



CITY OF DULUTH

PLANNING & CONSTRUCTION SERVICES
 Community Planning Division
 411 West First Street – Room 208 - Duluth, Minnesota 55802-1197
 218-730-5580 – An Equal Opportunity Employer

Planning Commission Agenda

City Council Chambers, 3rd Floor Duluth City Hall

Tuesday, June 12, 2018 – 5:00 PM

Call to Order and Roll Call

Approval of Planning Commission Minutes (May 8, 2018)

Consent Agenda

Items that are perceived to be non-controversial or routine will be placed on the consent agenda. There will not be an individual public hearing on each of these items unless the applicant or a member of the public wishes to speak to the matter. These items on the consent agenda will be approved by the planning commission with one vote.

1. PL 18-058 Vacation of 125 Feet of Unimproved Platted Right of Way (Alley) Between South 90th and 91st Avenues West and Clyde Avenue by Scott and Beth Nelson
2. PL 18-059 Concurrent Use Permit for Private Obstruction (Structure Cladding or Surfacing) in the Public Right of Way of Michigan Street at 310 East Superior Street by First North Development LLC
3. PL 18-060 Concurrent Use Permit for Private Obstruction (Existing Structure's Footprint) in the Public Rights of Way of 60th Avenue East and Superior Street at 6001 East Superior Street by North Shore Veterinary Hospital
4. PL 18-061 Concurrent Use Permit for 1.5 Foot Building Encroachment (Existing Structure's Footprint) in the Platted Right of Way of 13th Avenue East at 1231 East Ninth Street by Jordan Decaro
5. PL 18-062 Concurrent Use Permit for Private Obstruction (Small Cell Antenna) in the Public Right of Way in the Public Right of Way of North 6th Avenue West at Approximately 98 North 6th Avenue West by CommNet Cellular Inc d/b/a Verizon Wireless
6. PL 18-063 Concurrent Use Permit for Private Obstruction (Small Cell Antenna) in the Public Right of Way of Maple Grove Road at Approximately 2150 Maple Grove Road by CommNet Cellular Inc d/b/a Verizon Wireless
7. PL 18-064 Concurrent Use Permit for Private Obstruction (Small Cell Antenna) in the Public Rights of Way of West Railroad Street and Canal Park Drive at Approximately 688 West Railroad Street and 250 Canal Park Drive by CommNet Cellular Inc d/b/a Verizon Wireless
8. PL 18-070 Minor Subdivision to Separate Two Single Family Homes at 2226 and 2230 Minnesota Avenue by Gregory Peterson

Public Hearing

9. PL 18-069 UDC Map Amendment to Rezone Property on the South Side of Arrowhead Road, Between Swan Lake Road and Rice Lake Road (Harbor Light Development), from Residential-Urban (R-2) to Mixed Use-Planned (MU-P) by Brad Johnson

Communications

10. Manager's Report
-Brown Bag Meeting, Tuesday, May 19th, at 12:00 PM
11. Reports of Officers and Committees
-Heritage Preservation Commission Representative
12. Adjournment

City of Duluth
 Planning Commission
 May 8, 2018 Meeting Minutes
 Council Chambers - Duluth City Hall

Call to Order

President Michael Schraepfer called to order the meeting of the city planning commission at 5:00 p.m. on Tuesday, May 8, 2018, in city hall council chambers.

Roll Call

Attending: Jason Crawford, Margie Nelson, Michael Schraepfer, Luke Sydow, Sarah Wisdorf, and Zandra Zwiebel

Absent: Janet Kennedy and Tim Meyer

Staff Present: Keith Hamre, Robert Asleson, Steven Robertson, John Kelley, Chris Lee, and Cindy Stafford

Approval of Planning Commission Minutes – April 10, 2018

MOTION/Second: Zwiebel/Wisdorf approve the minutes.

VOTE: (6-0)

Consent Agenda and hearing

Items that are perceived to be non-controversial or routine will be placed on the consent agenda. There will be no staff presentations on these items; the Planning Commission will be acting upon the staff recommendation and conditions written in the staff reports. There will not be an individual public hearing on each of these items unless the applicant or a member of the public wishes to speak to the matter. Instead there will be one public hearing for all the items on the consent agenda, and they will be addressed by the Planning Commission with one vote.

1. PL 18-029 Interim Use Permit for One Vacation Dwelling Unit at 1615 E Superior by ACW Duluth, LLC, and Gina Bortnem
2. PL 18-030 Interim Use Permit (Renewal) for One Vacation Dwelling Unit at 728 Lake Avenue South by Douglas and Kathleen Baker
3. PL 18-033 Interim Use Permit (Renewal) for One Vacation Dwelling Unit at 416 88th Avenue West by Lawrence Telega
4. PL 18-040 Final Plat for Hallett Industrial Park by Hallett Dock Co
5. PL 18-046 Minor Subdivision on the Western Side of 88th Avenue West, between Falcon and Edward Street by the Duluth Housing and Redevelopment Agency

Public: No speakers.

MOTION/Second: Zwiebel/Wisdorf approve staff's recommendations for consent agenda items.

VOTE: (6-0)

Public Hearings

6. PL 18-044 UDC Map Amendment to Rezone Southwest Corner of the Intersection of Wadena Street and North 53rd Avenue West in the Ramsey Village Traditional Neighborhood Design (TND) to allow for Building Type VII Building (Eight Unit Residential) by Talle and Associates Inc.

Staff: Steven Robertson introduces the applicant's proposal to amend an approved regulating plan to change building types for two parcels. Any amendment to the Regulating Plan that involves changes to land use, density, or height is required to follow the rezoning process and receive approval from city council. Staff recommends approval based on the reasons listed in the staff report.

Applicant: Paul Strother addresses the commission. They anticipate a total of 112 units. He asks if there are any questions. There are none.

Public: Kate Lissenger, N. 54th Ave W and Wadena Street addresses the commission. She doesn't feel there is enough parking and feels there will be overflow on off-street parking. She appreciates new housing, but is concerned about the parking. Strother (applicant) states parking is a concern to them as well. The three four-plexes have 14 garages, and there are areas set aside for tenant parking. Zandra Zwiebel asks for clarification on parking quotas. Strother states there is one garage per unit. The garages are required to be used for cars, not storage. They are seeking other off-street parking. Mike Slosson, 412 N 54th Ave W. addresses the commission. He is a 17-year resident. It's a busy area and he thinks off-street parking is very challenging. The development that is currently there has destroyed the road. He feels new development will make the condition worse. There are blighted houses in the neighborhood that need to come down.

Commissioners: Zwiebel asks if there is an assessment for road conditions. Per Director Keith Hamre, developers have to repair road damage they create. The county has slated some of the blighted houses for demo. Sarah Wisdorf questions parking. Per Robertson, current zoning code multi-family is usually 1.25, but because they are close to a bus route the ratio is reduced.

MOTION/Second: Nelson/Sydow recommend approval as per staff's recommendations.

VOTE: (6-0)

7. PL 18-047 UDC Map Amendment to Rezone Property Between Grand Avenue, Wadena Street, and Mike Colalillo Drive from Industrial-General (I-G), Residential-Planned (R-P), and Residential-Traditional (R-1), to Mixed Use Business (MU-B) for Menards, and Park and Open Space (P-1) for Mike Colalillo Medal of Honor Park, by the City of Duluth

Staff: Steven Robertson introduces the city's proposal to rezone properties in the general area of Menards and Mike Colalillo Medal of Honor Park, from Industrial-General (I-G), Residential Planned (R-P), and Residential-Traditional (R-1) to Mixed Use-Business (MU-B) and Park and Open Space (P-1) in conformance with the Comprehensive Plan's Future Land Use Map. Staff recommends approval.

Applicant: N/A

Public: Mike Casey of West Duluth and a cross-city trail advocate addresses the commission. He is concerned the Menards expansion will adversely affect the cross city trail. He hopes they would be able to get an easement if they need one. Per Robertson they are expanding within their own footprint.

Commissioners: Zwiebel notes the purpose for MU-B. Menards is retail. Industrial – General would mostly be for industrial uses such as a foundry.

MOTION/Second: Wisdorf/Sydow recommend approval as per staff's recommendations.

VOTE: (6-0)

8. PL 18-048 UDC Map Amendment to Rezone Portions of Morgan Park, West of the Intersections of 93rd Avenue West and Falcon Street and Hilton Streets to Commonwealth Avenue, from Mixed Use Business (MU-B) to Urban-Residential (R-2) by the City of Duluth

Staff: Steven Robertson introduces the city's proposal to rezone properties west of the intersection of 93rd Avenue West and Falcon Street and Hilton Streets to Commonwealth Avenue, from Mixed Use Business (MU-B) to Urban-Residential (R-2), in conformance with the Comprehensive Plan's Future Land Use Map. He goes over the staff's amended version. Staff recommends approval.

Applicant: N/A

Public: Steve Veit, 520 101st Ave. W. addresses the commission. He said August Stoffel (who submitted a letter opposing the rezoning) couldn't attend because he is ill. Veit said Stoffel is glad their property's zoning will not change. The Duluth community's area is long and there has to be different zoning within proximity to allow for different things to happen. Bob Massich, 1304 92nd Ave. W. addresses the commission. He asks what is allowed in R-2. Per Robertson, single-family, duplexes and apartments. This is a residential area and he is concerned. Kate of 90th Ave. W. addresses the commission. Their area has lots of potential. She is nervous about losing future opportunities for recreational purposes. Joseph Makowski, 93rd Ave. W. just bought a house. They are concerned about a half-way house going in there.

Commissioners: Zwiebel asks staff if there is a half-way house going in. Director Hamre notes there will be a group home which will house people recovering from chemical dependency issues. There will be full monitoring. The new development will have a vegetative buffer setback from other neighbors. This is adjacent to a residential neighborhood. They hope to achieve a commercial and housing balance, and promote renewed growth. Zwiebel asks if a grocery store could go into an MU-B zone. Per Robertson, it's not allowed. He mentions it would be allowed at 88th Ave. W. Per Margie Nelson they have to look at the overall picture. Chair Schraepfer asks if the group home is a permitted use. Director Hamre affirms. Zwiebel states she is tempted to table this item until the landowner (Stoffel) is aware of the changes. Robertson explains they need to be consistent with the neighboring properties and it makes sense.

