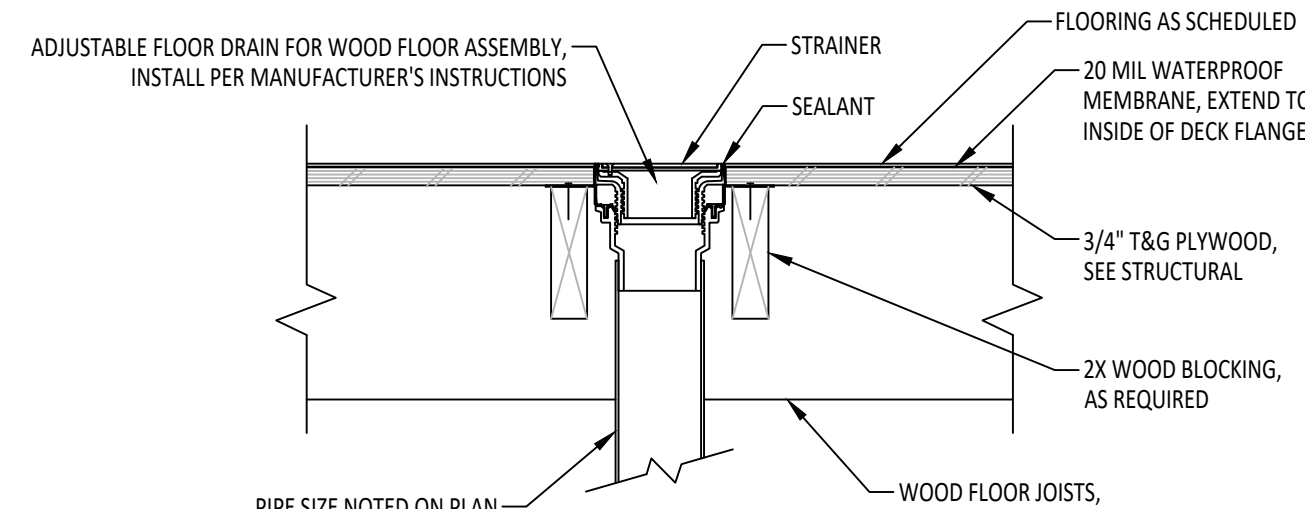
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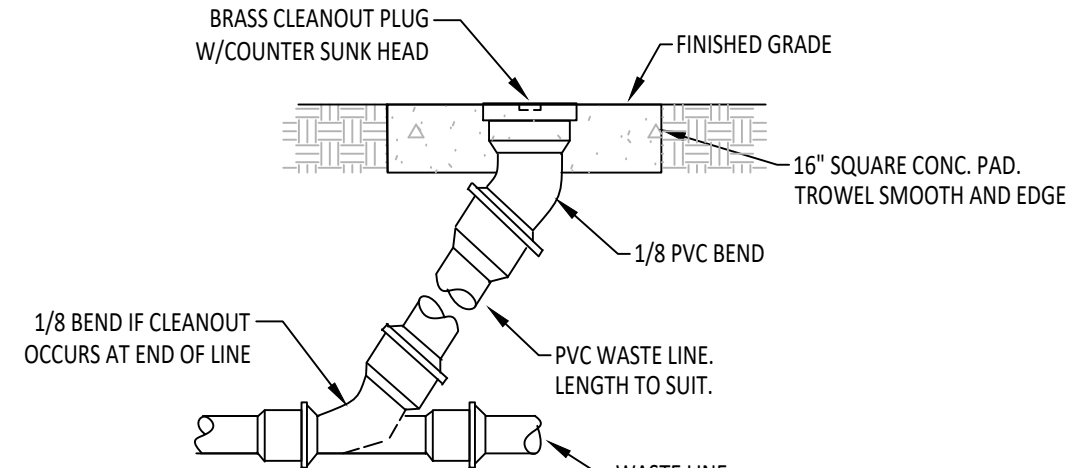
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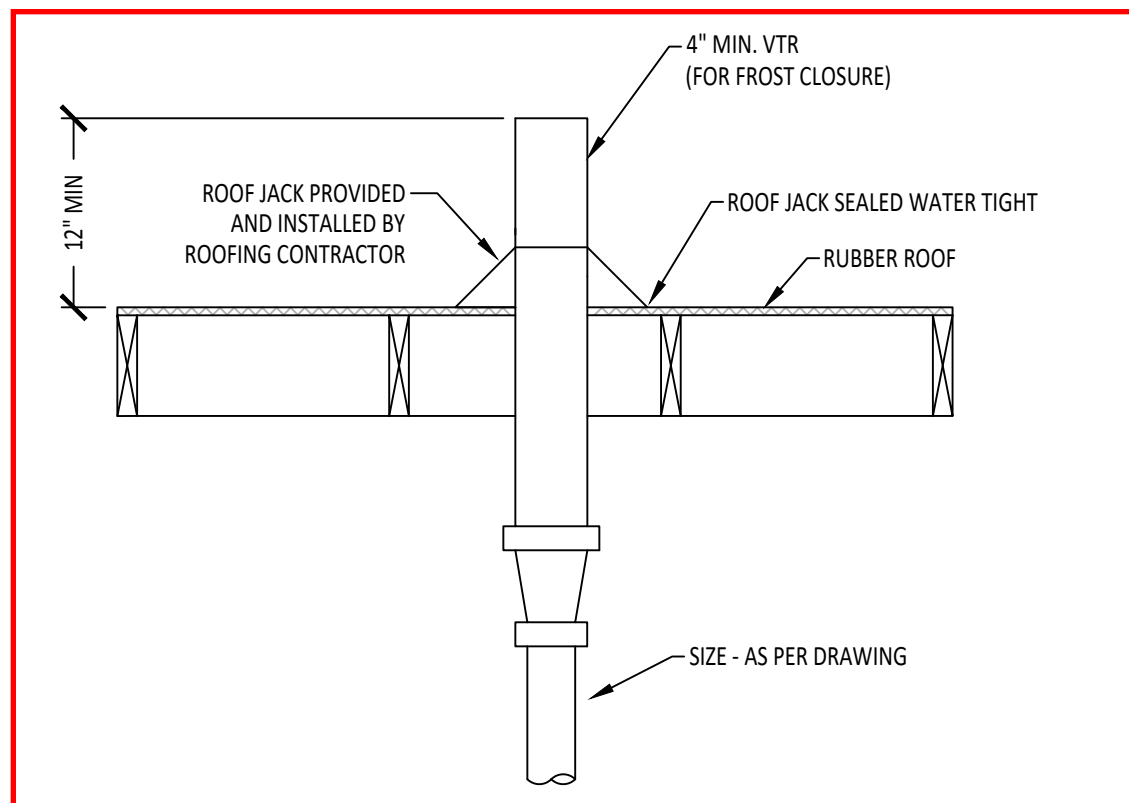
X FLOOR DRAIN DETAIL  
SCALE: NTS