MOTION/Second: Nelson/Crawford recommend approval as per staff's recommendations.

VOTE: (5-1, Zwiebel Opposed)

9. PL 18-049 UDC Map Amendment to Rezone Portions of Lower Spirit Mountain on Grand Avenue, Located Approximately Between North 85th Avenue West and Spring Street, from Residential-Traditional (R-1) and Mixed Use-Neighborhood (MU-N), to Park and Open Space (P-1) and Rural-Residential 1 (RR-1) by the City of Duluth

Staff: Steven Robertson introduces the city's proposal to rezone properties of Lower Spirit Mountain along Grand Avenue, approximately between North 85th Avenue West and Spring Street, from Mixed Use-Neighborhood (MU-N), Rural Residential (RR-1), and Residential-Traditional (R-1), to Park and Open Space (P-1) and Rural-Residential (RR-1), in conformance with the Comprehensive Plan's Future Land Use Map. Staff recommends approval.

Applicant: N/A

Public: Janet Nilsen, 511 N. 85th Ave. W., addresses the commission. She wants to clarify the reason for the rezoning is to maintain an undeveloped buffer between any potential development and the adjacent residential properties to the northeast. Mike Casey addresses the commission. He would also appreciate a buffer. He noted the trail is a cross country ski trail and not a multi-use trail. Shanna Thompson, 8421 Bessmer St., addresses the commission. She would like to have the buffer zone and not have it be zoned as parks. Ski machinery is noisy. She doesn't want to see it developed and infringe on their homes.

Commissioners: Zwiebel confirms if it's zoned R-1, couldn't they add additional housing? Isn't Park zoning designation appropriate? Robertson affirms and notes spirit mountain may

have different rules as per the state. Planning's intent is to not have it developed. Chair Schraepfer understands the need for a buffer, but doesn't understand the need to expand the park zone. Zwiebel expanding the park is stating what the city's wishes are. Staff feels this is the best way to preserve the buffer.

MOTION/Second: Zwiebel/Nelson recommend approval as per staff's recommendations.

VOTE: (5-1, Schraepfer Opposed)

10. PL 18-042 Special Use Permit to Place Fill in a Floodplain for the Kingsbury Bay-Grassy Point Habitat Restoration Project by the Minnesota Department of Natural Resources

Staff: Steven Robertson introduces the applicant's proposal to restore approximately 245 acres of degraded fish and wildlife habitat by the removal of wood waste and impacted sediment for reuse in enhancing the degraded shallow, sheltered bay, and create more open-water habitat and increase recreational opportunities. Shallow sheltered bay habitat will be reestablished in this sector by the removal of approximately 174,000 cubic yards (CY) of sediment. Placement of this amount of fill in a floodplain requires a Special Use Permit. Staff recommends approval with the conditions listed in the staff report.

Applicant: Melissa Sjolund of the MN Dept of Natural Resources addresses the commission. They hope to restore habitat and remove wood waste and sediment. Zwiebel asks about the gradient. Sjolund currently working with the city to prevent erosion into the water shed. Luke Sydow asks if the creek work come first. Sjolund states it will happen shortly after.

Public: Mike Casey addresses he commission. He is in support of the project. He is concerned about the process and going under the city's master plan. He wants thought being put into developing green space. He wishes the city had an overall comprehensive plan when it comes to parks.

Commissioners: N/A

MOTION/Second: Wisdorf/Zwiebel approve as per staff's recommendations.

VOTE: (6-0)

11. PL 18-037 Special Use Permit for a 20 Stall Surface Parking Lot in an F-5 Form District at 2302 West 1st Street by John Goldfine

Staff: John Kelley introduces the applicant's request for a special use permit to construct a parking lot as a primary use at the southwest corner of West 1st Street and 23rd Avenue West. As a primary use parking lot, site features such as drive aisles and accesses must function independently of other neighboring sites and businesses. A special use permit is required to construct a primary use parking lot in an F-5 Form District. Staff recommends approval with the conditions listed in the staff report. Zwiebel asks about the shrubs. Kelley states it will need to be in addition to the privacy fence. Zwiebel asks about the landscape retainer. Kelley states it's mostly imposed on larger developments.

Applicant: John Goldfine addresses the commission and invites questions. This was the site of his grandfather's horse barn. They are excited for the two new tenants in the neighborhood. Zwiebel asks if they are okay adding the shrubbery. Goldfine affirms.

Public: No speakers.

Commissioners: N/A

MOTION/Second: Zwiebel/Crawford approve as per staff's recommendations with the additional condition that three shrubs per 25 Feet of boundary lot line be added along the privacy fence.

VOTE: (6-0)

12. ~~PL 18-039 Variance from Off-Street Parking and Vehicle Access Standards in an F-5 Form District at the 2900 Block of West Michigan Street by Adam Rhuland~~ (Removed from the agenda).

Other Business

13. Tax Forfeit Parcel Subcommittee (Held Over From 4-10-18 PC Meeting). Director Hamre gives an overview. Robertson discusses his memo. The county is acting as steward for the state. The tax-forfeit subcommittee and city staff recommend that the planning commission adopt a motion to recommend that the city council concur with the recommendations of the county for the 50 tax-forfeited locations. Nelson questions the parcels listed on page 12. Hamre states due to setback requirements, both are non-buildable. He asks the planning commission for a motion to not contest, or if they do contest, to state the reasons why.

MOTION/Second: Tax-forfeit subcommittee/Zwiebel the planning commission does not contest the classification of the tax forfeit parcels.

VOTE: (6-0)

14. PL 18-055 Work Permit for Spirit Mountain Nordic Center; Sydow notes the width of the cut is excessive and is about the size of this room. He feels a 30-foot wide corridor is excessive for a one-way trail. He would like to see a timeline for the sidewalk to be built. Zwiebel agrees with Sydow about the trail. Director Hamre notes the Nordic Center may also host races, so more than one skier at a time. There would be snow-making equipment and lighting. But the commissioners point is well taken and they can question why they need this width. It is in conformance with the spirit mountain master plan. Wisdorf clarifies this item is in accordance with the rezoning they approved earlier. Director Hamre affirms.

MOTION/Second: Zweibel/Nelson approve with amendment to include consideration of the width of the corridor being proposed.

VOTE: (6-0)

Communications

- A. Manager's Report
 -Update on Site Plan Change for 53 Business Center (PL 18-012 MU-C Planning Review from 3-13-18 PC Meeting) – still under discussion.
 -Brown Bag Meeting On Tuesday, May 15, 2018 in Room 303. Topic will include Walk through tax forfeit process.
- B. Reports of Officers and Committees
 -Heritage Preservation Commission Representative – Zwiebel gives an overview. ZMC hotels is interested in the Temple Opera Building (next to the Norshor Theater). They want to make it a viable property. They proposed an old to new architecture style. The HPC wasn't thrilled with the design of brown stone on the bottom and glass on top.
- C. Meeting adjourned at 6:50 p.m.

Respectfully,

Keith Hamre - Director
 Community Planning and Construction Services



CITY OF DULUTH
Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197
Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL 18-58	Contact	Kyle Deming, kdeming@duluthmn.gov	
Type	Vacation of alley	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 8, 2018	60 Days	July 7, 2018
	Date Extension Letter Mailed	May 22, 2018	120 Days	September 5, 2018
Location of Subject	XXXX Clyde Avenue			
Applicant	Scott and Beth Nelson	Contact		
Agent	Calzion Construction	Contact	Dan Buerskin	
Legal Description	That part of alley in Block 10, Ironton 4 th Div. lying south of Lot 36			
Site Visit Date	May 26, 2018	Sign Notice Date	May 22, 2018	
Neighbor Letter Date	May 25, 2018	Number of Letters Sent	9	

Proposal

The applicant is requesting the vacation of an alley in order to unify property they own on both sides to allow for the construction of a new dwelling on the north side of the alley.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	R-1	Vacant	Traditional Neighborhood
North	R-1	Vacant	Traditional Neighborhood
South	R-1	Vacant	Traditional Neighborhood
East	R-1	Vacant	Traditional Neighborhood
West	R-1	Vacant	Traditional Neighborhood

Summary of Code Requirements

Vacation of public rights of way and/or easements require a Planning Commission public hearing with a recommendation to City Council. City Council action is to approve or deny by resolution. Resolutions approving either a full or partial vacation require a 6/9's vote of the council.

UCD Sec. 50-37.6.C – The Planning Commission shall review the proposed vacation, and Council shall approve the proposed vacation, or approve it with modifications, if it determines that the street, highway, or easement proposed for vacation:

1. Is not and will not be needed for the safe and efficient circulation of automobiles, trucks, bicycles, or pedestrians or the efficient supply of utilities or public services in the city;
2. Where the street terminates at a waterfront or shoreline, the street is not and will not be needed to provide pedestrian or recreational access to the water;
3. Is not otherwise needed to promote the public health, safety, or welfare of the citizens of Duluth.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Governing Principle #5 – Promote reinvestment in neighborhoods.

Governing Principle #7 - Create and maintain connectivity: Connectivity should be provided for vehicular and non-vehicular modes.

Governing Principle #8 – Encourage mix of activities, uses, and densities.

Governing Principle #10 – Take actions that enhance the environment, economic, and social well-being of the community.

Principle #12 - Create efficiencies in delivery of public services

Future Land Use: Traditional-Neighborhood. Characterized by grid or connected street pattern, houses oriented with shorter dimension to the street and detached garages, some with alleys. Limited commercial, schools, churches, and home-businesses. Parks and open space areas are scattered through or adjacent to the neighborhood. Includes many of Duluth's older neighborhoods, infill projects and neighborhood extensions, and new traditional neighborhood areas.

Review and Discussion Items

Staff finds that:

- 1) The applicant is requesting that the City vacate the subject alley to unify property that they own on both sides of the alley to allow the extension of utilities to the site of a new home on the north side of the alley.
- 2) The alley has not been improved for public use. The City Engineering office has review the proposed vacation and has indicated it is not needed for street or utility purposes.
- 3) The pattern of platted streets and alleys in this area was done without regard to the topography and it is not likely that the City would want to try to extend the alley as platted due to the rolling topography.
- 4) The alley is not needed to provide public recreational access to water.
- 5) No new citizen comments have been received on this project
- 6) Vacations of rights of way and easements lapse unless the vacation is recorded with the county recorder within 90 days after final approval. The vacation recording is facilitated by the City of Duluth.

Staff Recommendation

Based on the above findings, staff recommends that Planning Commission recommend approval of the vacation of the alley as shown in the attached vacation exhibit.



PL 18-058
Vacation of Alley
Scott & Beth Nelson

Legend

- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains
 - CITY OF DULUTH
 - WLSSD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- Pump Station
- Storm Sewer Pipe
- Storm Sewer Catch Basin
- Lots
- Parcels
- 1 Ft contour
- 10 Ft contour
- Subdivision Boundaries

Boundary Lines

- <all other values>

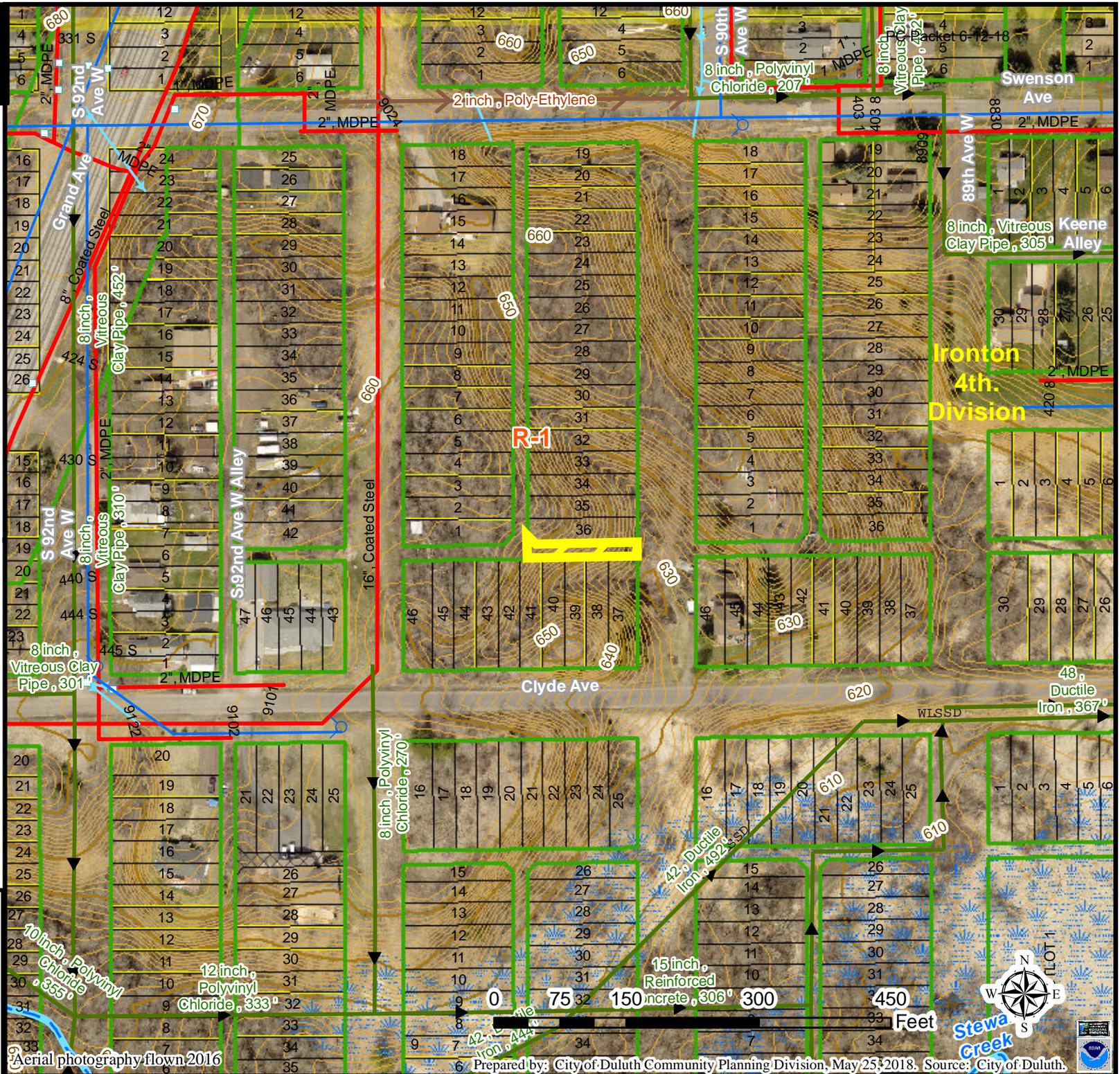
Subtype, ROW_TYPE

- Lot Line
- Parcel Line
- ROW (Road)
- ROW (Not Road)
- Subdivision Line
- Water Line
- Survey Line
- Municipal Boundary
- Vacated ROW

Easement Type

- Utility Easement
- Other Easement
- Zoning Boundaries
- Trout Stream (GPS)
- Other Stream (GPS)
- Wetlands (NRR)

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, May 25, 2018. Source: City of Duluth.



PL 18-058
 Vacation of Alley
 Scott & Beth Nelson
 Future Land Use

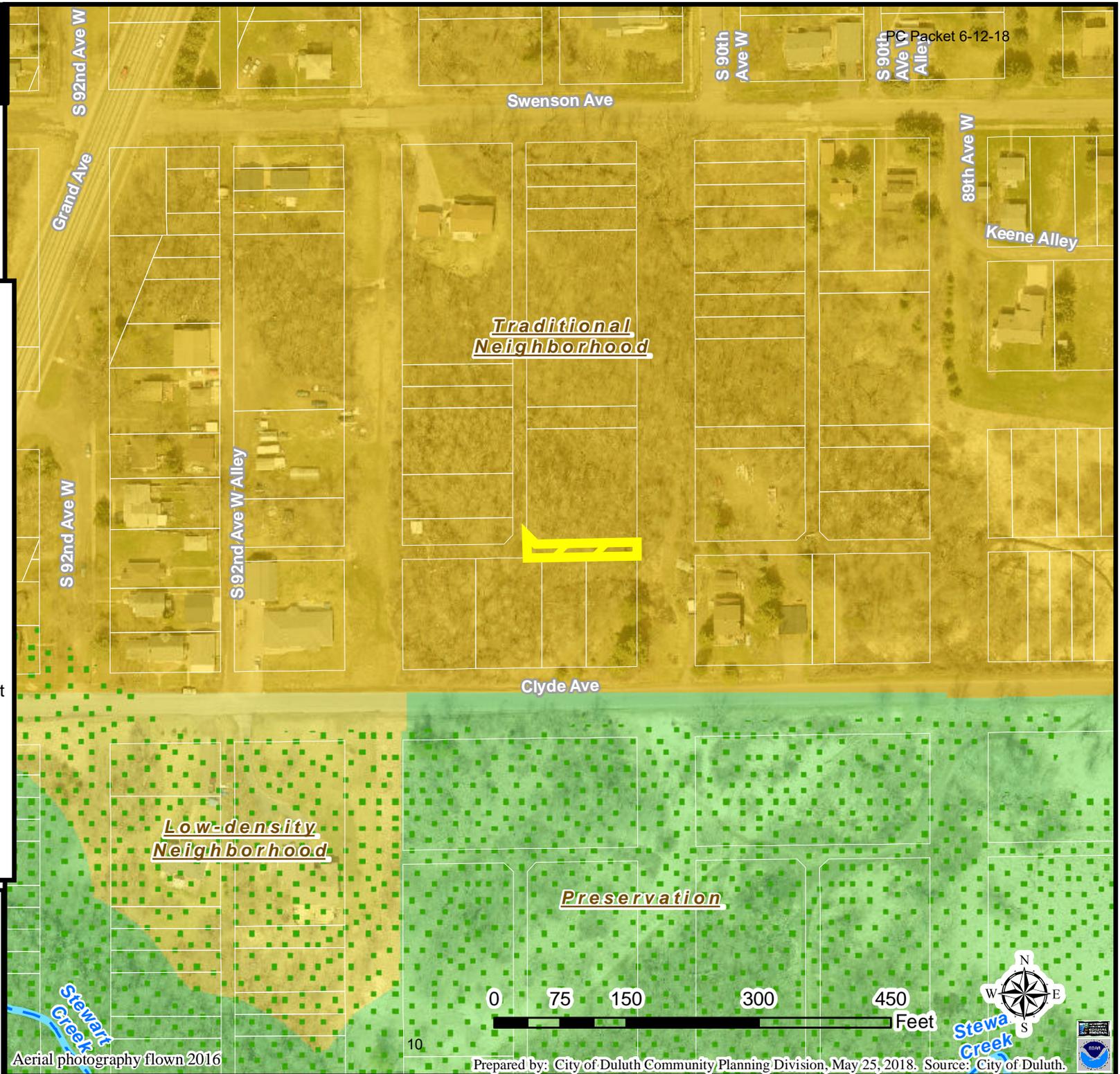
PC Packet 6-12-18

Legend

- Trout Stream (GPS)
- Other Stream (GPS)