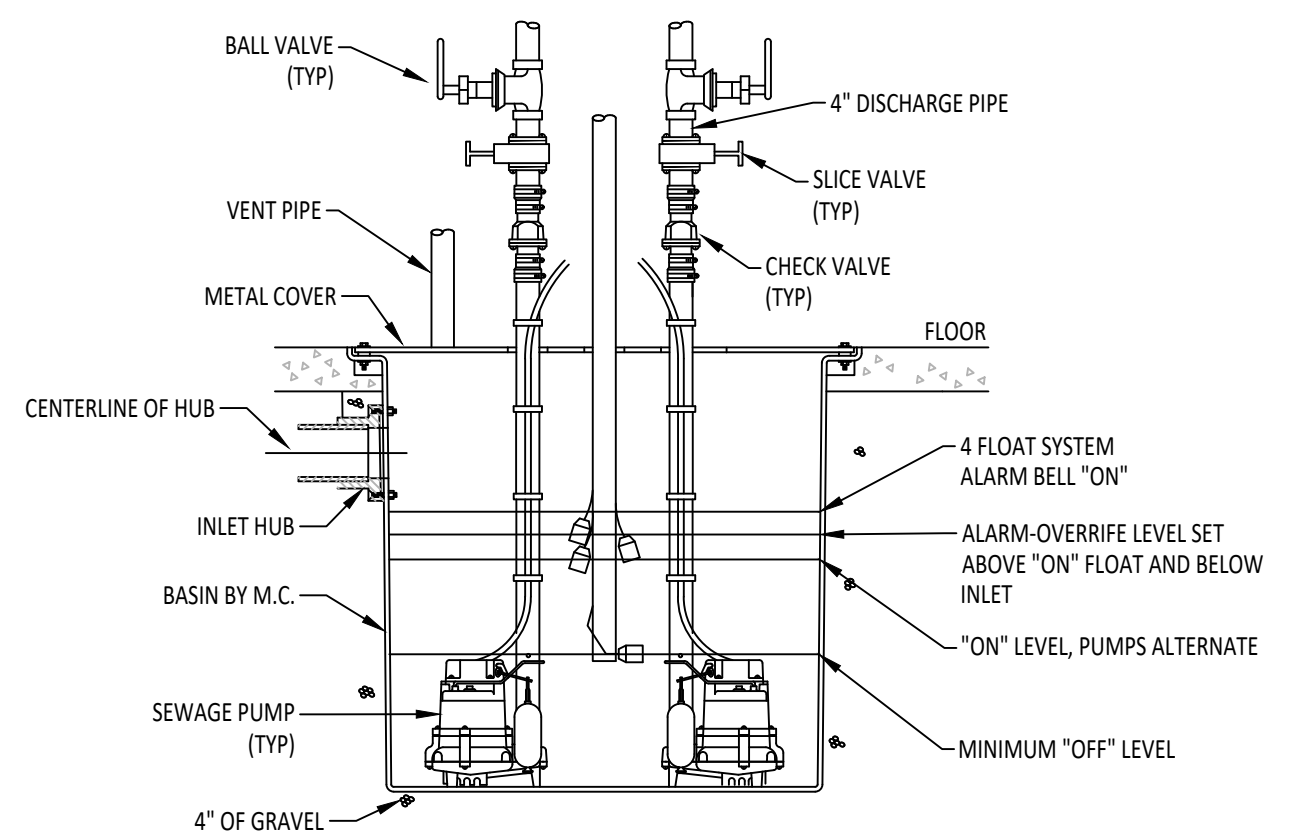
X FLOOR DRAIN FOR WOOD CONSTRUCTION DETAIL  
SCALE: NTS



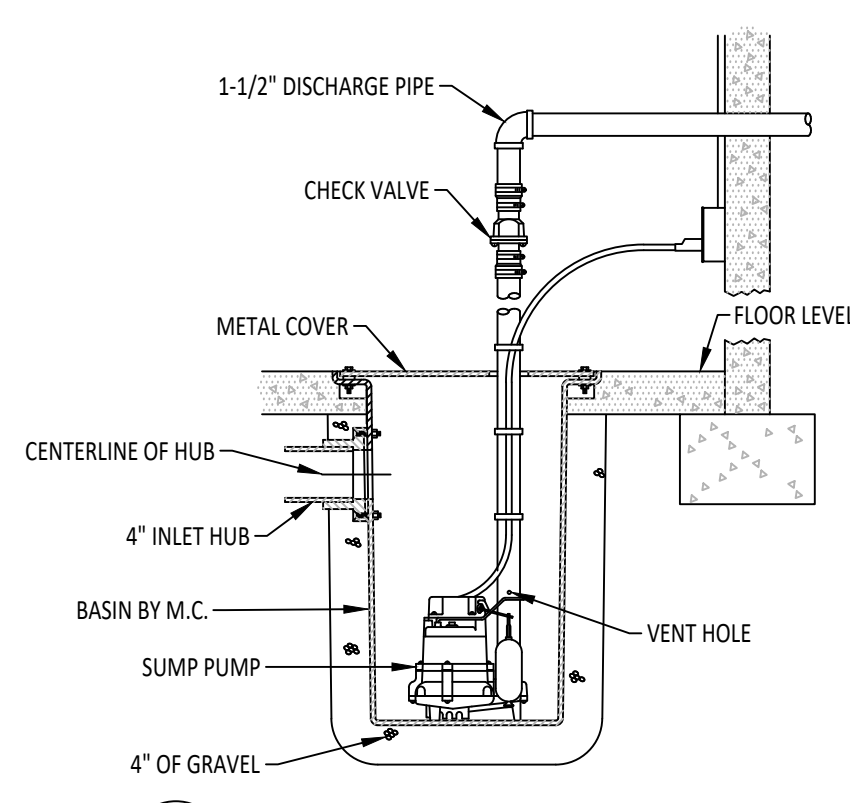
X YARD CLEANOUT DETAIL  
SCALE: NTS



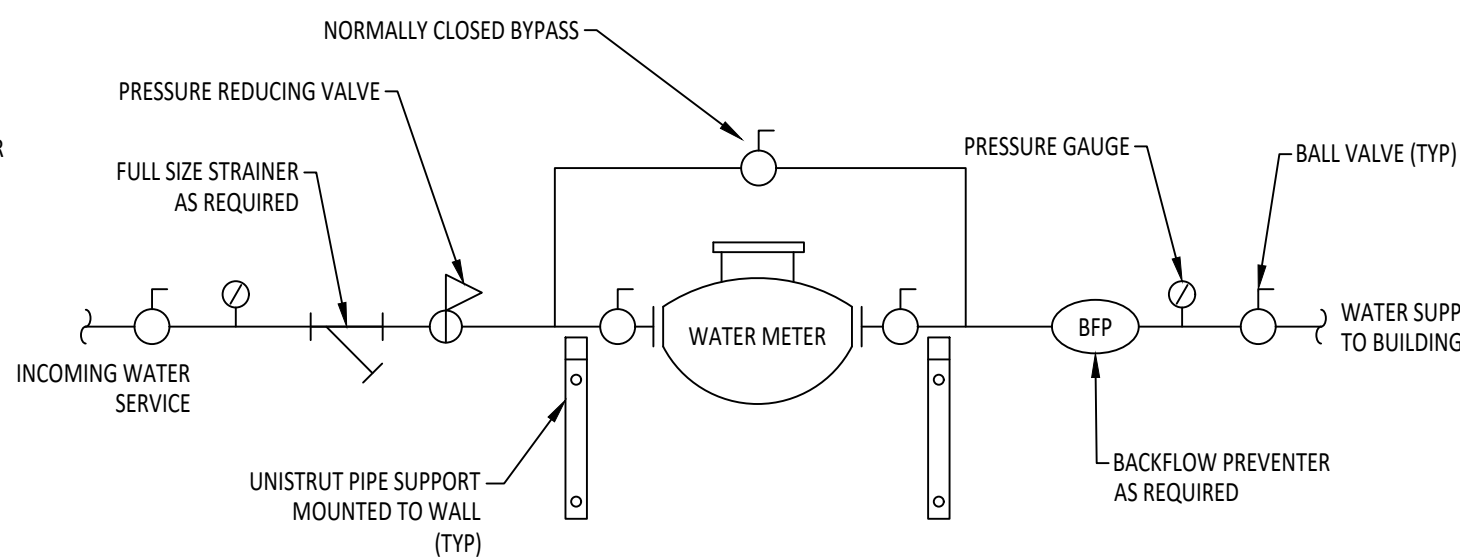
X PLUMBING VENT TERMINATION DETAIL  
SCALE: NTS



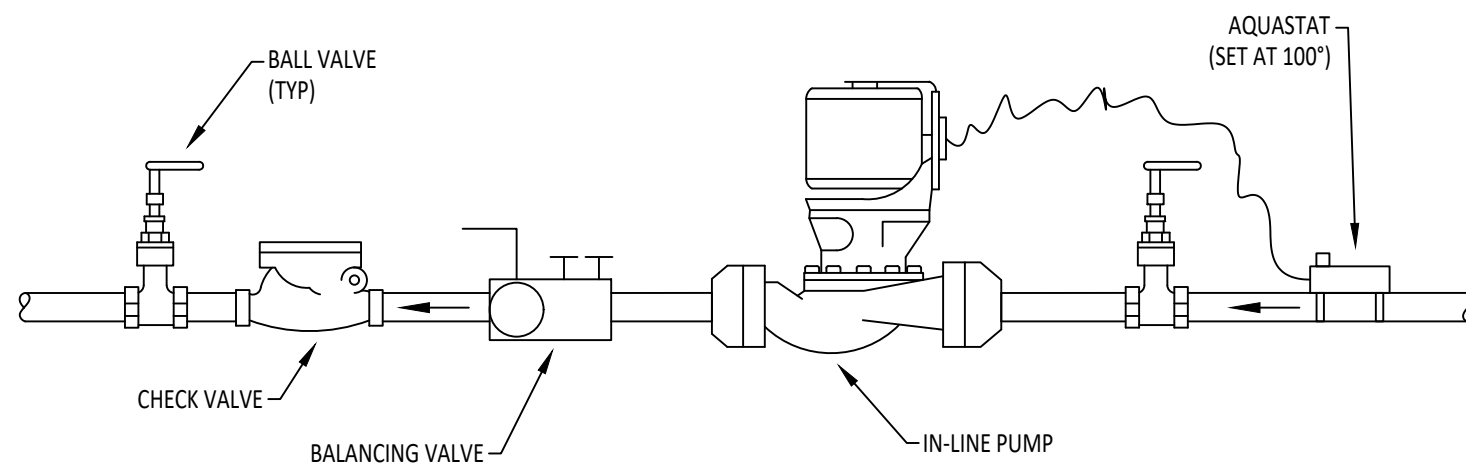
X SEWAGE EJECTOR PUMP DETAIL  
SCALE: NTS



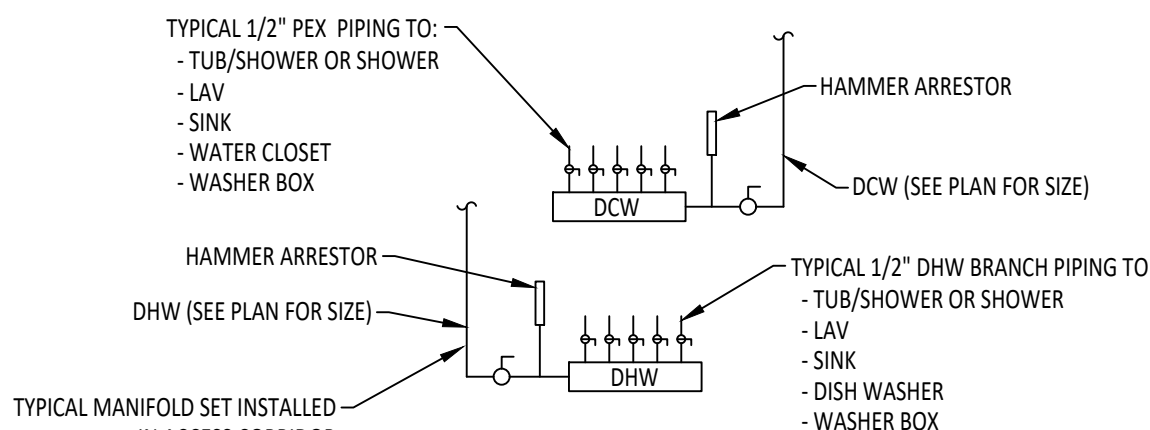
X DRAIN TILE SIMPLEX SUMP PUMP DETAIL  
SCALE: NTS



X WATER METER INSTALLATION DETAIL  
SCALE: NTS



X DOMESTIC RECIRC PUMP DETAIL  
SCALE: NTS



NOTE:  
FIXTURE QUANTITIES MAY VARY BETWEEN APARTMENTS. REFERENCE FLOOR PLAN.

X TYPICAL DOMESTIC WATER MANIFOLD DETAIL  
SCALE: NTS



REMODEL FOR:  
**F. BELANGER BLOCK BUILDING**  
2403 W 6TH ST  
DULUTH, MN 55806

SHEET TITLE:  
PLUMBING DETAILS

NOT FOR CONSTRUCTION

DATE: 5-29-25  
JOB NO.: 2437  
DRAWN BY: JPK  
APPROVED BY: JPK

P401

**FOUNDATIONS**  
**ARCHITECTURE**  
GREGORY P. STROM, ARCHITECT  
2150 CULAS ROAD  
DULUTH, MN 55804  
PH: 218 525-4326  
CELL: 218 391-7334  
gps-foundations@gmail.com

**BOECKER**  
Drafting and Design  
TYRAVE J. BOECKER (T.B.)  
TYRAVE@BOECKERSDRAFTING.COM

November 11, 2025

Charlene Roise  
Hess, Roise and Company  
100 North First Street  
Minneapolis, MN 55401

Sent via email: roise@hessroise.com

Re: National Register of Historic Places Registration Form for Lincoln Park, Duluth, Saint Louis County, Minnesota

Dear Charlene,

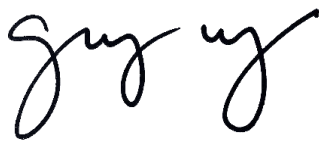
Thank you for the opportunity to comment on the above registration form. It has been reviewed pursuant to the responsibilities given the State Historic Preservation Office (SHPO) under 54 U.S.C. 302303 of the National Historic Preservation Act of 1966 as amended and the implementing federal regulations at 36 CFR 60.

In accordance with 36 CFR 60.11, and based on review, correspondence, and a site visit, it is the opinion of the SHPO that Lincoln Park has been adequately documented and is eligible for the National Register of Historic Places under Criterion A in the areas of entertainment/Recreation and Community Planning and Development. The park is one of the community's first major parks and is associated with the development of the west side of Duluth. It has also been continually used for outdoor recreation activities for nearly 137 years. The period of significance is 1889-1975.

Lincoln Park is scheduled to be considered for nomination to the National Register of Historic Places at the February 10, 2026, Minnesota State Historic Preservation Review Board meeting. For information regarding the meeting and to see the full registration form, please visit the SHPO website at: <https://mn.gov/admin/shpo/registration/review-board/meetings/>.

If you have questions, please let me know.

Sincerely,



Ginny Way | National Register Architectural Historian  
651.201.3293  
[ginny.way@state.mn.us](mailto:ginny.way@state.mn.us)



United States Department of the Interior  
National Park Service**National Register of Historic Places Registration Form**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

**1. Name of Property**

Historic name: Lincoln Park \_\_\_\_\_

Other names/site number: \_\_\_\_\_

Name of related multiple property listing: N/A

(Enter "N/A" if property is not part of a multiple property listing)

**2. Location**Street & number: 25<sup>th</sup> Avenue West and 5<sup>th</sup> StreetCity or town: Duluth State: MN County: Saint LouisNot For Publication:  Vicinity: **3. State/Federal Agency Certification**

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this \_\_\_ nomination \_\_\_ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property \_\_\_ meets \_\_\_ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

\_\_\_national \_\_\_statewide \_\_\_local

Applicable National Register Criteria:

\_\_\_A \_\_\_B \_\_\_C \_\_\_D

\_\_\_\_\_  
**Signature of certifying official/Title:****Date**\_\_\_\_\_  
**State or Federal agency/bureau or Tribal Government**

In my opinion, the property \_\_\_ meets \_\_\_ does not meet the National Register criteria.

\_\_\_\_\_  
**Signature of commenting official:****Date**\_\_\_\_\_  
**Title :****State or Federal agency/bureau  
or Tribal Government**

Lincoln Park  
Name of Property

Saint Louis County, MN  
County and State

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#### 4. National Park Service Certification

I hereby certify that this property is:

- ☐ entered in the National Register  
☐ determined eligible for the National Register  
☐ determined not eligible for the National Register  
☐ removed from the National Register  
☐ other (explain:) \_\_\_\_\_

---

Signature of the Keeper

Date of Action

---

#### 5. Classification

##### Ownership of Property

(Check as many boxes as apply.)

- Private: ☐  
Public – Local ☒  
Public – State ☐  
Public – Federal ☐

##### Category of Property

(Check only **one** box.)

- Building(s) ☐  
District ☒  
Site ☐  
Structure ☐  
Object ☐





Lincoln Park  
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## 7. Description

### Architectural Classification

(Enter categories from instructions.)

Rustic

WPA Rustic

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**Materials:** (enter categories from instructions.)

Principal exterior materials of the property: EARTH, STONE

### Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

#### Summary Paragraph

Duluth's street grid is generally not aligned on cardinal points. Standard practice in the city is to refer to northeast as east, northwest as north, southwest as west, and southeast as south. Lincoln Park, for example, is located in West Duluth, which is southwest of Duluth's commercial downtown. This nomination adopts the Duluth nomenclature.<sup>1</sup>

Located about two miles west of downtown Duluth, Lincoln Park is long and narrow, following Miller Creek as it rapidly descends between Skyline Drive/West 14<sup>th</sup> and West 3<sup>rd</sup> Streets.

<sup>1</sup> Much of the information in the following description is taken from Charlene Roise, "The Evolution of Lincoln Park," prepared by Hess, Roise and Company for Duluth Parks and Recreation, June 2021. The report was completed as part of a Section 106 review for improvements to Lincoln Park (SHPO Number: 2017-2457) and referenced several other cultural resource studies including Patrick Nunnally, "Jewel of the North: Duluth's Parkway System" (1997); RLK-Kuusisto and Sanders Wacker Bergly, "Lincoln Park Restoration and Rehabilitation Plan, City of Duluth, Minnesota" (1998); William E. Stark, "Skyline Parkway Cultural Resources Inventory, Duluth, St. Louis County, Minnesota" (2011); and Cardno, "Determination of Eligibility, Stream Engineering Design and Construction Engineering: Miller Creek at Lincoln Park" (2015).



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Lincoln Park Drive, the park's only vehicular access, traverses the park's entire length, with two spurs for access at 10<sup>th</sup> Street and north of 6<sup>th</sup> Street. Stairways facilitate pedestrian movement between the park, nestled in the creek's ravine, and the higher residential neighborhood surrounding it. Pedestrian and bicycle paths weave throughout the park. While the park's overall character is picturesque and informal, the section between West 14<sup>th</sup> and West 6<sup>th</sup> Streets is particularly steeply sloped and rustic, with irregular Gabbro boulders forming waterfalls and rapids in the creek and defining its banks. The creek is edged by a dense growth of trees including maple, pine, mountain ash, and birch, with a thick understory of bushes and other plants. Between West 6<sup>th</sup> and West 4<sup>th</sup> Streets, the landscape is relatively level and more open, with a concentration of facilities including a historic stone pavilion, picnic shelters, tables and benches, play areas, sports fields, and parking. The grade drops again south of West 4<sup>th</sup> and is heavily vegetated, with the land becoming marshy before the creek passes under West 3<sup>rd</sup> Street.

The property's integrity is very good. It retains its location and picturesque setting along Miller Creek, surrounded by residential neighborhoods. Its overall design was historically vernacular, not the high-style work of a landscape architect, and the design continues to exhibit a vernacular character today. While some of the park's features have been modified over time by human and natural forces, this is to be expected at an outdoor property in a harsh, northern climate. The consistent use of local materials like stone and wood, as well as earth-toned colors, make changes blend in with the existing features. Workmanship is most evident on the stone pavilion, which has benefited from a recent rehabilitation. The quality of these aspects of integrity reinforce the feeling and association of Lincoln Park, a popular place for groups and individuals to recreate and enjoy nature since the 1890s.

Lincoln Park  
Name of Property

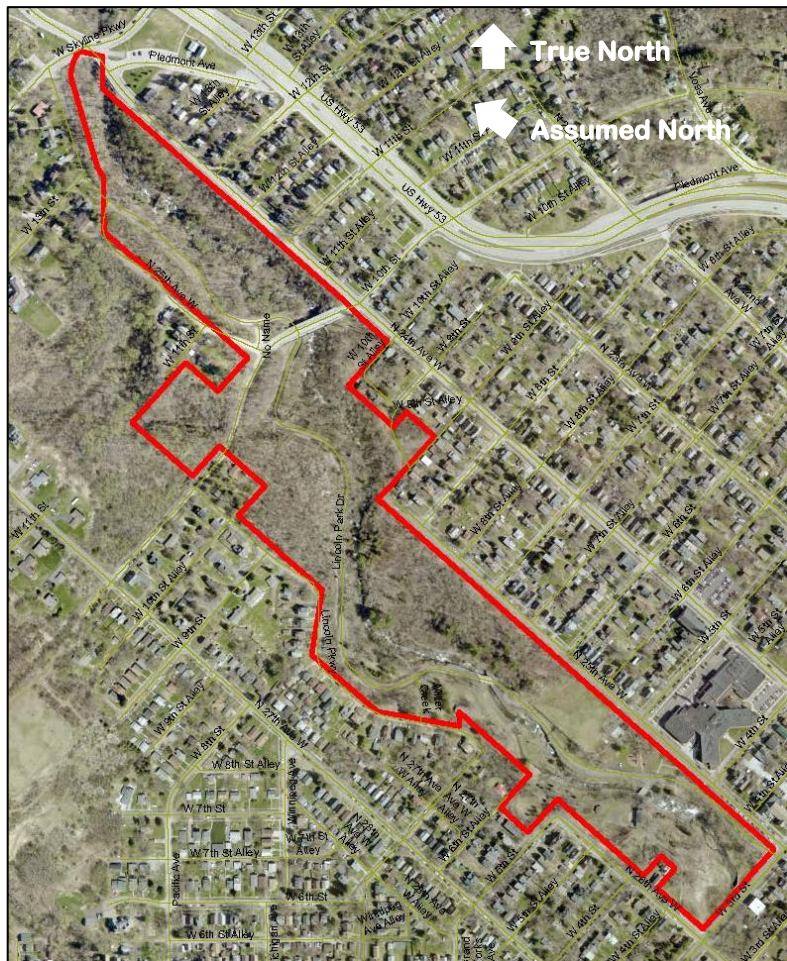
Saint Louis County, MN  
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## Narrative Description

Lincoln Park is about two miles west of downtown Duluth in an area historically known as West Duluth. The surrounding neighborhood takes its name from the park. The land framing the park is mostly residential, with scattered institutional uses (churches, a former school) to the east and southeast and some undeveloped, wooded areas to the northwest. The long, narrow park extends about half a mile from West Skyline Parkway to the north to West 3<sup>rd</sup> Street to the south. The eastern boundary is fairly regular. From the north, it follows North 24<sup>th</sup> Avenue West south from Skyline Parkway to the alley between West 9<sup>th</sup> and 10<sup>th</sup> Streets, turning west along that alley. From the south, it follows North 25<sup>th</sup> Avenue West north from West 3<sup>rd</sup> Street to the alley between West 8<sup>th</sup> and 9<sup>th</sup> Streets, turning east along that alley. The line connecting the two alleys has two 90-degrees turns.