Future Land Use - Plus

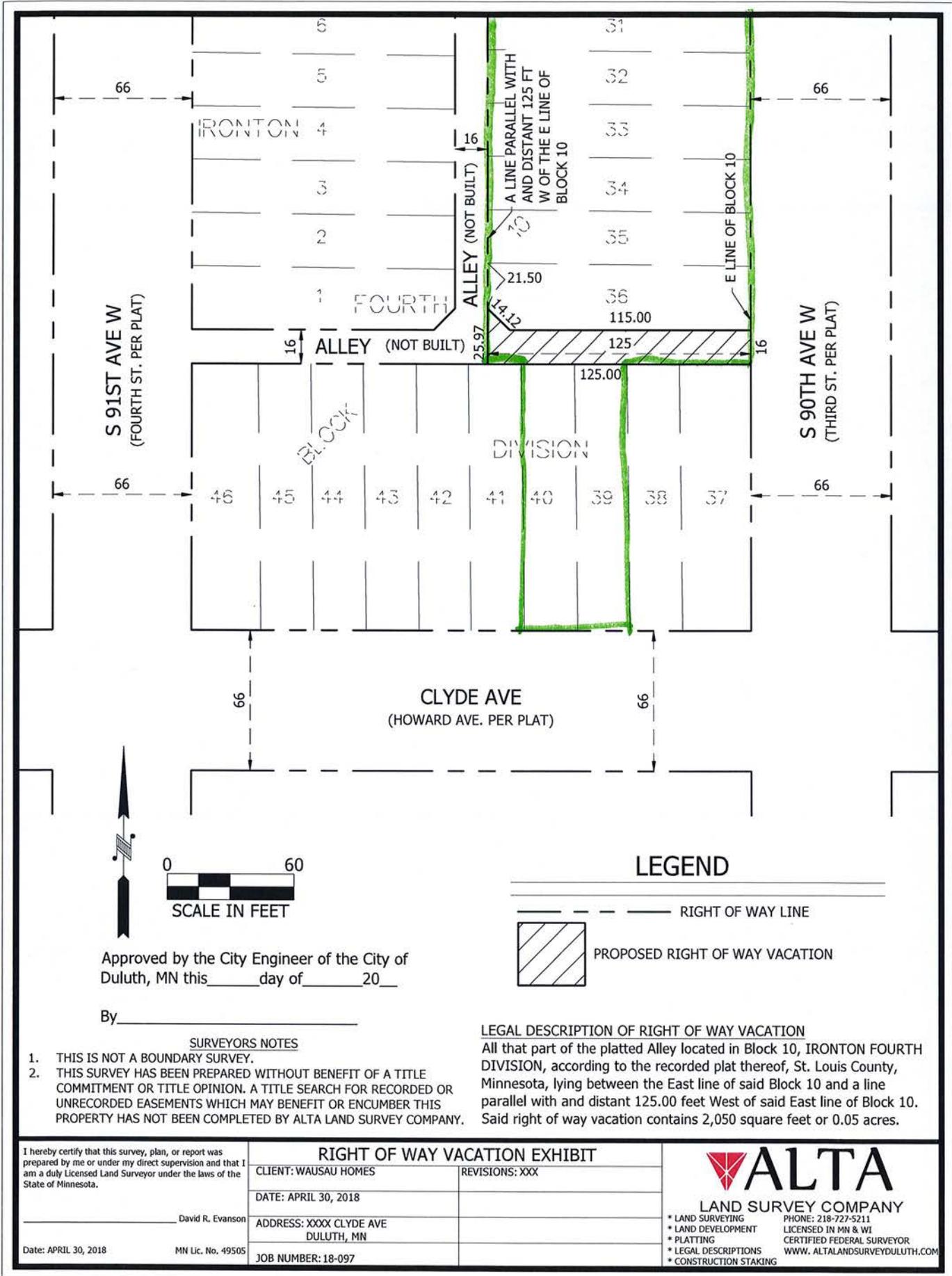
- Preservation
- Recreation
- Rural Residential
- Low-density Neighborhood
- Traditional Neighborhood
- Urban Residential
- Neighborhood Commercial
- Neighborhood Mixed Use
- General Mixed Use
- Central Business Secondary
- Central Business Primary
- Auto Oriented Commercial
- Large-scale Commercial
- Business Park
- Tourism/Entertainment District
- Medical District
- Institutional
- Commercial Waterfront
- Industrial Waterfront
- Light Industrial
- General Industrial
- Transportation and Utilities
- Sensitive Lands Overlay



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

Aerial photography flown 2016





Approved by the City Engineer of the City of Duluth, MN this _____ day of _____ 20__

By _____

SURVEYORS NOTES

1. THIS IS NOT A BOUNDARY SURVEY.
2. THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY.

LEGAL DESCRIPTION OF RIGHT OF WAY VACATION

All that part of the platted Alley located in Block 10, IRONTON FOURTH DIVISION, according to the recorded plat thereof, St. Louis County, Minnesota, lying between the East line of said Block 10 and a line parallel with and distant 125.00 feet West of said East line of Block 10. Said right of way vacation contains 2,050 square feet or 0.05 acres.

LEGEND

- RIGHT OF WAY LINE
- PROPOSED RIGHT OF WAY VACATION

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

David R. Evanson

Date: APRIL 30, 2018

MN Lic. No. 49505

RIGHT OF WAY VACATION EXHIBIT

CLIENT: WAUSAU HOMES

REVISIONS: XXX

DATE: APRIL 30, 2018

ADDRESS: XXXX CLYDE AVE
DULUTH, MN

JOB NUMBER: 18-097



LAND SURVEY COMPANY

- * LAND SURVEYING
 - * LAND DEVELOPMENT
 - * PLATTING
 - * LEGAL DESCRIPTIONS
 - * CONSTRUCTION STAKING
- PHONE: 218-727-5211
LICENSED IN MN & WI
CERTIFIED FEDERAL SURVEYOR
WWW.ALTLANDSURVEYDULUTH.COM



CITY OF DULUTH

Community Planning Division

411 West First Street, Room 2010 * Duluth, Minnesota 55802-1194

Phone: 218/730-5240 Fax: 218/730-5901

File Number	PL 18-059		Contact	John Kelley, jkelley@duluthmn.gov	
Type	Concurrent Use Permit		Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 8, 2018	60 Days	N/A	
	Date Extension Letter Mailed	May 16, 2018	120 Days	N/A	
Location of Subject	310 East Superior Street				
Applicant	First Northern Development, LLC		Contact	shendrickson@atwatercommercial.com	
Agent	Todd Koneczny		Contact	toddk@building-rescue.com	
Legal Description	See attached				
Site Visit Date	June 1, 2018		Sign Notice Date	May 29, 2018	
Neighbor Letter Date	N/A		Number of Letters Sent	N/A	

Proposal

The applicant is requesting a concurrent use permit to accommodate the wall of an existing structure that is located in the public right of way. The southern side of the structure crosses the parcel boundary into the East Michigan Street right-of-way (ROW). The applicant is also proposing to add new exterior cladding on the East Michigan Street side from the roof to approximately the bottom of 2nd floor window sills, then clean and tuck point below the new cladding to the street level. The cladding and a new eyebrow over the existing brick corbeling would be within the concurrent use area.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	F-7	Commercial	Central Business Primary
North	F-8	Commercial	Central Business Primary
South	I-G	Street/Freeway	Central Business Primary
East	F-8	Commercial	Central Business Primary
West	F-7	Commercial	Central Business Primary

Summary of Code Requirements

UDC Section 50-37.7C. The planning commission shall review the application, and council shall approve the application or approve it with modifications, if it determines that:

- 1) The proposed concurrent use will not harm or inconvenience the health, safety and general welfare of the city;
- 2) No portion of a public easement proposed for use is being physically used or occupied by the public.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Governing Principle #7 – Create and Maintain Connectivity: Rights of way are an important component of vehicular, pedestrian, and infrastructure connectivity, and those needs must be considered when granting a concurrent use permit.

Future Land Use – Central Business Primary: Encompasses a broad range of uses and intensities: Governmental campus, Significant retail, Entertainment and lodging, Opportunities for high-density housing, Central plaza, public/open space, Public parking facilities

Review and Discussion Items

Staff finds that:

- 1) The building was constructed in 1900. The applicant discovered the encroachment of the building into the public right of way during a detailed review of a previous survey completed in 2012 while preparing to apply for permits to add cladding on the building.
- 2) The entire length of the southern portion of the building is located within the East Michigan Street ROW approximately 0.03" to 0.10" from west to east. The city engineer advised that issuance of a concurrent use permit was preferable to any vacation of right-of-way in this location.
- 3) The applicant is proposing to add new exterior cladding on the East Michigan Street side from the roof to approximately the bottom of 2nd floor window sills then clean and tuck point below the new cladding to the street level. The cladding and a new eyebrow over the existing brick corbeling would be within the concurrent use area as indicated in cross section on sheet C1.03.
- 4) The proposed concurrent use will not harm or inconvenience the health, safety, and general welfare of the city.
- 5) No public, agency, or City comments have been received.
- 6) Per UDC Sec. 50-37.1.N, approved concurrent use permits lapse if the project or activity authorized by the permit has not begun within one year. As this is an existing building, the use will begin immediately.

Staff Recommendation

Based on the above findings, Staff recommends that Planning Commission recommend approval of the concurrent use permit with one conditions:

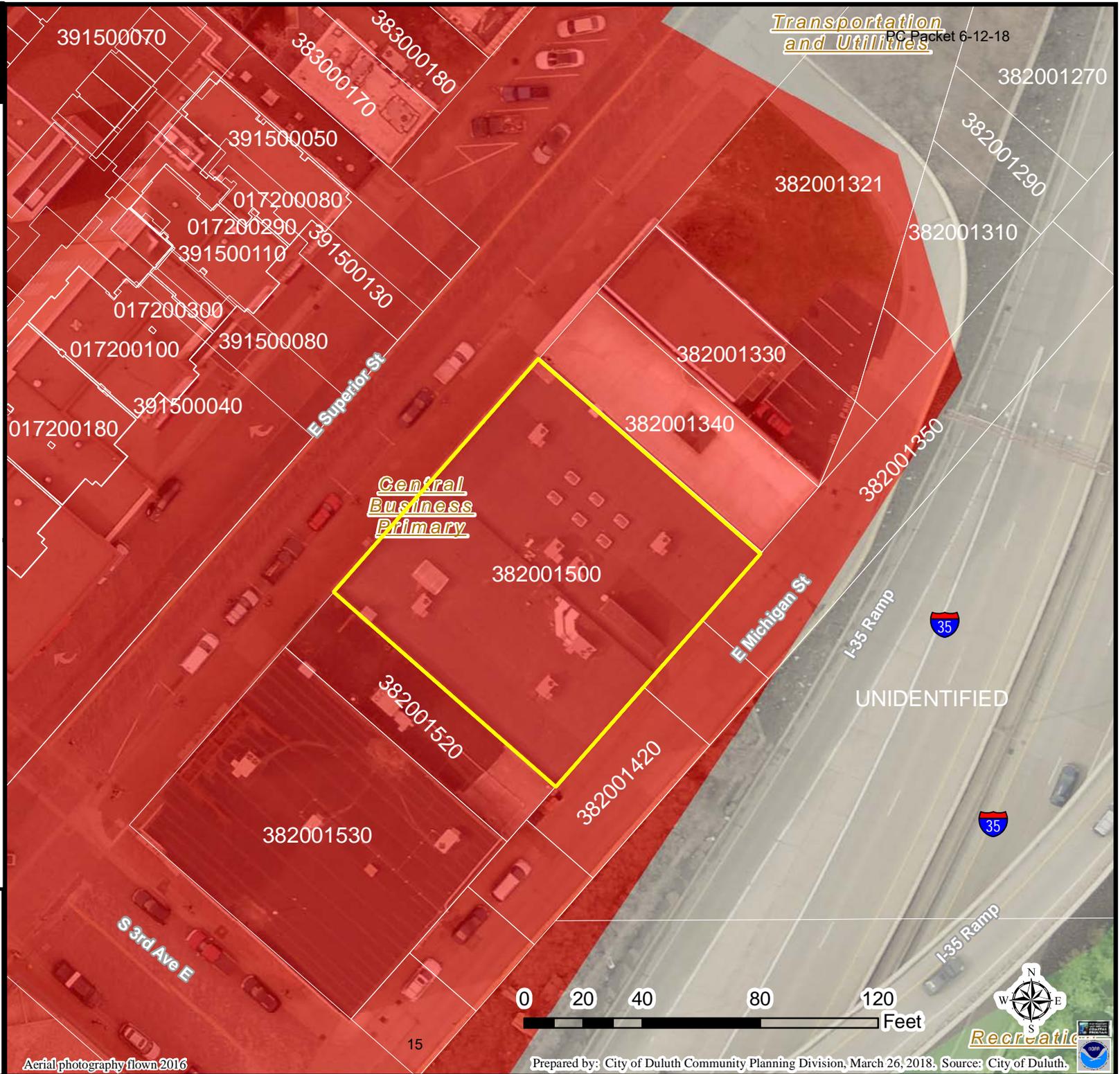
- 1) Applicant shall construct and maintain the project as identified in exhibit dated May 30, 2018.
- 2) Applicant shall provide proof of liability insurance to indemnify the City against any occurrences in the right of way that are due to items covered under this permit.



Transportation
and Utilities

Legend

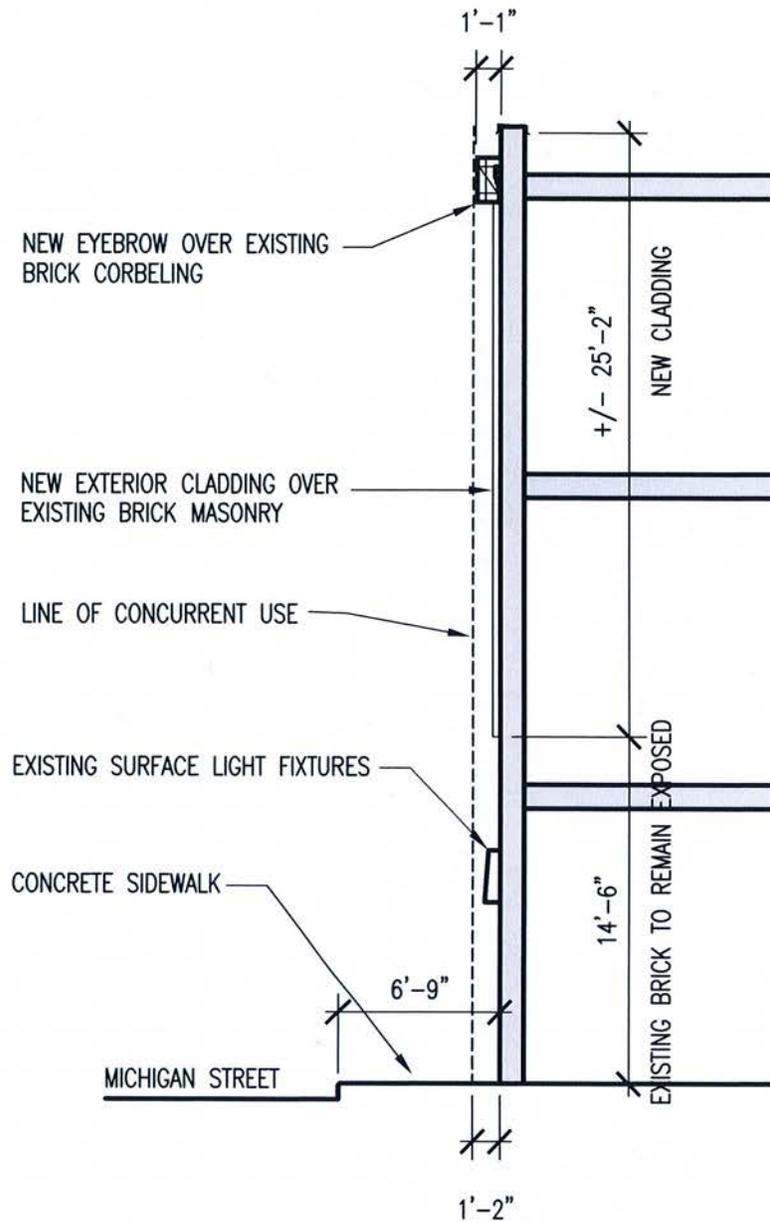
- Preservation
- Preservation/Outside Duluth
- Recreation
- Recreation/Outside Duluth
- Rural Residential
- Low-density Neighborhood
- Traditional Neighborhood
- Urban Residential
- Neighborhood Commercial
- Auto Oriented Commercial
- Central Business Secondary
- Central Business Primary
- Large-scale commercial
- Tourism/Entertainment District
- Commercial Waterfront
- General Mixed Use
- Neighborhood Mixed Use
- Light Industrial
- General Industrial
- Industrial Waterfront
- Business Park
- Transportation and Utilities
- Transportation and Utilities/Outside Duluth
- Medical District
- Institutional



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, March 26, 2018. Source: City of Duluth.



SECTION AT MICHIGAN STREET

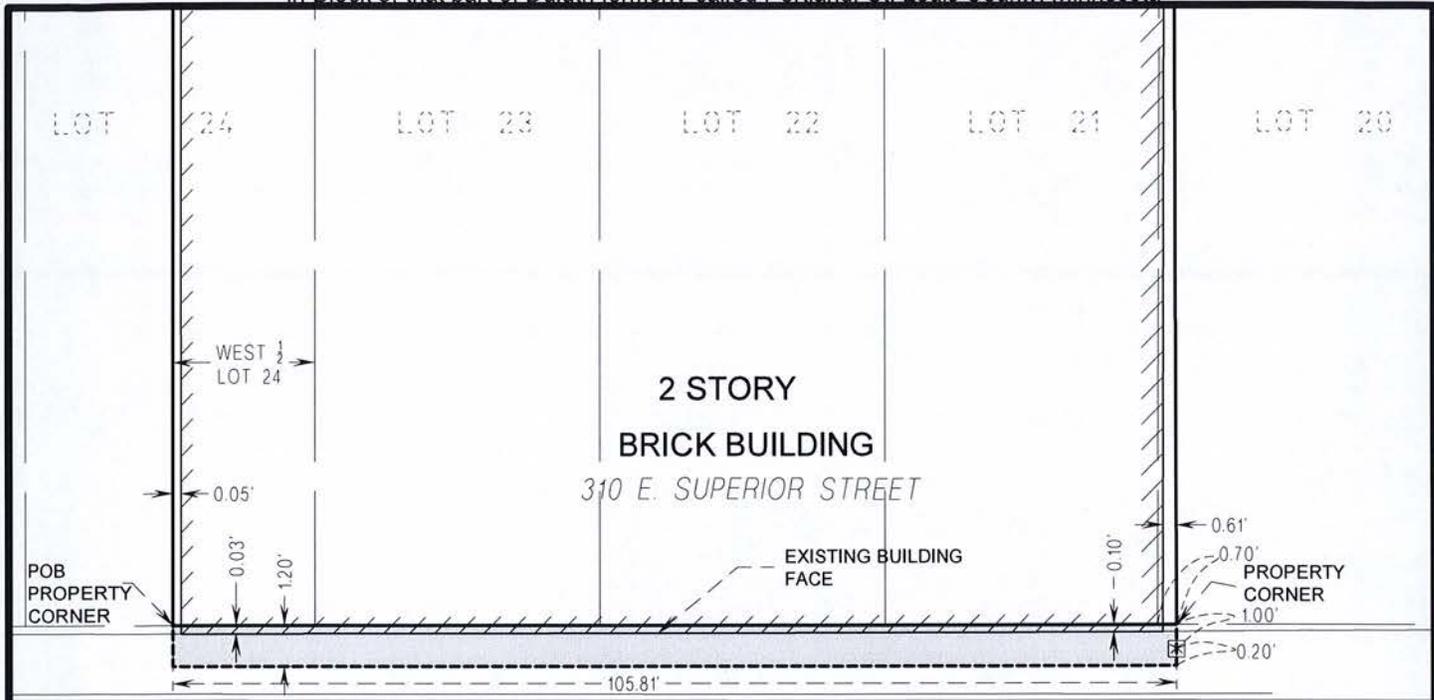
1/8" = 1'-0"