The western boundary is more complicated. It follows North 25<sup>th</sup> Avenue West between Skyline Parkway and West 10<sup>th</sup> Street, then jogs northwest to include a wooded ravine before crossing West 10<sup>th</sup> Street. Continuing south and west, it edges residential lots before connecting with Lincoln Parkway at the alignment of the West 10<sup>th</sup> Street alley. It remains on the parkway until nearing West 6<sup>th</sup> Street, where it briefly runs northwest before taking a southern course on the alignment of North 26<sup>th</sup> Avenue West. After a slight bump to the west to include a small area between the West 6<sup>th</sup> Street alley and West 5<sup>th</sup> Street, the boundary follows 26<sup>th</sup> Avenue to 3<sup>rd</sup> Street, excluding a private parcel east of that road. All in all, the park contains approximately 43.3 acres.

No properties in the park have been previously listed in the National Register but the Minnesota State Historic Preservation Office (SHPO) has determined that Lincoln Park, the Lincoln Park Pavilion, Lincoln Park Drive, and the Lincoln Park Bridge at West 10th Street qualify for



*Lincoln Park boundaries are outlined in red.  
(from City of Duluth, "Declaration of Restrictive Covenant,"  
2023. Exhibit 2)*



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designation. The park is also associated with the National Register-eligible Skyline Parkway Historic District. The city has designated the Lincoln Park Pavilion a local historic landmark.

The following description uses guidelines issued by the Secretary of the Interior/National Park Service for the treatment of cultural landscapes with these organizational and character-defining features: spatial organization and land patterns; topography; vegetation; circulation; water features; and structures, site furnishings, and objects.<sup>2</sup>

### **Spatial Organization and Land Patterns**

The park is narrow and long, following Miller Creek as it cascades down a steep slope. The creek enters the park at West Skyline Parkway and runs in a southeasterly direction to the park's terminus at West 3<sup>rd</sup> Street. North 24<sup>th</sup> and 25<sup>th</sup> Avenues West edge most of the park's northeastern border. North 25<sup>th</sup> Avenue West also forms some of the park's southwestern border along with Lincoln Park Drive, West 10<sup>th</sup> Street, Lincoln Parkway, and North 26<sup>th</sup> Avenue West. Some private property is on the park side of these roads, and private property directly abuts the park in other locations.

The northern two-thirds of the park is mostly wooded and has little development other than circulation features: Lincoln Park Drive, which meanders the length of the park near the creek, and footpaths running along the creek and connecting to the residential neighborhood surrounding the park. This part of the park is bisected by the substantial Lincoln Park Bridge at West 10<sup>th</sup> Street, which carries traffic above the park gorge. A short road near the bridge's northwest end provides access from 10<sup>th</sup> Street to Lincoln Park Drive.

Another short spur connects Lincoln Park Drive and Lincoln Parkway between 6<sup>th</sup> and 7<sup>th</sup> Streets. South of this intersection, the drive crosses Miller Creek and passes a small parking area between the drive and the creek, entering an area that has exhibited a more active character since the park was formally dedicated in 1896. While the ponds, benches, and wood-frame pavilion that delighted early visitors are no longer extant, the area continues to hold recreational facilities, including a 1930s stone pavilion, and has a more open character than the park's northern section. An elevated terrace northeast of Lincoln Park Drive between 5<sup>th</sup> and 6<sup>th</sup> Streets was rehabilitated in 2023. The terrace's east side holds a picnic area, nature play area, and small basketball court. A soccer field on the west side is surrounded to the east, south, and west by chain-link fencing. A picket railing is along the terrace's south edge. An asphalt-paved parking area is at the terrace's south end and another parking area is below the terrace between 4<sup>th</sup> and 5<sup>th</sup> Streets. Across the road from the latter parking area, a pedestrian bridge provides access to a relatively level section on the west side of the creek that is bookended by a massive outcrop, Elephant Rock, to the north and the 1930s stone pavilion to the south. Steep slopes frame the park along Lincoln Drive and 26<sup>th</sup> Street. There is a small gap north of 5<sup>th</sup> Street, where the park's boundary jogs briefly to the west.

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<sup>2</sup> Charles Birnbaum and Christine Capella Peters, ed., *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes* (Washington, D.C.: U.S. Department of the Interior, National Park Service, 1996).

Lincoln Park  
Name of Property

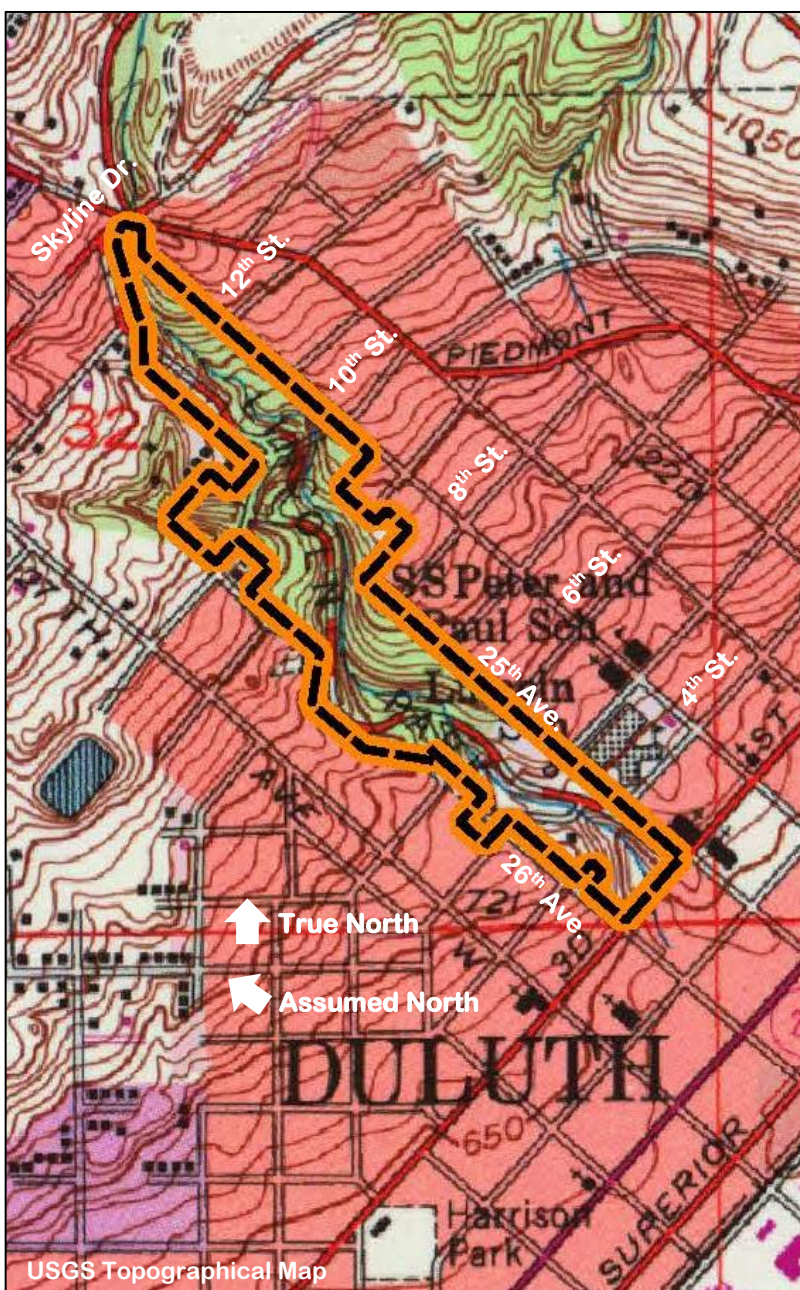
Saint Louis County, MN  
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Southeast of 4<sup>th</sup> Street, Lincoln Park Drive runs in a narrow corridor between Miller Creek and 25<sup>th</sup> Avenue to the drive's terminus at 3<sup>rd</sup> Street. On the other side of the creek, private lots with houses extend into the park's southwestern corner.

### Topography

Topography is one of the most striking features of the park, which descends a steep slope. The elevation drops from about 1,000 feet above sea level at Skyline Parkway to 650 feet at 3<sup>rd</sup> Street. A distinct change in elevation also defines much of the park's edges, with occasional sections near the grade of adjacent streets. Primary topographical features include:

- Upper Slope: The precipitous descent of the Miller Creek ravine from Skyline Parkway to about 6<sup>th</sup> Street. The edges of the park are generally defined by sharp gradients.
- Plateau: The relatively flat plateau between 6<sup>th</sup> Street and about 4<sup>th</sup> Street. This is flanked by higher ground at the east and west edges. There is a sharp slope on the west side; adjacent residential land and 26<sup>th</sup> Avenue are at a higher elevation. The difference in elevation on the east side lessens as 25<sup>th</sup> Avenue descends to the south. A historically built-up terrace (not natural) is between 5<sup>th</sup> and 6<sup>th</sup> Streets.





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- Lower Slope: South of 4<sup>th</sup> Street, the land drops sharply again to a level below 3<sup>rd</sup> Street, allowing Miller Creek to flow beneath the road. A corridor edging 25<sup>th</sup> Avenue remains about the same height as the street.

## **Vegetation**

The park board planted two hundred trees in the park in 1894 and made energetic efforts to green the city in the following years, planting five thousand trees throughout Duluth in 1896. Some improvements in the park, including plantings, were occasionally damaged by the flooding of Miller Creek. The park is well endowed with a variety of trees both deciduous (including sugar maple, Northern red oak, basswood, river birch, and mountain ash) and coniferous (including balsam fir, white spruce, and white pine). Some have been intentionally planted by the city; others have appeared voluntarily. The age of individual trees has not been professionally assessed and is unknown, except for relatively recent plantings.

While there is little archival documentation of vegetation conditions over time, historic photographs support the assumption that the character of the vegetation today is similar to what it has been historically. Trees dominate the Upper Slope with a wild understory of a grasses, raspberry and other bushes, and other plants where the rocky soil allows (Photos 1-16). Trees are scattered throughout the flatter land of the Plateau as well, but the area is more closely managed and holds grassy lawns and recent native plantings (Photos 18-31). The Lower Slope descends into a marshy area and grassy field along Miller Creek, with heavier tree growth along the east and west sides (Photos 32- 36).

Several small, informal planting areas are scattered in the Plateau and Lower Slope. One on the west side of Lincoln Park Drive at the 3<sup>rd</sup> Street entry has been in place for some time, although it was modified and a new sign identifying the park was installed in 2023 (Photo 34). Many of the other planting areas date from 2023. Situated by the parking lots and sports fields and along the Plateau's west side, they hold native plantings and are designed for stormwater management (Photos 22-23, 25-26).

## **Circulation**

When the board of park commissioners was established in 1888, Lincoln Park was one of its first priorities. Lincoln Park Drive was conceived as the western terminus of Terrace Parkway (now Skyline Parkway), which originally ran east as far as Chester Creek at 15<sup>th</sup> Avenue East. Initial improvements were completed in 1890-1891 for Lincoln Park Drive, which generally parallels Miller's Creek as it descends from the parkway to 3<sup>rd</sup> Street (Photos 3-4, 7, 10, 20-21, 33-34). The gravel-surfaced drive was shown running from 3<sup>rd</sup> to 14<sup>th</sup> Streets in a 1902 atlas, with the upper end terminating at 24<sup>th</sup> Avenue. In a 1909 atlas, the road splits south of 7<sup>th</sup> Street to run on both sides of Miller Creek between about 4<sup>th</sup> and 7<sup>th</sup> Streets. A pedestrian path now occupies the general alignment of the west road (Photos 25-26).<sup>3</sup>

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<sup>3</sup> Nancy S. Nelson and Tony Dierckins, *Duluth's Historic Parks: Their First 160 Years* (Duluth: Zenith City Press, 2017), 51; Duluth Board of Park Commissioners (hereafter cited as DBPC), *Duluth's Parks* (Duluth: n.p., 1911), n.p.

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Lincoln Park Drive, now paved with asphalt, remains the only north-south vehicular route through the park today. East-west traffic can pass over the park on the Lincoln Park Bridge at West 10<sup>th</sup> Street (Photos 8-9). Near the bridge's northwest end, a spur curves downhill to Lincoln Park Drive from the intersection of 10<sup>th</sup> Street and North 25<sup>th</sup> Avenue West (Photo 7). In the park, the bridge is a formidable visual barrier but is functionally permeable for vehicles, pedestrians, and the creek. A spur connects Lincoln Park Drive and Lincoln Parkway northwest of 6<sup>th</sup> Street (Photo 17).

Lincoln Park Drive is designed for motorized vehicles but is also used by bicycles and pedestrians. Bicycles can easily traverse some trails in the lower section of the park, but trails in the Upper Slope are narrow and steep and mostly used by pedestrians. In recent decades, two longer trails have been threaded through the Upper Slope. The pedestrian-only Superior Hiking Trail, built and maintained by a nonprofit association, extends over 300 miles along Lake Superior's north shore from the Wisconsin border to the trail's northern terminus overlooking the Pigeon River, the border between Minnesota and Canada (Photos 2, 4). The 42-mile Duluth Traverse Trail was specifically designed for mountain-biking by the city in consultation with nonprofit Cyclists of Gitchee Gumee Shores (COGGS) but is open to "all human-powered use"<sup>4</sup> (Photo 4). It follows the ridgeline from the city's east end at Lester Park to the west end at Chambers Grove Park in Fond du Lac. Both the Superior and Traverse trails have a natural surface and are woven into the existing topography and vegetation.

Pedestrian paths wind throughout the park. While it is difficult to document their evolution, most that are in place today were probably in existence during the period of significance. Some paths in the Plateau are concrete and others are paved with asphalt, and a few were created or modified during a 2023 renovation to meet the standards of the Americans with Disabilities Act (ADA). Most of the park's paths are informal and natural-surfaced. Some sections, especially along Miller Creek, are edged by solid stone parapets or chain-link fencing (Photos 6, 15, 25-26, 29, 31, 35).

Near the 8<sup>th</sup> Street Pedestrian Bridge (see below), the path paralleling the creek's west side has stone steps and parapets installed by National Youth Administration labor in 1940 (Photo 13). Near each end of the bridge and aligned with it, perpendicular to the creek, is a stone stairway topped with a pair of stone bollards (Photos 12-14). The western stairway ascends to Lincoln Park Drive. The purpose of the eastern stairway is less obvious, terminating in an informal path through a wooded area, but it once provided access to operational facilities—a house for the park's on-site foreman at 2415 West 9<sup>th</sup> Street, a tool house across the alley to the north, and a larger tool house and shops for the park department at 2416 West 9<sup>th</sup> Street. The late nineteenth-century house and its site are now in private hands. The large maintenance building on the south side of 9<sup>th</sup> Street, built in the early 1930s, was demolished in 1989.<sup>5</sup>

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<sup>4</sup> City of Duluth Parks and Recreation, "Duluth Traverse," accessed February 5, 2025, <https://duluthmn.gov/parks/parks-planning/progress-in-the-parks/duluth-traverse/>.