BUILDING RESCUE, LLC 4031 WEST 4TH STREET DULUTH, MN 55807 218-348-3782	DATE 5/8/18	PROJ# 2018-204	CONCURRENT USE PERMIT 310 EAST SUPERIOR STREET PROJECT ADDRESS DULUTH, MN 55802	SHEET C1.03
	REV. NO. XX	Date XX		
	XX	XX		

Concurrent Use Permit Exhibit

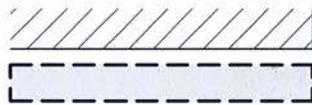
PC Packet 6-12-18

in Block 5, that part of Duluth formerly called Portland, St. Louis County, Minnesota



MICHIGAN STREET

Legend



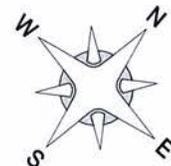
Existing Building

105.81' x 1.20' concurrent use area

☒ Chiseled "x" from 2012 survey by James Fowlds

That part of Block Five (5), that part of Duluth formerly called Portland, according to the recorded plat thereof, on file and of record in the office of the St. Louis County Recorder;

Beginning at the point that is the intersection of the southwest line of the East Half of Lot 24 of said Block 5 and a line that is the southeast line of the North 100 feet of Block 5; thence southeast along the southwest line of the East Half of Lot 24 a distance of 1.20 feet; thence deflecting to the left 90 degrees 0 minutes 0 seconds, a distance of 105.81 feet; thence deflecting to the left 90 degrees 0 minutes 0 seconds, a distance of 1.20 feet to said southeast line of the North 100 feet of Block 5; thence deflecting to the left 90 degrees 0 minutes 0 seconds, a distance of 105.81 feet along said southeast line of the North 100 feet of Block 5 to the point of beginning.



SCALE IN FEET



Approved by the City Engineer of Duluth, MN

Date: 5-30-18 by: [Signature]

5/30/2018

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature]
GREG STOEWER
MINNESOTA LICENSE NO. 21774



18

11 East Superior Street
Suite 420
Duluth, MN. 55802
218.724.8578
tkda.com

Concurrent Use Exhibit over part of Michigan St in Block 5, that part of Duluth formerly called Portland
For : AtWater Group



CITY OF DULUTH

Community Planning Division

411 West First Street, Room 2010 * Duluth, Minnesota 55802-1194

Phone: 218/730-5240 Fax: 218/730-5901

File Number	PL 18-060	Contact	Chris Lee, clee@duluthmn.gov	
Type	Concurrent Use Permit	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 8, 2018	60 Days	July 7, 2018
	Date Extension Letter Mailed	May 8, 2018	120 Days	September 5, 2018
Location of Subject	6001 East Superior Street			
Applicant	Scalzo Architects	Contact	wscalzo@scalzoarchitects.com	
Agent		Contact		
Legal Description	See attached			
Site Visit Date	June 1, 2018	Sign Notice Date	May 29, 2018	
Neighbor Letter Date	N/A	Number of Letters Sent	N/A	

Proposal

The applicant is requesting a concurrent use permit to accommodate the wall of an existing structure that is located in the public right of way. Two corners on the south side of the structure cross the parcel boundary and into the public right of way.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	F-2	Veterinary Clinic	Neighborhood Mixed Use
North	R-1	Residential	Neighborhood Mixed Use
South	F-2	Residential	Neighborhood Mixed Use
East	F-2	Residential	Neighborhood Mixed Use
West	F-2	Residential	Neighborhood Mixed Use

Summary of Code Requirements

UDC Section 50-37.7C. The planning commission shall review the application, and council shall approve the application or approve it with modifications, if it determines that:

- 1) The proposed concurrent use will not harm or inconvenience the health, safety and general welfare of the city;
- 2) Any proposed skywalk will significantly improve the circulation of pedestrians in the city without exposure to weather conditions;
- 3) No portion of a public easement proposed for use is being physically used or occupied by the public.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Governing Principle #5 – Strengthen Neighborhoods: The present city is an historical amalgam of villages and other independent units of government, contributing to the present condition of Duluth being strongly defined by its neighborhoods. This condition should be reinforced through land use, transportation and public service delivery patterns which strengthen neighborhood identity. New institutional expansions, major public infrastructure or large commercial or industrial uses should not divide historic neighborhood patterns.

Governing Principle #7 – Create and Maintain Connectivity: Rights of way are an important component of vehicular, pedestrian, and infrastructure connectivity, and those needs must be considered when granting a concurrent use permit.

Future Land Use – Neighborhood Mixed Use: Characterized by grid or connected street pattern ... Limited commercial, schools, churches, and home businesses. Parks and open space areas are scattered through or adjacent to the neighborhood.

Review and Discussion Items

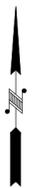
Staff finds that:

- 1) The area that is proposing to be concurrently used is approximately 25.7 feet along Superior Street starting at the corner of 60th Ave E and Superior Street.
- 2) The property was granted a variance (PL 17-131) from form district standards to construct a new addition closer to the lot line (.5') then required (5'-10').
- 3) The proposed concurrent use will not harm or inconvenience the health, safety, and general welfare of the city.
- 4) Concurrent Use Permits are approved by the City Council via an ordinance. Unlike street right of way vacations, concurrent use permits are not recorded at the County as they are voidable agreements between the city and property owners. The City of Duluth requires holders of Concurrent Use Permits to obtain liability insurance to indemnify the City against occurrences in the right of way.
- 5) No public, agency, or City comments have been received.
- 6) Per UDC Sec. 50-37.1.N, approved concurrent use permits lapse if the project or activity authorized by the permit has not begun within one year.

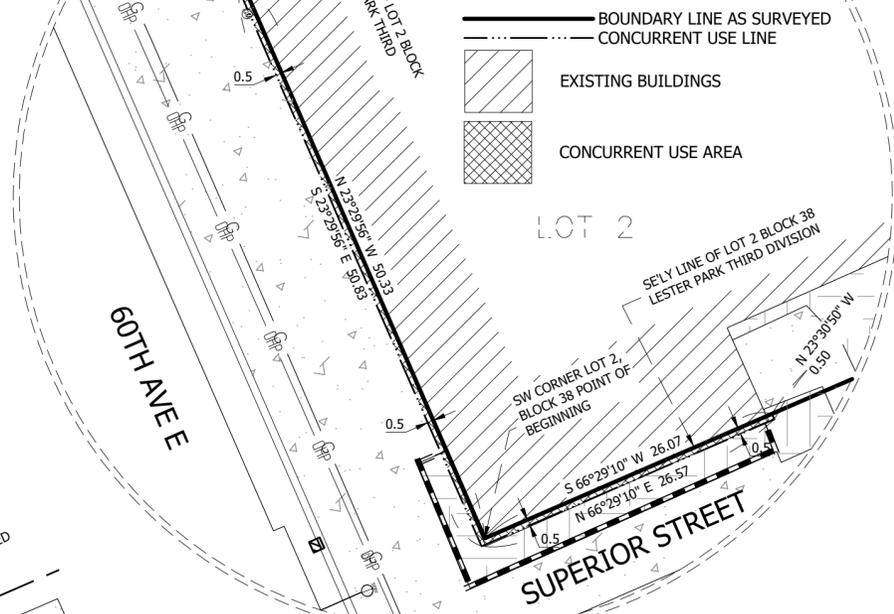
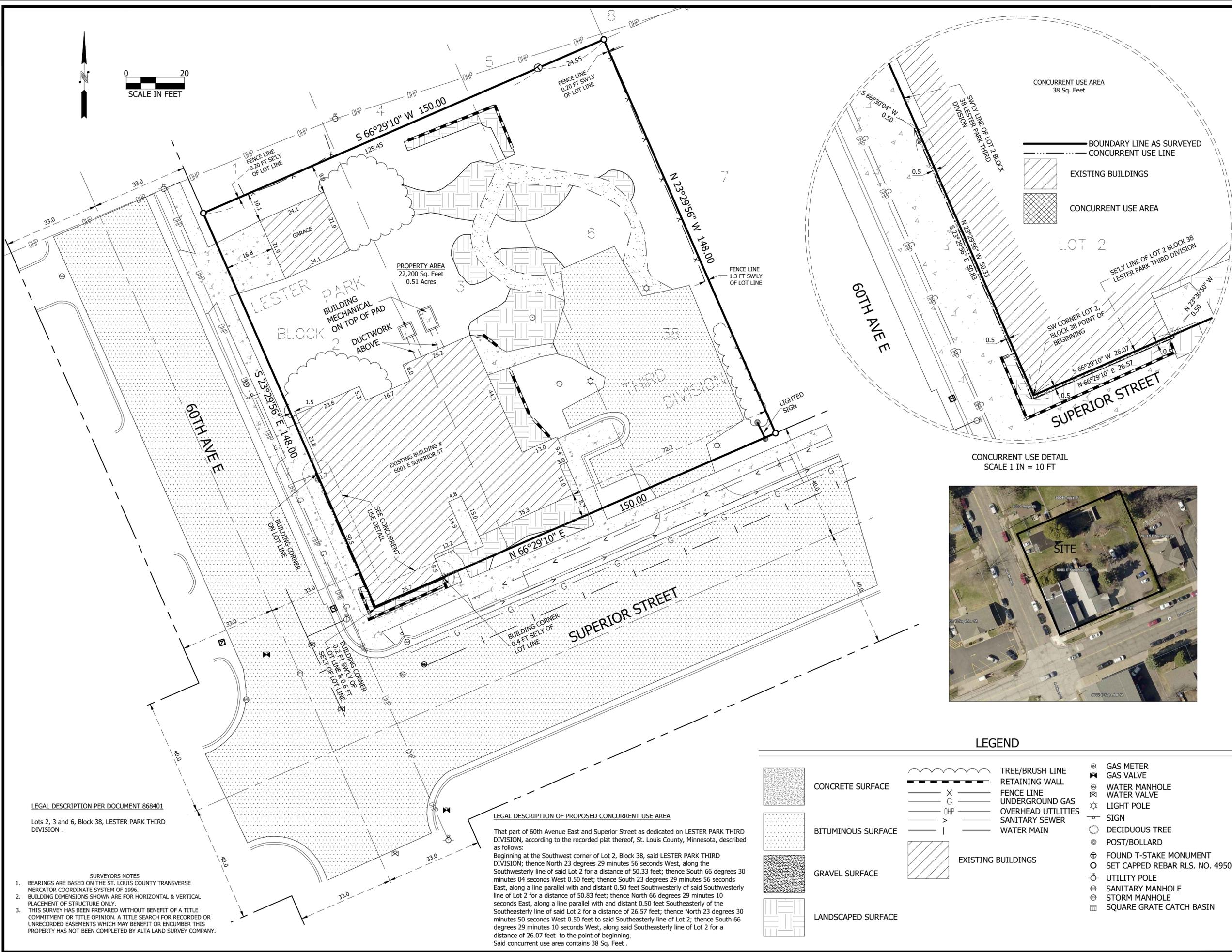
Staff Recommendation

Based on the above findings, Staff recommends that Planning Commission recommend approval of the concurrent use permit with one conditions:

- 1) Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further planning commission approval; however, no such administrative approval shall constitute a variance from the provisions of Chapter 50.



0 20
SCALE IN FEET



LEGEND

	CONCRETE SURFACE		TREE/BRUSH LINE		GAS METER
	BITUMINOUS SURFACE		RETAINING WALL		GAS VALVE
	GRAVEL SURFACE		FENCE LINE		WATER MANHOLE
	LANDSCAPED SURFACE		UNDERGROUND GAS		WATER VALVE
	EXISTING BUILDINGS		OVERHEAD UTILITIES		LIGHT POLE
			SANITARY SEWER		SIGN
			WATER MAIN		DECIDUOUS TREE
					POST/BOLLARD
					FOUND T-STAKE MONUMENT
					SET CAPPED REBAR RLS. NO. 49505
					UTILITY POLE
					SANITARY MANHOLE
					STORM MANHOLE
					SQUARE GRATE CATCH BASIN

LEGAL DESCRIPTION PER DOCUMENT 868401

Lots 2, 3 and 6, Block 38, LESTER PARK THIRD DIVISION.

SURVEYORS NOTES

- BEARINGS ARE BASED ON THE ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996.
- BUILDING DIMENSIONS SHOWN ARE FOR HORIZONTAL & VERTICAL PLACEMENT OF STRUCTURE ONLY.
- THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY.

ALTA
LAND SURVEY COMPANY
LAND SURVEYING
PHONE: 214-272-5211
FAX: 214-272-5212
CERTIFIED PROFESSIONAL SURVEYOR
LEGAL DESCRIPTIONS
CONSTRUCTION STAKING
WWW.ALTA-LANDSURVEYING.COM

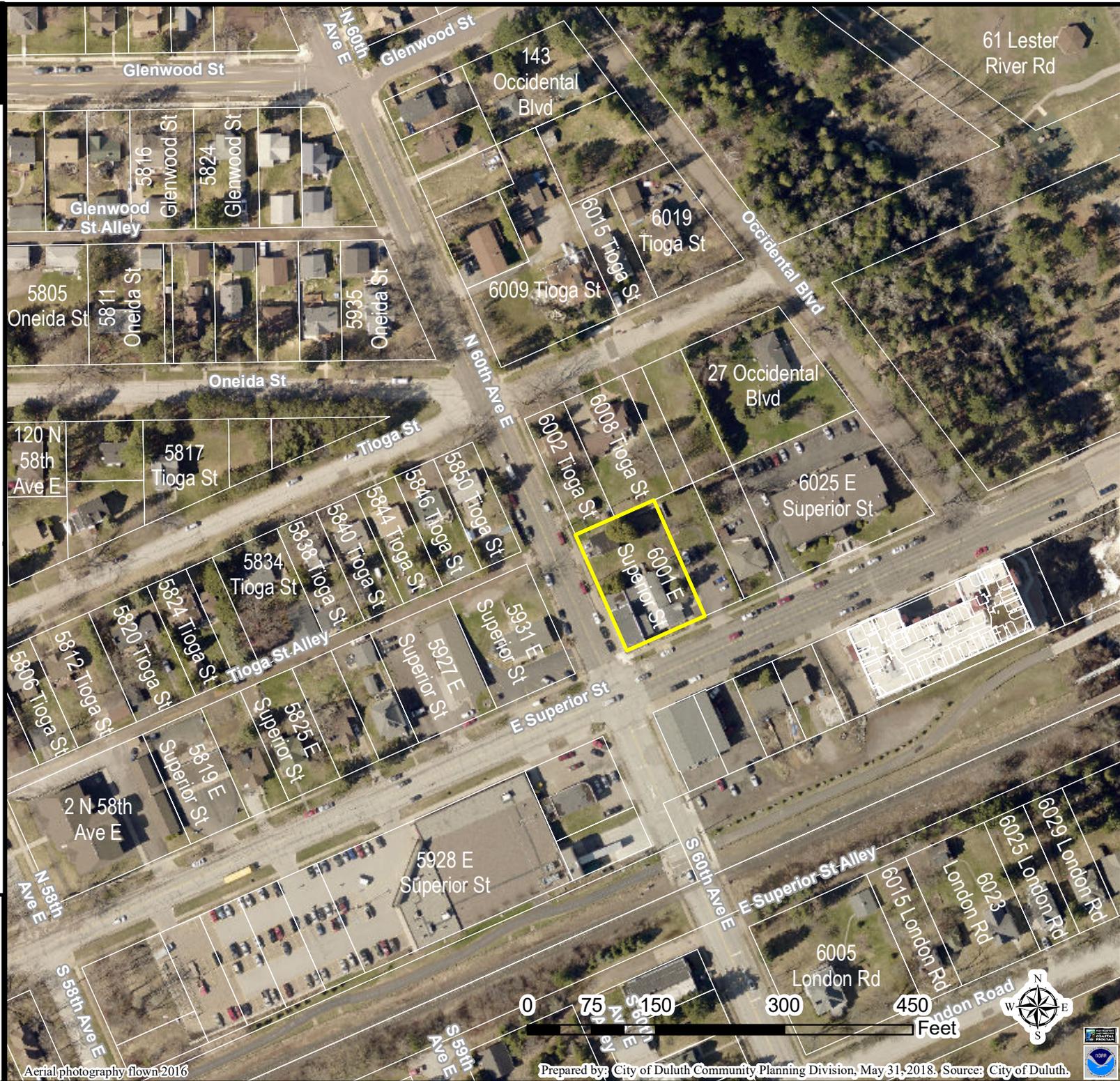
REVISIONS: 6-7-2018 SHOW CONCURRENT USE & LEGAL
CLIENT: SCALZO ARCHITECTS
ADDRESS: 6001 E SUPERIOR ST
DATE: AUGUST 28, 2017
MVA LIC. NO. 49505
Darius R. Evers
Darius R. Evers

CERTIFICATE OF SURVEY

DATE:
8-28-17
JOB NO.
17-285
SHEET NO.
1



PL 18-060: CUP
6001 E Superior St



Legend

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, May 31, 2018. Source: City of Duluth.





PL 18-060: CUP
6001 E Superior St

Legend

- Gas Main
- Water Main
- Hydrant

Sanitary Sewer Mains

- CITY OF DULUTH
- WLSDD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- PS Pump Station

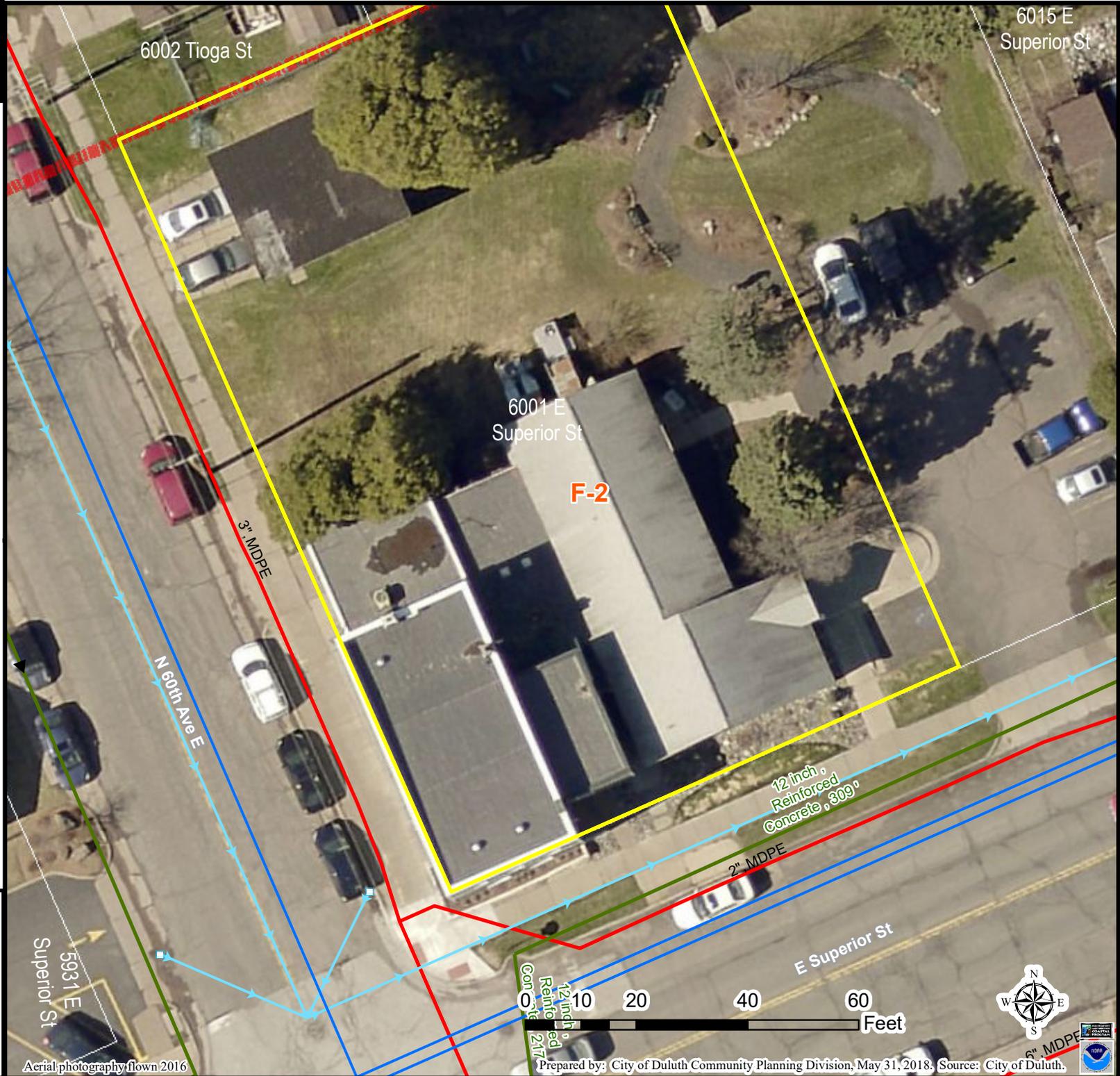
Storm Sewer Mains

- Storm Sewer Pipe
- Storm Sewer Catch Basin

Zoning Boundaries

- Trout Stream (GPS)
- Other Stream (GPS)