<sup>5</sup> Sanborn Map Company, *Insurance Maps of Duluth, Minnesota*, vol. 1 (New York: Sanborn Map Company, 1909, republished 1955), sheet 1, at Library of Congress, [https://www.loc.gov/item/sanborn04287\\_012/](https://www.loc.gov/item/sanborn04287_012/); building permits for 2415 and 2416-2418 West 9<sup>th</sup> Street are at Construction Services and Inspections office at Duluth City Hall.



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Stairs on slopes, particularly at the east and west perimeters, facilitate access to and through the park. They are made of a variety of materials including stone (historic), concrete (possibly historic in some cases), and wood timbers. Some have utilitarian pipe railings. Several stairs edging the Plateau were renovated in 2023.

### Water Features

Miller Creek is the park's spine, enters from a culvert beneath Skyline Parkway and exits under a bridge on 3<sup>rd</sup> Street (Photos 5, 16, 19, 24, 32, 35-37). In a 1911 report, the board of park commissioners stated that "the ravine is so rich in beauty that little had to be done . . . in the way of formal treatment, except at the approaches at Third street and Twenty-fifth avenue west. Here the stream has been curbed by cement and an effect of breadth has been obtained by the arrangement of drives and paths."<sup>6</sup>

The creek's original alignment, which is visible in early maps, was modified by the city engineer's office in 1916 when a culvert or bridge was installed at 3<sup>rd</sup> Street. The creek has been modified at other times as well. A National Youth Administration (NYA) project sponsored by the park department in 1940

"clean[ed] 1300' creek bed" and five "cascades (stone and concrete) 6' base, 25' wide, 4" to 36" deep" in 1940. The waterway is temperamental, periodically escaping its banks and reworking its course. As part of stream repair funded by the Federal Emergency Management Agency after a major flood in 2012, a narrow channel was installed in the Plateau, roughly parallel to Miller Creek, to divert water in times of high flow (Photo 26). The channel is usually dry, is obscured by grass and native plantings, and has minimal visual impact. That area was once part of an artificial lake created shortly after the park was established by diverting water from Miller Creek.



*Miller's Creek, ca. 1880.  
(Duluth Public Library)*

### Structures, Furnishings, and Objects

#### Buildings

The park has three buildings, one historic and the others not. Work on the stone pavilion (Photos 27, 29-31) was started in 1934 as a Civil Works Administration project. Slate was installed on the side gable roof the following year, and plumbing lines were extended to the building in 1936.

<sup>6</sup> DBPC, *Duluth's Parks*, n.p.; Duluth Park Department, *Annual Report, Park Department, City of Duluth, 1940* (hereafter cited as DPD, *Annual Report, [year]*), 35, typed carbon copy, at Duluth Parks and Recreation, Duluth City Hall (hereafter DPR-DCH).

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Park department reports indicate that the project was not fully completed until 1939. More details about the history of the pavilion are in the significance section below.

The building is constructed of stone likely quarried in the park. The rough-faced masonry units are trimmed into irregular shapes and sizes. Walls feature random range work. A stage, oriented roughly to the west, is recessed between two square towers with pyramidal roofs that rise from small, gable-roofed wings. Recesses in the front face and sides of the towers and wings once held windows but are now filled with stonework. A recess in the eastern wing holds a metal plaque memorializing Renee Kathy Van Nett, installed after her death in 2022 (Photo 30). Elected to the Duluth City in 2017, she was the first Indigenous woman to serve in that role. On the wall to the left of that recess, a bas-relief profile is the only trace of a plaque once affixed there honoring Samuel Snively, a businessman and park advocate who became mayor in 1921 at the age of 61. He held the office for four terms, the longest tenure of any of the city's mayors.

A shed roof trimmed with an ornamental wood fascia and a wood beadboard soffit rises above the stage. The stage projects beyond the pavilion's front facade into an open, grassy lawn. The stage was originally slightly elevated but at some point the grade was raised to the same level. Three doors on the stage provide access to the pavilion's interior. The center door leads into a multipurpose room, the pavilion's main interior space, which is also accessed from an exterior door centered on the rear (south) facade. The stage doors flanking the center door provide access to toilet rooms. The openings were slightly widened and the toilet facilities upgraded to meet ADA standards during the 2023 rehabilitation. That project also installed new exterior doors, modernized wiring and lighting, and improved ventilation. A door on the back of the east wing allows access to storage space in the wing. Several years earlier, the roof was reclad with asphalt shingles and some structural members were repaired after the building was damaged by an arsonist's fire.

The park's other two buildings are modern picnic shelters. The west picnic shelter (Photos 27-28) is on the north side of the lawn in front of the pavilion. Picnic tables are beneath the hexagonal, shingle-roofed, open-sided shelter, a standard design used in many of the city's parks. The shelter has been in place since 1986<sup>7</sup> but the adjacent playground with a variety of earth-toned equipment was developed in 2023. The playground was previously on the other side of the creek and Lincoln Park Drive, a safety hazard for families using both the picnic shelter and the play equipment. The east picnic shelter (Photos 22-23, 28), similar in design but smaller and with only four sides, was installed at the north end of the Plateau's sports terrace in 2023. The adjacent nature play area dates from the same time.

There have been other buildings in the park over time. It received one of the first two "comfort stations" in the park system in 1926, and this became a model for other parks. The park also contained a series of warming houses/recreation centers. The department's 1941 annual report noted, for example, that the NYA had built a "warming house." Later in the report, it mentioned the construction of a building measuring 20 feet by 60 feet in the park, but the structure was not further identified and no location was given. At some point, perhaps in the 1970s or 1980s, a

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<sup>7</sup> Robert Hurd, City of Duluth Parks and Recreation, email to author, March 9, 2021.



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concrete-block building was erected on the Plateau's terrace near 25<sup>th</sup> Avenue and 5<sup>th</sup> Street.

Like the comfort station and most other structures that appeared in the park since the 1890s, the concrete-block building has been demolished, leaving the historic stone pavilion and the newer picnic shelters as the only buildings in the park.<sup>8</sup>

Bridges

The need to cross Miller Creek produced a number of bridges throughout the length of the park. They are described below starting at Skyline Parkway and moving downstream (south). All are single-span structures with the exception of the Lincoln Park Bridge carrying West 10<sup>th</sup> Street over the park.

Miller Creek enters Lincoln Park after passing below the intersection of Skyline Parkway and North 24<sup>th</sup> Avenue West in a concrete box culvert, Bridge 8657. Minnesota Department of Transportation records indicate the structure was installed in 1938 and "all areas have been repaired" over time. Only the outlet is within the boundaries of the historic park.<sup>9</sup>

A pony-truss bridge carries pedestrians, including those following the Superior Hiking Trail, across the creek around West 12<sup>th</sup> Street (12<sup>th</sup> Street Pedestrian Bridge, Photos 4-5). The top and bottom chords of the painted, steel structure are parallel with a noticeable camber. Steel bars attached to the outside of the truss serve as railings for the concrete deck. All connections were welded in the factory and the bridge was transported to the site on a flatbed truck. A bridge plate labels it a "Town and Country Bridge" and gives the fabricator as DeBourgh Manufacturing of Minneapolis. According its website, the company was established there in 1909 by four brothers and was originally known as Berg Brothers. "We started as a small sheet metal fabrication shop specializing in poultry supplies, roofing, gutters, steel ceilings and light metal works. Over time the company grew in both its capabilities and expertise in steel fab to offer defense equipment, aviation parts, earth moving equipment and machinery, and incredibly sturdy pedestrian bridges that you can still find scattered across the country." It sold the Town and Country Bridge division and moved to Colorado in 1990. The company remains under family ownership but now exclusively produces lockers for schools and other uses. The bridge plate does not provide an erection date but the structure was definitely installed before 1990, probably in the 1980s.<sup>10</sup>

West 10<sup>th</sup> Street passes over the park on the Lincoln Park Bridge, also known as Bridge L-8744 and the West 10th Street Bridge (Photos 7-9). According to a 1987 inventory form, the bridge "was built in 1927 by A. A. Bodin and Sons after a design by W H. Cruikshank, under City

<sup>8</sup> DPD, *Annual Report, 1941*, 1, 30; Sanborn Map Company, *Sanborn Fire Insurance Map from Duluth, 1909-1955*, 1:1, accessed March 10, 2021, [https://www.loc.gov/item/sanborn04287\\_012/](https://www.loc.gov/item/sanborn04287_012/).

<sup>9</sup> Bridge inspection reports for Bridge 8657, Minnesota Department of Transportation, accessed February 7, 2025, <https://reports.dot.state.mn.us/bridgerptviewer/Viewer.aspx?rName=Bridge+Inspection+and+Inventory+Report&rFormat=p&Roadways=2&AgencyName=0&Selection+Criteria-Inspection+Period=6&BridgeInfoToggle=1&Sort+Order=1&RouteSystem=All&RouteNumber=All&BeginRefPoint=All&EndRefPoint=All&ShowOldElements=0&ShowNBEInspections=1&ShowTitlePage=0&inspBegDate=All&inspEndDate=All&rFormat=p&SingleBridge=8657&Select>.

<sup>10</sup> "Our Story," DeBourgh, accessed February 7, 2025, <https://debourgh.com/about-us/our-story/>; "DeBourgh Manufacturing," Zoominfo, accessed February 11, 2025, A serial number stamped on the bridge plate is somewhat obscured by deterioration but appears to be 71719S.

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Engineer John Wilson. The work was promoted by the Hillside Improvement Club.” The bridge “is a two-span, reinforced-concrete, filled-spandrel, barrel-arch bridge, with an overall length 197.7', maximum span length of 79.5' out-out width of 52', carrying a 24+' roadway, with no sidewalks. . . . The elevations and railings are veneered with uncoursed, rough-ashlar stone, harmonizing the structure with the rugged, rocky, park environment.” The creek and a footpath pass below the western span and Lincoln Park Drive runs under the eastern span. The bridge was rehabilitated in 2006 “to comply with MnDOT State Aid designs for horizontal and vertical alignment, land width, and railing heights,” according to a 2013 survey. The roadway was apparently narrowed and sidewalks added to the deck at this time. Damage from a flood in 2012 was repaired in 2015. The bridge has been determined individually eligible for the National Register by the Minnesota SHPO.<sup>11</sup>

A pedestrian bridge connects footpaths on opposite sides of the creek around West 8<sup>th</sup> Street (8<sup>th</sup> Street Pedestrian Bridge, Photo 12). According to a plate on the structure, it was manufactured by Biltolast Products of Fort Payne, Alabama, in June 2004 and is part of the Steadfast Bridges line.<sup>12</sup> The steel pony truss is a variation of a Pratt design with parallel top and bottom chords, vertical end posts, welded connections, and a concrete deck. The structure is slightly cambered. Lattice panels attached to the inside of the truss serve as railings and, like the truss members, have a painted finish.

Bridge 69679 carries Lincoln Park Drive over the creek at the alignment of 6<sup>th</sup> Street (Photos 19-20). In 2011, the bridge replaced Bridge L8476, which was constructed in the 1930s. The southeast end of the new structure, which was designed by LHB, was moved slightly south to improve the alignment of the road's southeast approach. The deck of the skewed, concrete-slab structure is 31 feet wide in section. Concrete headwalls rise above the deck to form railings and extend down to conceal the slab. The base of each headwall is a low arch trimmed with architectural concrete voussoirs, recalling the arched form of the earth-filled, concrete-arch structure that it replaced. The fascia and wingwalls are faced with stone salvaged from that structure. The project included raising the grade of Lincoln Park Drive near the bridge and installing a bituminous surface. The terminus of an 8-foot-wide pedestrian pathway on the west side of the creek, which was immediately north of the old bridge, was moved about 25 feet to the west. The new section of the path curves southeast to join the existing alignment. Several silver maples were removed from near the bridge and new Fall Fiesta sugar maples were planted.<sup>13</sup>

The 5<sup>th</sup> Street Pedestrian Bridge is not included in the Minnesota Department of Transportation's inventory and little information is available about the rustic stone-arch structure (Photos 24, 26). It was perhaps one of two “rock arch bridges” that were in place by 1926 according to an

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<sup>11</sup> Robert Frame, “L8477,” Statewide Bridge Survey Inventory Form, prepared for the Minnesota Department of Transportation, 1987, at Minnesota SHPO, Saint Paul; Mead and Hunt, “Bridge L8477 (Lincoln Park Bridge),” Minnesota Architecture-History Inventory Form, Phase II of Local Historic Bridge Study, 2013, prepared for Minnesota Department of Transportation, at Minnesota SHPO.

<sup>12</sup> The bridge plate is stamped with the number 031895, presumably the serial number.

<sup>13</sup> Record drawings for Bridge 69679, prepared for the Minnesota Department of Transportation and the City of Duluth, December 23, 2010, prepared by LHB, Joseph D. Litman, project engineer, at Duluth Public Works and Utilities, Duluth City Hall.



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inventory prepared in the 1930s. Stone-arch bridges were popular in the late nineteenth and early twentieth centuries and were considered particularly appropriate in picturesque landscape settings. The existing deck, railings, and wing walls are of coursed ashlar and concrete from a later period, probably the product of a depression-era federal relief project. In 1940, the NYA was working just across Lincoln Park Drive from this site on stone walls at the terrace. The park department's annual report from that year noted that the NYA built a 20-foot-long stone and concrete bridge at 5<sup>th</sup> Street with a 6-foot-wide deck and 3-foot-tall railings. The stonework was completed in 1941. Miller Creek runs in a narrow gorge just upstream from the bridge and the creek's flooding has been hard on the structure, which appears to have multiple repairs, including rehabilitation of the stone railings in 2023.<sup>14</sup>

A new wood stringer bridge was installed in 2023 to continue an accessible walkway over the creek overflow area west of the 5<sup>th</sup> Street pedestrian bridge (Photo 26). The bridge has simple wood railings with wood posts and rests on straight concrete abutments.

Bridge 69650 crosses Miller Creek between the stone pavilion and the parking lot along Lincoln Park Drive (Photos 31-32). It replaced an earlier bridge in the same location in 2003. The skewed, 26-foot, steel-beam span has a 26-foot-wide concrete-slab deck edged by 40-inch-tall ornamental metal railings with stone end posts. Existing stone walls were partially removed and the stone was used as a veneer for new concrete abutments. Landscape architects Sanders Wacker Bergly and Northland Consulting Engineers worked on plans for the prefabricated structure.<sup>15</sup>

Bridge 88552, a concrete-arch structure carrying 3<sup>rd</sup> Street over the creek at the park's south end, was constructed in the early twentieth century, but records suggest various years including 1916, when Miller Creek was realigned, and 1925 (Photo 37). The stonework facing the elevations might date from the 1930s federal-relief era.

Furnishings

A curved stone settee with a backrest of cylindrical stone bolsters is between Lincoln Park Drive and Miller Creek at the west end of the 8<sup>th</sup> Street Pedestrian Bridge (Photo 13). Joints between masonry units have been repaired poorly or not at all and the bench is in poor condition. The settee, along with other stonework in the area, was installed by the National Youth Administration in 1940.

Directional, informational, and interpretive signage, benches, and trash receptacles are among the modern furnishings situated throughout the site, particularly on the Plateau. Their size and design are relatively inobtrusive. Roughly shaped boulders, green-painted wood posts, and modern metal bollards along Lincoln Park Drive stop vehicles from traveling beyond the roadway. Two-leaf gates located near Bridge 69679 and at the entrances from Lincoln Parkway and 10<sup>th</sup> Street make it possible to close Lincoln Park Drive for events or maintenance.

<sup>14</sup> DPD, *Annual Report, 1940*, 6, 7, 34-35; DPD, *Annual Report, 1941*, 14, 27, 30.

<sup>15</sup> Construction plans for Minnesota State Project No. 118-090-10, prepared by Sanders Wacker Bergly and Northland Consulting Engineers, April 2003, at Engineering Division, Public Works and Utilities Department, Duluth City Hall.

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The design of free-standing light fixtures in the vicinity of the stone pavilion is modeled after historic fixtures. Fixtures at the parking lots have cylindrical poles on a cylindrical concrete base with simple, cobra-head luminaires.

A flagpole stands, as it has historically, northwest of the pavilion. On the other side of the lawn, north of the west picnic pavilion, a playground with earth-toned equipment was installed in 2023. A playground had previously been located in a more prominent site by the parking lot on Lincoln Park Drive. The playground is now at the edge of the park and its visibility is obscured by the picnic pavilion. A Section 106 review found this design and placement in line with the Secretary of the Interior's Standards.

A disc golf course winds through the Plateau and Lower Section on both sides of the creek. The nine-hole course features DISCatcher targets and all holes are less than 300 feet in length. The Professional Disc Golf Association's website notes that the course, established in 2012, is "designed for the recreational player. Most tees [are] spray painted on asphalt."<sup>16</sup>

### Objects

One of the park's well-known natural features is Elephant Rock (Photo 18). The size and shape of the massive outcrop inspired its name. Elephant Rock is located near the west edge of the park between 6<sup>th</sup> Street and the spur connecting Lincoln Park Drive and Lincoln Parkway.

Stone walls were installed by federal relief crews during the depression at various locations in the park including northwest of the pavilion, on the Plateau terrace, and along Miller Creek. Stone was quarried from the park. An overgrown quarry site with visible drill marks is along Lincoln Park Drive in the vicinity of 9<sup>th</sup> Street (Photo 11). The largest wall produced during the depression era, edging the north and east sides of the sports-field terrace on the Plateau, was erected by NYA crews in 1940 (Photos 22-23, 28). The west and south slopes below the terrace were once supported by a stone wall as well, but the lower wall deteriorated and was failing by the early twenty-first century. During the 2023 rehabilitation, the wall was removed and the slope modified to hold an ADA-accessible walkway. Salvaged stones were reused elsewhere in the park, especially along the west side of the Plateau south of Elephant Rock (Photo 25).

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<sup>16</sup> "Lincoln Park Disc Golf Course," Professional Disc Golf Association, accessed February 10, 2025, <https://www.pdga.com/course-directory/course/lincoln-park-disc-golf-course>.



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## 8. Statement of Significance

### Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☐ B. Property is associated with the lives of persons significant in our past.
- ☐ C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ D. Property has yielded, or is likely to yield, information important in prehistory or history.

### Criteria Considerations

(Mark "x" in all the boxes that apply.)

- ☐ A. Owned by a religious institution or used for religious purposes
- ☐ B. Removed from its original location
- ☐ C. A birthplace or grave
- ☐ D. A cemetery
- ☐ E. A reconstructed building, object, or structure
- ☐ F. A commemorative property
- ☐ G. Less than 50 years old or achieving significance within the past 50 years

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**Areas of Significance**

(Enter categories from instructions.)

Entertainment/Recreation

Community Planning and Development

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Period of Significance**

1889-1896 (Community Planning and Development)

1896-1975 (Entertainment/Recreation)

\_\_\_\_\_

**Significant Dates**

1889

1896

1934

**Significant Person**

(Complete only if Criterion B is marked above.)

N/A

\_\_\_\_\_  
\_\_\_\_\_

**Cultural Affiliation**

N/A

\_\_\_\_\_  
\_\_\_\_\_

**Architect/Builder**

N/A

\_\_\_\_\_  
\_\_\_\_\_



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**Statement of Significance Summary Paragraph** (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

Lincoln Park qualifies for the National Register individually under Criterion A in the areas of Community Planning and Development and Entertainment/Recreation. It is one of the community's first major parks, situated in a late nineteenth-century neighborhood west of downtown Duluth. In a city split between the working-class west side and the middle- to upper-class east side, Lincoln Park provides an equitable balance to the east side's Chester Park. The two parks originally defined the ends of a scenic, bluff-edge boulevard, now Skyline Parkway, another early and key component of Duluth's impressive park system. Lincoln Park remains a vibrant element of that system today. The park's period of significance for Community Planning and Development runs from the city's initial acquisition of property in 1889 until 1896, when the park officially opened. For Entertainment/ Recreation, the period of significance starts with the park's opening in 1896 and ends in 1975 in conformance with the National Register's fifty-year guideline. The park is also a contributing feature in the National Register-eligible Skyline Parkway Historic District.

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**Narrative Statement of Significance** (Provide at least **one** paragraph for each area of significance.)

**Establishing Lincoln Park, 1889–1925**

Parkland was set aside as Duluth was platted in the nineteenth century. In 1888, the city established a board of park commissioners to implement an ambitious plan for parks throughout the city that would be linked by a scenic parkway. With limited resources to carry out this vision, the board's efforts in the 1890s focused on Chester Park and Lincoln Park, among the city's first parks and the bookends for the ridgeline parkway.<sup>17</sup>

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<sup>17</sup> Nelson and Dierckins, *Duluth's Historic Parks*.

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Assembling the land was the first challenge. The board began acquisitions for Lincoln Park in 1889, piecing together a patchwork of parcels ranging in size from small residential lots to a nearly ten-acre tract. The initial push targeted blocks 114, 120, 149, and 152 of Duluth Proper Second Addition, the area between 25<sup>th</sup> and 26<sup>th</sup> Avenues from 3<sup>rd</sup> to 7<sup>th</sup> Streets. Some sites already held development. An 1893 map shows buildings scattered along the west side of 25<sup>th</sup> Avenue. These were soon removed, but holdouts remain to this day on the east side of 26<sup>th</sup> Avenue between 3<sup>rd</sup> and 4<sup>th</sup> Streets. Much of the land between 3<sup>rd</sup> and 12<sup>th</sup> Streets was under park board control by 1894 and the park, originally named Miller Creek Park, was rechristened Lincoln Park.<sup>18</sup>



Wood-frame pavilion, ca. 1900.  
(Duluth Parks and Recreation)

By the time Lincoln Park was formally dedicated in 1896, the park board had installed ponds, walkways, bridges, benches, and a small, wood-frame pavilion. A bow in the lower end of Miller Creek was somewhat straightened by realigning it to the east as it neared 3<sup>rd</sup> Street. Two years earlier, the board had made “a brave start” in planting two hundred trees in the park. By 1896, “the main difficulties in tree planting had been overcome” and the board planted five thousand trees throughout Duluth. This soon transformed the city’s landscape. A

1911 park board report reflected: “We cannot imagine today the bleakness of the Duluth hillside, the desolate appearance of its stump sown streets, the dreariness of its sticky clays in a rainy season.”<sup>19</sup>

Miller Creek’s rampage in 1896 was the first of many times that natural causes would damage the park. After that flooding, the park board was quick to make repairs. The park was a popular destination from the start, drawing people from throughout the city to appreciate the natural beauty of the creek and its setting. They also enjoyed the city’s first public skating rink in 1896 and first official playground in 1908. The initial playground equipment was taken down for the winter and not reinstalled, but by 1911 the park board reported that the park’s playground equipment consisted of “swings, sand box, parallel bars, swimming hole.”<sup>20</sup>

<sup>18</sup> Nelson and Dierckins, *Duluth’s Historic Parks*, 51-52; “Lincoln Park Index,” typescript, ca. 1934, at office of Duluth Parks and Recreation, Duluth City Hall (hereafter, DPR-DCH). Most of the individual parcels making up the park were acquired between 1889 and 1893 except for lots north of 12<sup>th</sup> Street, which was part of Harrison’s Brookdale Division. In the 1910s and 1920s, periodic efforts were made to clean up title from the numerous small acquisitions, with a final push in 1934.

<sup>19</sup> Nelson and Dierckins, *Duluth’s Historic Parks*, 51-52; DBPC, *Duluth’s Parks*, n.p.

<sup>20</sup> DBPC, *Duluth’s Parks*, n.p.; Nelson and Dierckins, *Duluth’s Historic Parks*, 55-57.



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The “swimming hole” apparently referred to a short-lived lake and wading pool that had been introduced into the park. Water was siphoned from the creek in the early twentieth century to create a 100-foot by 150-foot artificial lake, and a wading pool was added near 6<sup>th</sup> Street. A local resident reminisced decades later about a fountain that “rose from the center of a pool, highlighted by colored lights situated in the bottom of the pool.” She noted that the fountain was “near the 6<sup>th</sup> Street level” but “the pool [is] long since overgrown with weeds.”<sup>21</sup>



*Artificial lake in Lincoln Park, looking southwest towards corner of 5<sup>th</sup> Street and 26<sup>th</sup> Avenue, ca. 1904 (above), and north, ca. 1914 (below).*

*(Minnesota Historical Society)*

The location of these water features was not shown on any known drawings, but two historic images indicate the lake’s approximate location on the west side of the creek between 5<sup>th</sup> and 6<sup>th</sup> Streets. A house visible in the background of one of the photographs still stands at the corner of 5<sup>th</sup> Street and 26<sup>th</sup> Avenue. Remnant landscape features—raised areas once part of the lake’s southeast and southwest edge—provide further confirmation of the location. To the east and north, Miller Creek’s flooding and efforts to address it have removed evidence of the lake’s other shores.



The independent board of commissioners was eliminated by a change in the city’s charter in 1913. Parks came under the city’s direct administration, an arrangement that continues to this day. The transition had little apparent effect on Lincoln Park although its history is sparsely documented for the next dozen years, a period marked by the First World War and a brief economic downturn when peace returned. By 1921, “Duluth’s park system . . . embrace[d] 700 acres and approximately twenty miles of completed boulevard drive,” a contemporary reported, including “about fifty parks, squares, triangles, boulevards, beaches and other cared-for open spaces.” Superintendent Henry Cleveland, who had been appointed to head the park system by the board of commissioners, was described as “not only . . . an able executive and organizer” but also “a skilled landscape architect and a true lover of nature.” He remained in that role through 1925, providing continuity during the switch in oversight from the board to the city.<sup>22</sup>

<sup>21</sup> Gerda Woelffer, “Remembering the West End and Lincoln Park,” n.d., 73, at DPR-DCH; DBPC, *Duluth’s Parks*, n.p.; Nelson and Dierckins, *Duluth’s Historic Parks*, 55-57.

<sup>22</sup> Walter Van Brunt, *Duluth and St. Louis County, Minnesota: Their Story and People* (Chicago and New York: American Historical Society, 1921), 1:271.

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### **A New Approach to Management, 1926–1930**

In 1926, the park system experienced a significant transition in management after Cleveland retired and the city hired F. Rodney Paine to replace him. A thirty-seven-year-old native of Duluth, Paine had earned an undergraduate degree in literature from Princeton in 1912 and a master's degree in forestry from Yale in 1914. After graduating, he worked for the U.S. Forest Service in Montana and Idaho before returning to Minnesota in 1916 to become the first superintendent of Jay Cooke State Park. As the new superintendent of Duluth parks, he introduced a level of professionalism that, among other things, produced the first inventory of the system's facilities.<sup>23</sup>

This effort took two years as the park department's 1927 annual report explained: "Work of organizing the office and establishing better records was continued this year and complete accounts were kept in the office for the first time in the history of the Park Department." In addition, "detailed plans have been made in practically every case prior to the carrying out of any improvement so that any work which is done should fit into a well-thought-out permanent plan and therefore be permanent in nature. The annual report in 1928 noted that "we are continuing our practice of keeping a permanent record of the activities of the Park Department through pictures. As far as possible we are carrying a series of pictures from the beginning of any given improvement to its completion."<sup>24</sup>

Landscape architect Harry L. Staves was responsible for preparing project plans in his position as chief of the department's Division of Landscaping and Tree Culture. The division, which handled tree pruning, planting, and other landscaping, started a nursery in Fond du Lac in spring 1927. Trees and other plants stocked the following year included green ash, American elm, mountain ash, Russian olive, yellow dogwood, alpine currant, and various lilacs and vines. Prior to this time, the park department had maintained a small nursery just east of Lincoln Park on the lower side of West 9<sup>th</sup> Street, near a cluster of service buildings.<sup>25</sup>

The inventory found that the entire system comprised 2,505 acres of parkland divided between seventy-eight properties. The department's 1928 annual report outlined a new approach to managing these holdings, dividing the city into six sections, west to east. "West of West Duluth" (District 1) went from 80<sup>th</sup> Avenue West to the western city limits. "West Duluth" (District 2) spanned from 80<sup>th</sup> to 33<sup>rd</sup> Avenues West and the "West End" (District 3) from 33<sup>rd</sup> to 9<sup>th</sup> Avenues West. Individual parks were categorized by size and function into six "classes": playgrounds, athletic fields or winter sports, small parks, special use areas (e.g., zoo, golf course), accessible larger parks, and inaccessible larger forest parks. Lincoln Park was in the West End division and was considered an "accessible larger park." This class was also called "Natural Scenic Parks—Rough Topography." "Almost without exception," the report observed, parks in this class "are ravine parks or so rugged that they are not susceptible to playground or athletic development." (Despite this statement, the report noted that Lincoln Park included a

<sup>23</sup> Bernice White, ed., "Paine, Frederic Rodney," *Who's Who in Minnesota, 1958 Centennial Edition*, vol. 4 (Seattle: Hugh L. White, [1958]), 216.

<sup>24</sup> DPD, *Annual Report, 1927*, n.p.; DPD, *Annual Report, 1928*, 25.

<sup>25</sup> DPD, *Annual Reports, 1927, 1928, 1931*.



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“small children’s playground” of one acre near 25<sup>th</sup> Avenue and 5<sup>th</sup> Street.”) In addition to Lincoln Park, the class included Central (Enger), Lower Chester, Congdon, Kitchi Gammi (Brighton Beach), Lester, and Oneota (Wheeler) parks.<sup>26</sup>

A “Permanent Properties Record” for Lincoln Park has details about the many parcels that were acquired for the park including the acreage, legal description, previous owners, type of title, and cost. The first transactions were in 1889 and the last were in 1934. The record also contains construction dates for park improvements, but many cannot be verified. According to the record, a two-story pavilion, another pavilion, and a tool house were in place before 1926. In 1926, comfort stations for men and women were constructed, costing \$1,500 and \$2,000, respectively. This is corroborated by the department’s 1926 annual report, which noted that comfort stations were installed at Lincoln Park and Fairmount Park that year. The buildings were screened with “vines, shrubs and evergreens” and found to be “entirely satisfactory.” The design was subsequently adopted as a standard for other parks.<sup>27</sup>

The property record also indicates that the following features were installed (or in place) in 1926: a dancing platform, warming house, guardrail and fence, stone steps and stairways, retaining walls (“388.8 cords”), two “rock arch bridges,” one concrete-slab bridge, one “rock arch foot bridge,” one 30-foot by 4-foot wood bridge, one 24-foot by 6-foot wood bridge, culverts and drains, 8,195 feet of stone gutter, a pipe culvert and catch basin, a stone culvert, 7,210 lineal feet of paths, 6,130 lineal feet of gravel road, a pool and fountain, water lines, two meter pits, and a playfield. Support facilities included a “barn, used for garage,” at 2408 West 9<sup>th</sup> Street; a tool house, garage, and office on the back of the lot at 2416 West 10<sup>th</sup> Street; and a two-story dwelling and garage at 2415 West 9<sup>th</sup> Street, where the park foreman resided. Like other larger parks, Lincoln had a full-time caretaker during the summer. The department also had a “house facing 26<sup>th</sup> Avenue West” but it was demolished in 1928 “due to the fact that it had become untenable.”<sup>28</sup>

This information provides insights into the park’s character during this period. The pool and fountain were still in existence, but the lake was apparently gone. Circulation systems were well-established with an extensive network of paths, stairways, and bridges. The length given for the gravel road—6,130 lineal feet—roughly corresponds to the length of Lincoln Park Drive from 3<sup>rd</sup> Street to Skyline Parkway, including the loop on the west side of Miller Creek between 4<sup>th</sup> and

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<sup>26</sup> DPD, *Annual Report, 1928*, 1, 2, 4, 9–10, 17, 20, 21.

<sup>27</sup> “Permanent Properties Record” is at DPR-DCH and was apparently compiled in the 1930s, with entries added through 1942. See also DPD, *Annual Report, 1926*, n.p. None of these buildings stand today.

<sup>28</sup> “Permanent Properties Record”; DPD, *Annual Reports, 1926–1930*. The park department retained the house at 2415 West 9<sup>th</sup> Street until at least 1936 based on a building permit (#35563, July 17, 1936) at the Construction Services and Inspections office at Duluth City Hall, but it has been owned by a private party since the mid-twentieth century (#81270, April 26, 1965). A building permit for erecting a dwelling (#3238), dated July 18, 1899, was for a single-story, 26- by 26-foot structure. The style of the existing house suggests that the second story was built at this time as well, although several permits from the 1910s are for additions of a stairway, basement, and, in 1915, conversion of the property from a single-family to a two-family dwelling. An outbuilding behind the house might be one of the other structures noted in 1926. A building permit dated November 4, 1916, was for remodeling the barn/stable into a garage. A later permit (#7822, September 22, 1924) noted that the “old barn” had two stories. None of the other park buildings from this era remain in place.

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6<sup>th</sup> Streets. The substantial Lincoln Park Bridge carrying 10<sup>th</sup> Street across the park was completed in 1927, with a short spur (about 100 feet long) connecting the street to Lincoln Park Drive. The approximately 170-foot-long road linking Lincoln Park Drive and Lincoln Parkway between 6<sup>th</sup> and 7<sup>th</sup> Streets was apparently installed at a later date. Park department records usually list the drive's length as 1.25 miles, or 6,600 feet.<sup>29</sup>



Lincoln Park gained a toboggan slide in 1927, joining one in Chester Park that had been established earlier. Park staff erected the upper section of Lincoln Park's slide of wood and the community pitched in to form the lower section from snow. The department's annual report claimed it was "longer than any other slide in the city and the most exciting." Two years later, the annual report acknowledged that "the toboggan slides in Lincoln Park were again maintained largely through the efforts of some of the boys in the community. The Park Department cooperated with them in putting up a wooden scaffolding for the beginning of the slide and building up the curves." In December 1930, an additional winter sport option appeared: "The Park Department built a small ski slide in Lincoln Park just below Ninth Street which is suitable for boys learning how to jump."<sup>30</sup>



*Lincoln Park Bridge carrying West 10<sup>th</sup> Street in 1929, two years after it opened (top right). Lincoln Park toboggan slide (top left) and ski jump (below) in 1931.  
(F. Rodney Payne, photographer; Archives and Special Collections, University of Minnesota Duluth)*

For the less adventurous, the department hosted summer concerts in the park in the late 1920s and early 1930s, reinforcing Lincoln Park's popularity. While it came in a distant second to Leif Erikson Park in the three summer months of 1930—with Leif Erikson logging in 107,450 visitors

and Lincoln counting 47,005—it was far ahead of the third-most popular park, Chambers Grove, which recorded 30,775 visitors.<sup>31</sup>

<sup>29</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 59; DPD, *Annual Report, 1929*, n.p.; DPD, *Annual Report, 1936*, n.p.

<sup>30</sup> DPD, *Annual Report, 1927*, n.p.; DPD, *Annual Report, 1930*, n.p..

<sup>31</sup> DPD, *Annual Report, 1929*, n.p.; DPD, *Annual Report, 1930*, n.p.

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The department's campaign to upgrade and organize the park system included connecting various segments of the bluff-edge parkway, culminating in a public contest to come up with a single name for the unified route. The winner was Skyline Parkway, although references to Rogers Boulevard and other earlier names continued to appear for years thereafter.<sup>32</sup>

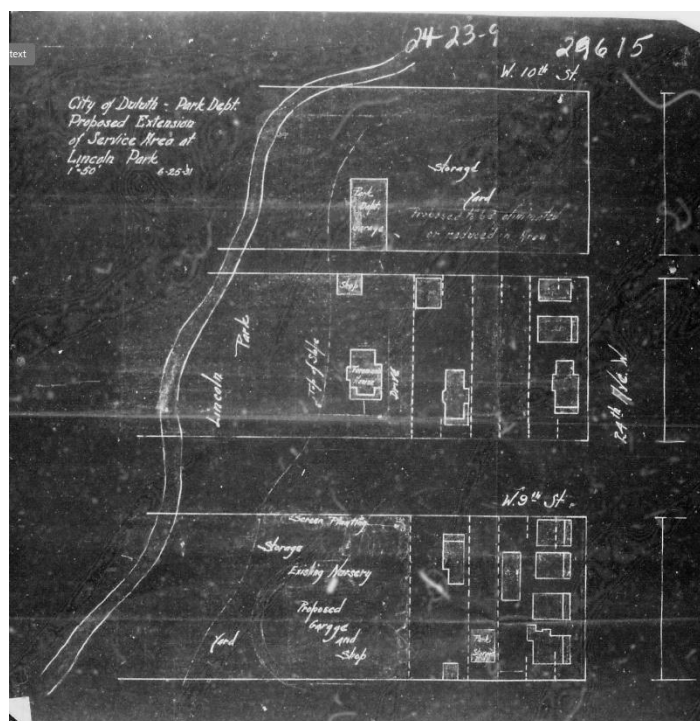
### Relief, 1931–1942

The park department began the 1930s by improving its maintenance facilities. It proposed to build an 80-foot by 70-foot building on the former nursery site on 9<sup>th</sup> Street to hold tools, shops, and a garage for cars and trucks. Its initial application for a building permit was denied by the city's Department of Buildings in July 1931 because the site was zoned residential.

Superintendent Paine appealed the decision. In a public hearing the following month, the appeal was granted "but on such conditions as will result in the least detriment and objection to the surrounding private property." Conditions included minimum setbacks for the building from the street and adjacent residences, screening by trees and fencing, and a paint color "that will

harmonize with the surroundings." In addition, the park department was required to store equipment and materials in the building rather than outside, as it had done previously. About half of the main level was a garage. The interior also held large carpenter and repair shops, a tool room, and a storage room, and had at least a partial basement. The city council did not approve the appeal until late October.<sup>33</sup>

The 9th Street building served the entire park system. In the first years of the depression, Lincoln Park did not receive much attention. The park department's annual report for 1933 noted expenditures at Lincoln Park of \$1,500 for guardrails, walls, and graveling, along with \$500 for thinning and clearing in the upper part of the park.<sup>34</sup>



*Sketch from the park department's 1931 application for a variance to erect a garage and shop building on the site of its nursery south of 9<sup>th</sup> Street. North of 9<sup>th</sup> Street was the foreman's house and shop and, north of the alley, a garage and a "Storage Yard—Proposed to be eliminated or reduced in area."  
(Duluth Construction Services and Inspections)*

<sup>32</sup> DPD, *Annual Report, 1929*, n.p.

<sup>33</sup> Building permits from 1931 and a copy of the official proceedings of the August 1931 hearing, adopted and approved by the city council in October, are at the Construction Services and Inspections office at Duluth City Hall.

<sup>34</sup> DPD, *Annual Report, 1933*, n.p.



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The next year, though, saw the start of a major project, the construction of a stone pavilion in partnership with the Civil Works Administration (CWA). The department's annual report showed an expenditure of \$12,000 in that year on the project and observed: "All of the relief work . . . was done by the most primitive methods and with practically no equipment." The city paid \$2,000 to have the pavilion's slate roof installed in 1935 and another \$500 for "grading, top dressing, graveling and seeding in vicinity of band stand." Work on the plumbing was finally accomplished in fall 1936 but the department did not consider the project finished until 1939.<sup>35</sup>

In addition to work on the pavilion, expenditures on the park included \$92.62 for a wall in 1934 and, in the following year, \$50 for a "backstop on playfield" and \$500 for "retaining wall." No more specific locations were given. By this time, the CWA program had been discontinued and the city was tapping into funds through the Works Progress

Administration (WPA) and other federal programs. This was a mixed blessing, as the department observed in 1936: "On account of the introduction of the use of WPA labor on maintenance, we were not able to accomplish a great deal and the older parks, such as Lincoln, Chester, Lester and Congdon, need a great deal of work on replacing walls, repairing paths, benches, etc. The Boulevard is not in good condition due to the fact that considerable sections of it were torn up on WPA work and money had not been available for hard surfacing."<sup>36</sup>

The park department struggled to take advantage of the rapidly changing requirements of federal relief programs with severely reduced staff. As early as 1932, the department's civil service employees were forced to take layoffs of up to six months and a 10-percent cut in wages. The situation began to improve in 1935 when the department assembled a team to implement federal relief projects: "The supervision and administration of the ERA and WPA work has been greatly facilitated by the addition to the office force of Mr. Walter Bartholdi, . . . Mr. [Harry P.] Steinbach, civil engineer, and Miss [Margherita] Tarr, landscape engineer." The annual report also lauded "the splendid cooperation of Mr. Horwitz, City Planning Engineer, and his



*Pavilion under construction in 1934 (above; F. Rodney Payne, photographer) and completed (below).  
(Archives and Special Collections,  
University of Minnesota Duluth)*

<sup>35</sup> DPD, *Annual Report, 1934*, 18–19; *Annual Report, 1935*, 19; *Annual Report, 1936*, 19; *Annual Report, 1938*, 1.

<sup>36</sup> DPD, *Annual Report, 1934*, 18; *Annual Report, 1935*, 19; *Annual Report, 1936*, 5.

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Department in the preparation of the WPA program.” By the following year, the team was gaining momentum. “Relief work in this Department up to 1936 was considerably handicapped by the lack of any regular engineering or landscaping engineers in this Department and the unfamiliarity with the work of those who were obtainable through the small amount of available funds,” according to the 1936 annual report. By that year, though, Steinbach, Tarr, Harlow, and others had gained experience and were able to streamline the process.<sup>37</sup>

Their success in obtaining federal funding for park work was a double-edged sword, as the 1939 annual report observed: “Operation of Federal Projects severely tax the Park Department staff of fifty employees who, in addition to the regular park department functions, are handling much of the work associated with a program giving employment to over 1,000 WPA and NYA workers. We have had as many as twenty-two different project units operating at one time under the supervision of this office.” To support the increased activity from New Deal programs, the park department renovated the shops/tool house in Lincoln Park in 1934, adding plumbing, electricity, and partitions, and again in 1939 when an attic level was inserted above the garage area “for light storage.” The park department used the tool house for decades thereafter, finally demolishing it in 1989.<sup>38</sup>

While much of the relief work involved construction, there were other types of projects too, including an update of the 1920s inventory of features in individual parks. This provided a snapshot of Lincoln Park as of September 1939, although information on the location of specific features is lacking. The inventory stated the park’s capacity to be 8,000 people, with “adequate” parking. It noted that “a permanent band stand of blue stone construction was completed during 1939 as part of the WPA program.” The park also had a second bandshell and four comfort stations, all in good condition. While provided with three stone and two concrete fireplaces, the park “needs more fireplaces and incinerators.” Furnishings included forty-five “stationary” benches, fifty-six iron benches with wood slats, ten stationary tables, and fifteen “table tops and horses stored in bandstand.” Most of these items were in good repair but two concrete benches were “broken.” The park also had two drinking fountains and a flagpole. Facilities for sports included one “diamond-ball field” and two “turning bars,” as well as a warming house in “fair” condition.<sup>39</sup>

The grounds were in good shape with adequate drainage, but more lighting was recommended to supplement six “tree floodlights.” Circulation was aided by two footbridges, one concrete and one “iron,” and four vehicular bridges, three “stone” and one concrete. Of the “steps in park grounds,” eleven were stone and four were concrete. Retaining walls along the creek were

<sup>37</sup> DPD *Annual Report, 1932*, 1; *Annual Report, 1935*, 4; *Annual Report, 1936*, 1. Born and raised in Duluth, Margherita Tarr received a degree from the landscape architecture program at Iowa State College at a time when few women were in the field. After working for the park department in Duluth for a few years, she returned to Iowa for a long career with the school’s agricultural extension program. See Martha Ann Hunt, “Margherita Tarr: Her Work as an Extension Landscape Architect, 1939–1969,” MLA thesis, Iowa State University, January 1995, at Iowa State University Digital Repository, <https://lib.dr.iastate.edu/rtd/18346>.

<sup>38</sup> DPD, *Annual Report, 1939*, 1; two sheets of plans dated January 1939, prepared by engineer H. P. Steinbach, and building permits from 1934, 1939, and the 1970s–1980s, including the demolition permit (#6774, March 14, 1989), are at the Construction Services and Inspections office at Duluth City Hall.

<sup>39</sup> “Lincoln Park,” two typed notecards, September 1939, at DPR-DCH.

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considered in good repair, but an iron guardrail around the creek was “dangerous”—“warning signs should be placed in park along creek on high retaining walls.” One of the park’s thirty-two trails was labeled “very dangerous.”<sup>40</sup>

The inventory noted that in the coming winter, the park department planned to use National Youth Administration (NYA) labor to erect stone retaining walls and “completely eliminate the iron guardrails now in use with walls of stone.” A major upgrade was implemented during the next few years under the supervision of park department staff. Improvements in 1939 “consisted of the construction of retaining walls, paths, foot bridges, fireplaces, and picnic tables, the installation of guardrails, widening the roadway, and the clearing and grading of a picnic area.” The budget for NYA labor that year totaled \$11,959 and the city chipped in \$5,494 for materials and other non-labor expenses. Ten stone picnic tables, three stone fireplaces, and 200 feet of stone retaining walls were installed. Other work included “remodeling [the] 6<sup>th</sup> St. bridge,” installing a “steel and concrete foot bridge with pipe railing” at 8<sup>th</sup> Street, and placing 380 feet of gas and water lines to the pavilion and a 6-foot sewer line from the pavilion to 26<sup>th</sup> Avenue at the 4<sup>th</sup> Street alley. The inventory form also mentioned renovation of the service buildings at 9<sup>th</sup> and 10<sup>th</sup> Streets.<sup>41</sup>

The park department’s report for 1940 provided dimensions for the masonry walls constructed that year and gave some indication of where there were located: “330' west side, 9' to 28' high, 10'-8" to 4' wide; 300' 6<sup>th</sup> St. side, 9' to 22' high, 9'-8" to 4' wide; 120' 5<sup>th</sup> St., 16' to 27' -8" high, 10'-8" to 6' wide; 200' 25<sup>th</sup> Ave. W., 6' high, 9' to 4' wide (footing) (2720 cu. yds.).” These were apparently the walls around the terrace along 25<sup>th</sup> Avenue between 5<sup>th</sup> and 6<sup>th</sup> Streets and might have been related to an item added to the scope in 1940, “the enlargement of a play area.” Crews also completed 3,000 cubic yards of grading and excavating, cleaned 1,300 feet of creek bed, and installed five stone and concrete “cascades”—described as “6' base, 25' wide, 4" to 36" deep.” They planted shrubs and erected two stone fireplaces. Other construction included a stone and concrete bridge at 5<sup>th</sup> Street measuring 6 feet wide by 20 feet long with a 3-foot guardrail. The area around 8<sup>th</sup> Street received particular attention with the installation of a stone settee, 35 granite and concrete steps, a 350-foot-long stone guardrail measuring 3 feet high and 18 inches deep, and 350 feet of gravel, stone and concrete walkways and steps. By the end of the year, the NYA had spent \$24,663 on labor for work in the park.<sup>42</sup>

Lincoln Park received this attention just in time. Soon, the economy was reviving and the war effort diverted attention from parks. Funding for federal relief programs dropped substantially in 1941 as the department reported that year. The availability of WPA funding was uncertain and the “NYA is already out of the picture, which means any further work at the Lincoln Playfield in cleaning up the remainder of the project will have to be done with city funds.” The “Revised Lincoln Park Playground” was one of some two dozen “additions . . . made to the Park Department during the past ten years,” according to its 1941 annual report, and the playground was one of a few “major projects” that the department concentrated on that year. The city built a

<sup>40</sup> “Lincoln Park,” two typed notecards, September 1939, at DPR-DCH.

<sup>41</sup> “Lincoln Park,” two typed notecards, September 1939, at DPR-DCH; DPD, *Annual Report, 1939*, n.p.

<sup>42</sup> DPD, *Annual Report, 1940*, 6, 7, 34-35; DPD, *Annual Report, 1941*, 14, 27.



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warming house, installed a fence, and began grading the playground in 1941 and spent another \$231 the next year to complete the grading.<sup>43</sup>

### **World War II to Today**

After the war, records on the park's physical evolution became even more limited as the department's annual reports focused on recreational activities. This was presaged in 1943 by Superintendent John Hoene, who wrote that "recreation, a word which was unheard of a few years ago, has become a very important activity or phase of a person's life. It should be pointed out at this point that all of the activities carried on by the Park Department are recreational." In 1957, the office was renamed the Department of Public Recreation.<sup>44</sup>

Despite this emphasis, the Lincoln Park toboggan slide was apparently not revived after the war. The park did offer two skating rinks most winters, though, one for general use and one specifically for hockey. To keep children active in the summer, the department and the Duluth Board of Education jointly initiated a program at eleven playgrounds. Over 50,000 children enrolled in 1949 including 9,640 at Lincoln Park, which claimed the largest attendance. Programming was expanded for teens in the 1950s and adults by the following decade.<sup>45</sup>

An undated assessment of the park describing infrastructure, amenities, and condition is perhaps from the 1950s or 1960s. At the time, the park had both a skating rink and a hockey rink, with a warming house that needed painting. The "orchestra shell" exhibited "much damage" and the park was "subject to vandalism." A shed was in poor condition with "much debris." While a flowerbed looked good, the landscape was generally "untrimmed." The survey recommended that the safety of the park's three bridges should be checked. The survey estimated the value of the park's five buildings: warming house, \$250; tool house, \$7,900; "field house," \$20,000; comfort station, \$3,500; and dwelling, \$5,000. It is not known when the warming house and comfort stations were demolished. The "field house" apparently denotes the pavilion.<sup>46</sup>

In 1970, the pavilion was upgraded for use as a warming house and playground shelter. In the following year, trees were removed in front of the building and the land was regraded for a skating rink. A park department crew also "cleared all brush, dead trees etc., in the area from Third Street up to the pavilion," with plans for more clearing "further up the Park" the next summer. Despite this effort, though, "much other work remains to be done, such as repair of retaining walls and barricades along paths, cleaning and repair of stairways and paths, etc."<sup>47</sup> The pavilion's tenure as a public shelter was apparently short-lived: photographs taken in 1976 show its windows boarded. City records note that the original entries to the restrooms were blocked in 1981 and new openings were cut.<sup>48</sup>

<sup>43</sup> DPD, *Annual Report, 1941*, 1, 5, 27; DPD, *Annual Report, 1942*, 32.

<sup>44</sup> DPD, *Annual Report, 1943*, 1.

<sup>45</sup> DPD, *Annual Report, 1948*, 15; DPD, *Annual Report, 1949*, 15.

<sup>46</sup> The undated "General Analysis of Duluth Park and Recreation Properties" is at DPR-DCH.

<sup>47</sup> DPD, *Annual Report, 1970*, cover letter by Harry Nash; DPD, *Annual Report, 1971*, 7.

<sup>48</sup> Lisa Luokkala, Duluth Parks and Recreation, to Sarah Beimers, Minnesota SHPO, letter, February 13, 2019.

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The park continued to be the scene of activity throughout the year. According to the 1986 annual report, “the Lincoln Recreation Center was open in the winter and summer for 126 days, a total of 756 hours, for an average of 6 hours a day in 1986.” The report explained that the facility “is used for pleasure skating, boot hockey, and drop-in recreation in the winter and is programed for summer recreation.” The “center” might have been in the pavilion or in the concrete-block structure that replaced the old warming house on the terrace at 25<sup>th</sup> Avenue and 5<sup>th</sup> Street. The 1990 annual report noted that a building at the park was “painted inside and out,” presumably referring to the concrete-block structure, and a new hockey rink was installed. The concrete-block structure was demolished in 2019.<sup>49</sup>

By the turn of the twenty-first century, the historical significance of Lincoln Park was being recognized. The Duluth Heritage Preservation Commission hired historian Patrick Nunnally in 1995 to study the history of Skyline Parkway and evaluate its significance, resulting in a report two years later titled “Jewel of the North: Duluth’s Parkway System.” In 1998, RLK-Kuusisto and Sanders Wacker Bergly prepared a “Lincoln Park Restoration and Rehabilitation Plan.”<sup>50</sup> Historian Will Stark completed a cultural resources inventory of Skyline Parkway in 2011 that described some of Lincoln Park’s historic and non-historic features. He concluded that “as one of Duluth’s oldest city parks, Lincoln Park has undergone numerous changes [over] the years. Although the park includes modern playground features, picnic shelters, and bridges, many of the historic elements and minor features remain intact. The park serves its same purpose and its use of stone material in its amenities . . . remains part of its character. It is unclear what features might have been removed over the years.”<sup>51</sup>

By this time, the park’s popularity and the ravages of nature were causing deterioration of the older facilities. The bridge over Miller Creek between Lincoln Park Drive and the pavilion was replaced in 2003 (Bridge 69650), and the bridge carrying the road at 6<sup>th</sup> Street was replaced in 2011–2012 (Bridge 69679). An arsonist torched the pavilion in 2014, damaging the roof structure. A devastating flood in 2012 led to a substantial shoreline project for Miller Creek several years later funded by the Federal Emergency Management Agency.<sup>52</sup>

In February 2016, the park department completed a mini-master plan for improvements on the Plateau section and subsequently obtained funding from the National Park Service and the U.S. Department of Housing and Urban Development for the project. The federal funding required an assessment of the park’s cultural resources and a review of the project’s effects under Section 106 of the National Historic Preservation Act. The assessment concluded that the park qualified for the National Register under Criterion A in the areas of Community Planning and

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<sup>49</sup> DPD, *Annual Report, 1986*, n.p.; DPD, *Annual Report, 1990*, 60.

<sup>50</sup> RLK-Kuusisto and Sanders Wacker Bergly, “Lincoln Park Restoration and Rehabilitation Plan, City of Duluth, Minnesota,” November 10, 1998, prepared for the City of Duluth and available at DPR-DCH. The copy referenced is labeled “draft.”

<sup>51</sup> William Stark, “Garfield Park/Lincoln Park” (SL-DUL-2440), Minnesota Architecture-History Inventory Form, 2011, prepared by Stark Preservation Planning as part of the Skyline Parkway Cultural Resources Inventory, at Minnesota SHPO.

<sup>52</sup> Luokkala, to Beimers, February 13, 2019; correspondence related to the FEMA project (DR-4069-MN, PW 856/SHPO File Number 2016-0267) is in the files of the Minnesota SHPO.

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Development and Entertainment/Recreation and under Criterion C in the area of Landscape Architecture. The period of significance was initially established as 1889-1942, an end date reflecting the conclusion of federal-relief improvements. The project scope met the Secretary of the Interior's Standards for the Treatment of Historic Properties, specifically the Standards for Rehabilitation, with one exception. The stone wall supporting the base of the sports-field terrace was failing and had to be removed. Rather than reconstructing the wall, the slope was modified to accommodate an accessible trail into the park from 25<sup>th</sup> Avenue. As mitigation for this adverse effect, the park department documented Lincoln Park for the Minnesota Historic Property Record, installed six panels interpreting the park's history, and prepared this National Register nomination.

### **Lincoln Park's Significance**

#### ***Community Planning and Development***

Duluth stretches for about 26 miles along the western shore of the Saint Louis River and Lake Superior. It attained this sprawling size by annexing adjacent communities in the last quarter of the nineteenth century and first decades of the twentieth century. The city's downtown overlooks Superior Bay at the river's mouth, separated from the lake by the long sandbars of Minnesota and Wisconsin Points. While the city's long axis is generally oriented northeast-southwest, the areas flanking downtown are known as west (along the Saint Louis River) and east (along Lake Superior). Both hold residential and commercial development but evolved differently, producing unique characteristics that remain evident today. The city's middle and upper classes generally lived on the east side. The west side had a more industrial character. Massive ore docks rose along the riverfront, served by a network of rail lines transporting ore from Minnesota's iron ranges. Residents were mostly working class, including a high proportion of recent immigrants from Scandinavia, Italy, and Slavic countries.

The deep rivalry between east and west was a formative influence in Duluth's history. Park administrators sought from the outset to develop comparable facilities on each side. Historians Nelson and Dierckins observed that "the Duluth Board of Park Commissioners spent thousands of dollars in the 1890s purchasing land and developing Lincoln Park in the West End and Chester Park in the eastern part of the heavily populated city center." This balancing act continued as the park system expanded. When Duluth annexed the area with Lester Park in 1893, for example, residents of the "West Side" (west of Lincoln Park) felt left out. In response, the board began planning Fairmont Park, purchasing 40 acres along Kingsbury Creek near Grand Avenue and 71<sup>st</sup> Avenue West in 1901. Historian Van Brunt, writing in 1921, called Duluth's park system "one of the most creditable results of worthy town-planning."<sup>53</sup>

Guidance from the National Park Service distinguishes between community "planning" ("a deliberate activity intended by design or intent to direct and manage growth or use") and community "development" ("change to the physical environment through activities such as the subdivision of land or construction of buildings and infrastructure"). In the case of Lincoln Park, both definitions apply under Criterion A. In the area of Planning and Community Development,

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<sup>53</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 89; Van Brunt, *Duluth and Saint Louis County*, 1:273.



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the period of significance begins in 1889 when the board of park commissioners purchased the first land for Lincoln Park and ends in 1896, the year of the park's official opening.<sup>54</sup>

***Entertainment/Recreation***

When conducting the first inventory of its holdings, the park department placed Lincoln Park in the category "Natural Scenic Parks—Rough Topography." The classification also included parts of Central/Enger and Oneota/Wheeler Parks on the west side and Chester, Congdon, Brighton Beach/Kitchi Gammi, and Lester Parks on the east side.

Each had a unique history and its own character:

- When land a short distance west of downtown Duluth was platted in 1870, about 30 acres were set aside for Central Park. The steep, rocky site was unimproved until the 1920s when the city acquired a large parcel above it, known as Grand View Mountain, and established Enger Park there. Central Park was incorporated into—and overshadowed by—that development, which included a golf course and, by the 1930s, an iconic observation tower. Criss-crossed by a few roads and trails, the challenging Central Park slope was otherwise left in its natural state.<sup>55</sup>
- The Wheeler Athletic Complex, associated with the undeveloped Oneota Park, adopted the family name of the former estate it occupied. Henry Wheeler's property became the site of the Saint Louis County fair in 1876. The fair's horseracing track remained in use for several years after the fair relocated in 1911. The city installed baseball diamonds on the property in 1919 and acquired it seven years later.<sup>56</sup>
- In 1888, Duluth's only parkland was Portland Square on 4<sup>th</sup> Street East. That year, according to historian Walter Van Brunt, "the city council and the chamber of commerce 'came to an agreement as to the city parks,'" proposing to establish Chester Park along with Lincoln Park and Cascade Park (up the hill from downtown Duluth). Both Lincoln and Chester Parks were centered on creeks plunging through dramatic ravines, with Chester Creek giving that park its name. "The Board of Public Works was instructed to lay out [these] tracts, to be conserved as parks." A year later, the newly formed board of park commissioners became responsible for developing the parks. In 1920, Chester Park's original size was expanded when the city purchased a 51-acre parcel directly upstream. The course of the creek in "Upper Chester," also known as Chester Bowl, meandered through a relatively flat valley edged by steep hills, a marked contrast with its steep descent in "Lower Chester."<sup>57</sup>
- Chester Congdon began lobbying the city to create a park along Tischer Creek upstream from his estate, Glensheen, in 1905. In addition to donating some land for Congdon Park, he paid to have a design prepared by New York landscape architect Charles Leavitt, who was laying out Glensheen's grounds at the time. A footpath and bridle trail were installed following Leavitt's plans but more elaborate improvements, including a botanical garden

<sup>54</sup> "Area of Significance: Community Planning and Development," *Best Practices Review* 10 (January 2025): 2.

<sup>55</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 127-136.

<sup>56</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 212-213.

<sup>57</sup> Van Brunt, *Duluth and Saint Louis County*, I:271; "Addition to Park Will be Popular, Says Cleveland," *Duluth News Tribune*, June 28, 1920; "Three-Day Fete to Mark Dedication of Skyline Parkway, Chester Bowl," *Duluth News Tribune*, July 26, 1929.

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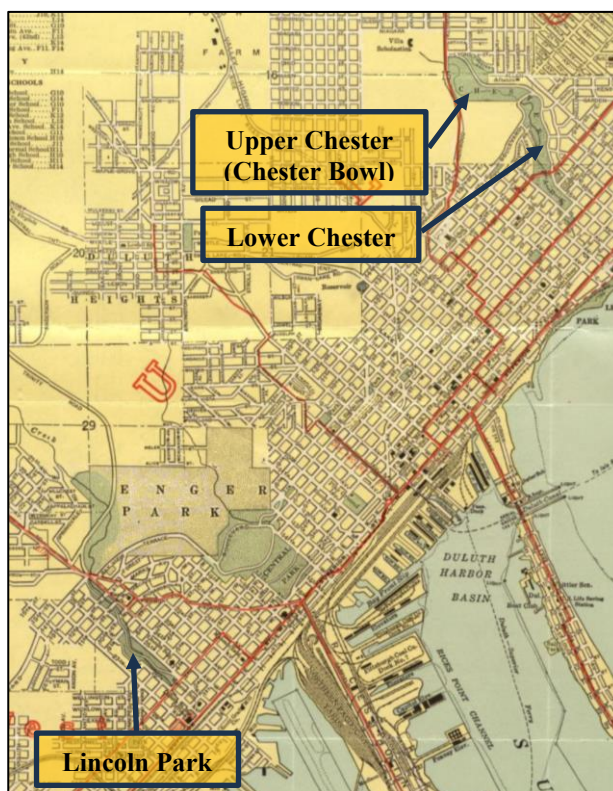
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and Swiss chalet, were never implemented and the park remained relatively undeveloped.<sup>58</sup>

- Kitchi Gammi Park was not established until 1922, initially holding the Brighton Beach Tourist Camp on the east side of the Lester River. It became more accessible a few years later when a bridge opened near the river's mouth.<sup>59</sup>
- Lester Park was first envisioned by a late nineteenth-century investor who platted a neighborhood by the same name along the Lester River. The land was beyond Duluth's border until 1893, when it was annexed by the city. By that time, a 20-acre park edged the river at its intersection with Amity Creek. The park's elaborate pavilions, unique bridges, and rustic trails made it a popular exurban destination.<sup>60</sup>

Of this group, only Chester Park seems comparable to Lincoln Park. The others were initially developed in different eras (Oneota/Wheeler, Kitchi Gammi/Brighton Beach), offered different types of facilities (Oneota/Wheeler, Central/Enger, and Kitchi Gammi/Brighton Beach), and/or had few improvements (Central and Congdon). Although Lester Park was a contemporary of Lincoln Park and part of the city by 1893, it "was separated from Duluth by many blocks of undeveloped land," according to historians Nelson and Dierckins. They quote a late nineteenth-century newspaper describing the journey from the city center to Lester Park in a streetcar: "For the simple pleasure of the view as seen from the car window the [person] taking this six-mile ride is well repaid."<sup>61</sup>

Chester Park, on the other hand, offered facilities and activities on the east side paralleling what Lincoln Park provided on the west side, maintaining the requisite balance between the city's halves (see Community Planning and Development above). The original Lower Chester is a long, narrow parcel edging Chester Creek between Skyline Parkway and Fourth Street. Except for a small terrace with a sports field at the corner of 5<sup>th</sup> Street and 15<sup>th</sup> Avenue East—similar to Lincoln Park's sports terrace along 25<sup>th</sup> Avenue—the land descends dramatically from Skyline Parkway and is rocky and heavily wooded, much like the upper ravine at Lincoln Park. Historian Van



*A detail of a 1935 map with  
Lincoln and Chester Parks highlighted.  
(McGill-Warner Company)*

<sup>58</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 117-119.

<sup>59</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 123-126.

<sup>60</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 78-88.

<sup>61</sup> Nelson and Dierckins, *Duluth's Historic Parks*, 78.

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Brunt explained the park's namesake, Charles Chester, settled in the fledgling village of Duluth in the 1850s, and seven decades later "much of [the park] is still as it was then—a place where nature is permitted to hold to natural dress." The same can be said a century after Van Brunt's book was published.<sup>62</sup>

In the early twentieth century, winter sports enthusiasts acquired land above Chester Park and created ski jumps and toboggan runs on the hillside. By 1920, however, the ski club was unable to maintain the property and sold it to the city, which installed tennis courts, sports fields, and other facilities. Chester Park Drive was extended to terminate at Chester Bowl, which became a popular site for concerts and festivals. A three-day celebration in 1929 marked the official completion of the "Chester Park recreational bowl" and the segment of Skyline Parkway connecting Duluth and Jay Cooke State Park.<sup>63</sup>

With the expansion, Chester Park became larger than Lincoln Park and its amenities were more developed. The Chester Bowl and Lower Chester together, though, are quite comparable to Lincoln Park historically and today. Both offer challenging hiking trails along streams whose rushing water blocks urban noise, offering wilderness-like experiences in the midst of long-established neighborhoods. Both have historically accommodated a broad range of summer and winter sports as well as concerts, picnics, and other activities. Events scheduled for the city's parks in 1929, for example, included picnics for the Norwegian Lutheran Church, Trinity English Lutheran Church, and Grand United Order of Odd Fellows in Chester Park and a Salvation Army band concert and Swedish religious gathering in Lincoln Park. The Kiwanis Club sponsored a series of concerts at Chester Park in 1920 and the first program drew an audience of 2,000 to hear the American Legion Band. With a high percentage of Scandinavian immigrants and their families in the neighborhood surrounding Lincoln Park, it was a logical place for midsummer festivals hosted by Swedish-American groups and, not to be outdone, Finnish-Americans. Likewise, the area's working-class population organized Socialist and union rallies there.<sup>64</sup>

Lincoln Park's long legacy as a locally significant destination for Entertainment/Recreation qualifies the property for the National Register under Criterion A. It was immediately popular at the time it was established and remains a beloved, well-used public resource on Duluth's west side in the twenty-first century. In addition to providing parity with Chester Park and serving as an amenity for Duluth's Lincoln Park neighborhood, it has historically accommodated unique events attracting participants from throughout the city and beyond. The period of significance begins in 1896 when the park officially opened and ends in 1975 in conformance with the National Register's fifty-year benchmark.

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<sup>62</sup> *Duluth-Superior "Twin Ports"* (Saint Paul: McGill-Warner Company, 1935), at Archives and Special Collections, University of Minnesota Duluth, accessed July 23, 2025, <https://collection.mndigital.org/catalog/nemhc>; Van Brunt, *Duluth and Saint Louis County*, I:128.

<sup>63</sup> "Addition to Park Will be Popular, Says Cleveland," *Duluth News Tribune*, June 28, 1920; "Three-day Fete to Mark Dedication of Skyline Parkway, Chester Bowl," *Duluth News Tribune*, July 26, 1929.

<sup>64</sup> "750 Hear City Band at Chester Park," *Duluth News Tribune*, August 11, 1924; "2,000 Hear First Open-Air Concert by Legion Band," *Duluth News Tribune*, June 7, 1920.



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## 9. Major Bibliographical References

**Bibliography** (Cite the books, articles, and other sources used in preparing this form.)

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Library of Congress  
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Minnesota Historical Society  
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Minnesota State Historic Preservation Office

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**Previous documentation on file (NPS):**

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # \_\_\_\_\_
- ☐ recorded by Historic American Engineering Record # \_\_\_\_\_
- ☐ recorded by Historic American Landscape Survey # \_\_\_\_\_

**Primary location of additional data:**

- ☐ State Historic Preservation Office
- ☐ Other State agency
- ☐ Federal agency
- ☐ Local government
- ☐ University
- ☒ Other



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Name of repository: Duluth Parks and Recreation, Duluth City Hall; Archives and  
Special Collections, Kathryn A. Martin Library, University of Minnesota Duluth

Historic Resources Survey Number (if assigned): SL-DUL-02440

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## 10. Geographical Data

Acreage of Property Approx. 43.3 acres

Use either the UTM system or latitude/longitude coordinates

### Latitude/Longitude Coordinates

Datum if other than WGS84: \_\_\_\_\_

(enter coordinates to 6 decimal places)

- |              |            |
|--------------|------------|
| 1. Latitude: | Longitude: |
| 2. Latitude: | Longitude: |
| 3. Latitude: | Longitude: |
| 4. Latitude: | Longitude: |

Or

### UTM References

Datum (indicated on USGS map):

☐ NAD 1927 or ☐ NAD 1983

- |          |           |           |
|----------|-----------|-----------|
| 1. Zone: | Easting:  | Northing: |
| 2. Zone: | Easting:  | Northing: |
| 3. Zone: | Easting:  | Northing: |
| 4. Zone: | Easting : | Northing: |

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UTM Point	Zone	Easting	Northing
1	15T	565422	5180341
2	15T	565448	5180335
3	15T	565449	5180299
4	15T	565777	5180011
5	15T	565732	5179960
6	15T	565785	5179914
7	15T	565799	5179931
8	15T	565831	5179902
9	15T	565767	5179831
10	15T	566223	5179432
11	15T	566143	5179340
12	15T	566090	5179387
13	15T	566111	5179410
14	15T	566095	5179424
15	15T	566074	5179401
16	15T	565976	5179488
17	15T	565942	5179450
18	15T	565905	5179482
19	15T	565939	5179520
20	15T	565862	5179587
21	15T	565862	5179571
22	15T	565768	5179587
23	15T	565692	5179651
24	15T	565704	5179726
25	15T	565603	5179814
26	15T	565633	5179848
27	15T	565585	5179890
28	15T	565555	5179855
29	15T	565485	5179916
30	15T	565546	5179985
31	15T	565579	5179957
32	15T	565612	5179995
33	15T	565452	5180134
34	15T	565450	5180198
35	15T	565413	5180309

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**Verbal Boundary Description** (Describe the boundaries of the property.)

Lincoln Park comprises the following described real property located in St. Louis County, Minnesota:

Lots 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413 and 415, Block 114,

DULUTH PROPER SECOND DIVISION

Southerly Seventy feet (70') of Lots 414 and 416, Block 114, DULUTH PROPER SECOND DIVISION

Lots 401-416, inclusive, Block 120, DULUTH PROPER SECOND DIVISION

Lots 401-416, inclusive, Block 149, DULUTH PROPER SECOND DIVISION

Lots 417 and 419, Block 150, DULUTH PROPER SECOND DIVISION

Lots 401-416, inclusive, Block 152, DULUTH PROPER SECOND DIVISION

All that part of the Northeast Quarter of Southwest Quarter of Southeast Quarter (NE  $\frac{1}{4}$  of SW  $\frac{1}{4}$  of SE  $\frac{1}{4}$ ) of Section 32, Township 50 North, Range 14 West of the Fourth Principal Meridian, according to the government survey thereof, described as follows: Beginning at a point on the east line of said Southwest Quarter of the Southeast Quarter (SW  $\frac{1}{4}$  of SE  $\frac{1}{4}$ ) seven hundred sixty-five feet (765') north of the southeast corner thereof; thence along the said east line to the northeast corner; thence west along the north line thereof five hundred ten feet (510'); thence south ten degrees west ( $10^{\circ}$  W) two hundred forty-seven feet (247'); thence south forty-eight degrees and thirty minutes east ( $S 48^{\circ} 30' E$ ) three hundred thirty-five feet (335'); thence south seventy-seven degrees thirty minutes east ( $S 77^{\circ} 30' E$ ) to the point of beginning; EXCEPT for those portions used for street and utility purposes in connection with Lincoln Parkway

Lots 401, 403 and 405, Block 171, DULUTH PROPER SECOND DIVISION

Lots 1-16, inclusive, Block 9, SPALDING'S ADDITION TO DULUTH

Lots 1-32, inclusive, Block 10, SPALDING'S ADDITION TO DULUTH, EXCEPT for those portions of Lots 15-18 in said Block 10 used for street and utility purposes in connection with N. Twenty-Sixth Ave. W.

Lots 1-16, inclusive, and Lots 23-32, inclusive, Block 11, SPALDING'S ADDITION TO DULUTH

Lots 1-28, inclusive, Block 12, SPALDING'S ADDITION TO DULUTH, EXCEPT for those portions of said Block used for street and utility purposes

Lots 16-25, inclusive, Block 7, SPALDING'S ADDITION TO DULUTH A-2

Lots 10-32, inclusive, Block 6, SPALDING'S ADDITION TO DULUTH

Lots 1-32, Block 5, SPALDING'S ADDITION TO DULUTH, EXCEPT for those portions of said Block used for street and utility purposes

Lots 1-5, inclusive, Block 4, SPALDING'S ADDITION TO DULUTH—need cancellation of forfeiture

Lots 6-25, inclusive, Block 4, SPALDING'S ADDITION TO DULUTH, EXCEPT for those portions of Lots 15-18 in said Block 4 used for street and utility purposes

Lots 15 and 16, Block 14, SPALDING'S ADDITION TO DULUTH

Lots 1-6, inclusive, Block 59, HARRISON'S BROOKDALE DIVISION OF DULUTH

Lots 1-11, inclusive, Block 48, HARRISON'S BROOKDALE DIVISION OF DULUTH

Lots 1-13, inclusive, Block 38, HARRISON'S BROOKDALE DIVISION OF DULUTH



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Lots 1-20, inclusive, Block 39, HARRISON'S BROOKDALE DIVISION OF DULUTH  
That piece or parcel of land lying between the Boulevard as now laid out and used, and  
the West line of Harrison's Brookdale Division of Duluth, according to the  
recorded plat thereof, being a part of the S1/2 of S1/2 of E1/2 of NW1/4 and of  
S1/2 of S1/2 of N1/2 of S1/2 of E1/2 of NW1/4 of Section 32, Township 50  
North, Range 14 West of the Fourth Principal Meridian, EXCEPT for that portion  
used for street and utility purposes

**Boundary Justification** (Explain why the boundaries were selected.)

This boundary encompasses the historic property associated with Lincoln Park. A restrictive covenant requires the City of Duluth to permanently manage and maintain this property for public outdoor recreation use.

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**11. Form Prepared By**

name/title: Charlene Roise, Historian  
organization: Hess, Roise and Company  
street & number: 100 North First Street  
city or town: Minneapolis state: MN zip code: 55401  
e-mail: roise@hessroise.com  
telephone: 612-338-1987  
date: October 2025

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**Additional Documentation**

Submit the following items with the completed form:

- **Maps:** A USGS map or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

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### Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

### Photo Log

Name of Property:

City or Vicinity:

County:

State:

Photographer:

Date Photographed:

Description of Photograph(s) and number, include description of view indicating direction of camera:

1 of \_\_\_\_.

**Paperwork Reduction Act Statement:** This information is being collected for nominations to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 460 et seq.). We may not conduct or sponsor and you are not required to respond to a collection of information unless it displays a currently valid OMB control number.

**Estimated Burden Statement:** Public reporting burden for each response using this form is estimated to be between the Tier 1 and Tier 4 levels with the estimate of the time for each tier as follows:

Tier 1 – 60-100 hours  
Tier 2 – 120 hours  
Tier 3 – 230 hours  
Tier 4 – 280 hours

The above estimates include time for reviewing instructions, gathering and maintaining data, and preparing and transmitting nominations. Send comments regarding these estimates or any other aspect of the requirement(s) to the Service Information Collection Clearance Officer, National Park Service, 1201 Oakridge Drive Fort Collins, CO 80525.