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



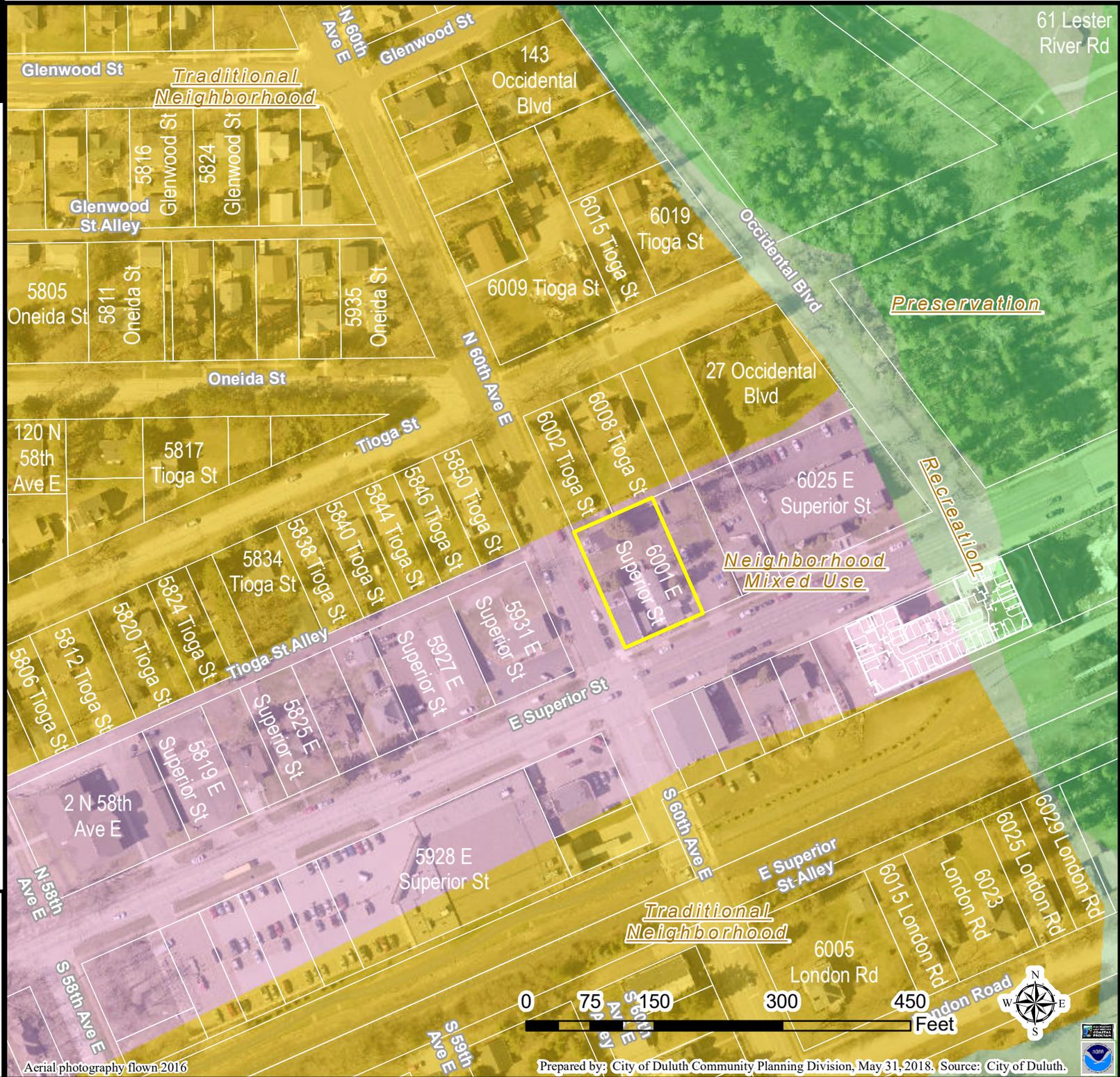
Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, May 31, 2018. Source: City of Duluth.





PL 18-060: CUP
6001 E Superior St



Legend

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, May 31, 2018. Source: City of Duluth.







CITY OF DULUTH
Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197
Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL18-061	Contact	John Kelley, 218-730-5326	
Type	Concurrent Use Permit	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 9, 2018	60 Days	July 8, 2018
	Date Extension Letter Mailed	May 16, 2018	120 Days	September 6, 2018
Location of Subject	1231 East 9 th Street			
Applicant	Jordan Decaro	Contact		
Agent	Jordan Decaro	Contact		
Legal Description	010-0500-01860			
Site Visit Date	June 1, 2018	Sign Notice Date	May 29, 2018	
Neighbor Letter Date	N/A	Number of Letters Sent	N/A	

Proposal

The applicant is requesting a concurrent use permit to accommodate a wall of the existing structure that is located in the public right of way. The northeasterly side of the structure is 0.8 feet into the 13th Avenue East Right-Of-Way (ROW). In addition the existing mansard roof overhang encroaches 1.4 feet into the ROW.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	MU-N	Mixed Use Neighborhood	Urban Residential
North	R-1	Residential	Traditional Neighborhood
South	MU-N	Residential	Urban Residential
East	MU-N	Gas Station	Urban Residential
West	MU-N	Residential	Urban Residential

Summary of Code Requirements

UDC Section 50-37.7. Concurrent Use of streets permit: The planning commission shall review the application, and council shall approve the application or approve it with modifications, if it determines that:

- 1) The proposed concurrent use will not harm or inconvenience the health, safety and general welfare of the city;
- 2) No portion of a public easement proposed for use is being physically used or occupied by the public.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Principle #5 - Strengthen neighborhoods: The present city is an historical amalgam of villages and other independent units of government, contributing to the present condition of Duluth being strongly defined by its neighborhoods. This condition should be reinforced through land use, transportation and public service delivery patterns which strengthen neighborhood identity. New institutional expansions, major public infrastructure or large commercial or industrial uses should not divide historic neighborhood patterns.

Governing Principle #7 – Create and Maintain Connectivity: Rights of way are an important component of vehicular, pedestrian, and infrastructure connectivity, and those needs must be considered when granting a concurrent use permit.

Principle #8 - Encourage mix of activities, uses and densities: Cities have evolved as a mix of land uses, building types, housing types, and activities. Accommodating choice while protecting investment is a balance to strike in land use regulation. Mixed uses provide opportunity for a diversity of activity that segregated, uniform uses do not provide.

Future Land Use- Neighborhood Mixed Use: A transitional use between more intensive commercial uses and purely residential neighborhoods. Includes conversions of houses to office or live-work spaces. May include limited commercial-only space oriented to neighborhood or specialty retail markets.

History - The property was purchased by the applicant in 2017. The two story building was constructed in 1916 and was previously operated as a harp repair shop. There is an apartment above the first floor space.

Review and Discussion Items

Staff Finds that:

- 1) The Planning Commission at their February 13, 2018 meeting approved a Special Use Permit (SUP) for a Pizza restaurant. The building encroachment into the ROW is prompting the need for a concurrent use permit. The encroachment of the building into the right-of-way was not discovered during the SUP review process.
- 2) The entire length of the northeasterly portion of the building is located 0.8 feet within the 13th Avenue East ROW. Additionally, the existing mansard roof overhang encroaches 1.4 feet into the ROW.
- 3) The concurrent use area requested is 69.50' x 2.50' and covers 174 square feet.
- 4) The building has been in this location since 1916 and the proposed concurrent use will not harm or inconvenience the health, safety, and general welfare of the city.
- 5) No public, agency, or City comments have been received.
- 6) Per UDC Sec. 50-37.1.N, approved concurrent use permits lapse if the project or activity authorized by the permit has not begun within one year. As this is an existing building, the use will begin immediately.

Staff Recommendation

Based on the above findings, Staff recommends that Planning Commission recommend approval of the Concurrent Use Permit subject to the following conditions:

- 1) Applicant shall construct and maintain the project as identified in exhibit dated May 18, 2018.
- 2) Applicant shall provide proof of liability insurance to indemnify the City against any occurrences in the right of way that are due to items covered under this permit.



Legend

**Future Land Use - Plus
 Future Land Use**

- Preservation
- Recreation
- Rural Residential
- Low-density Neighborhood
- Traditional Neighborhood
- Urban Residential
- Neighborhood Commercial
- Neighborhood Mixed Use
- General Mixed Use
- Central Business Secondary
- Central Business Primary
- Auto Oriented Commercial
- Large-scale Commercial
- Business Park
- Tourism/Entertainment District
- Medical District
- Institutional
- Commercial Waterfront
- Industrial Waterfront
- Light Industrial
- General Industrial
- Transportation and Utilities



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



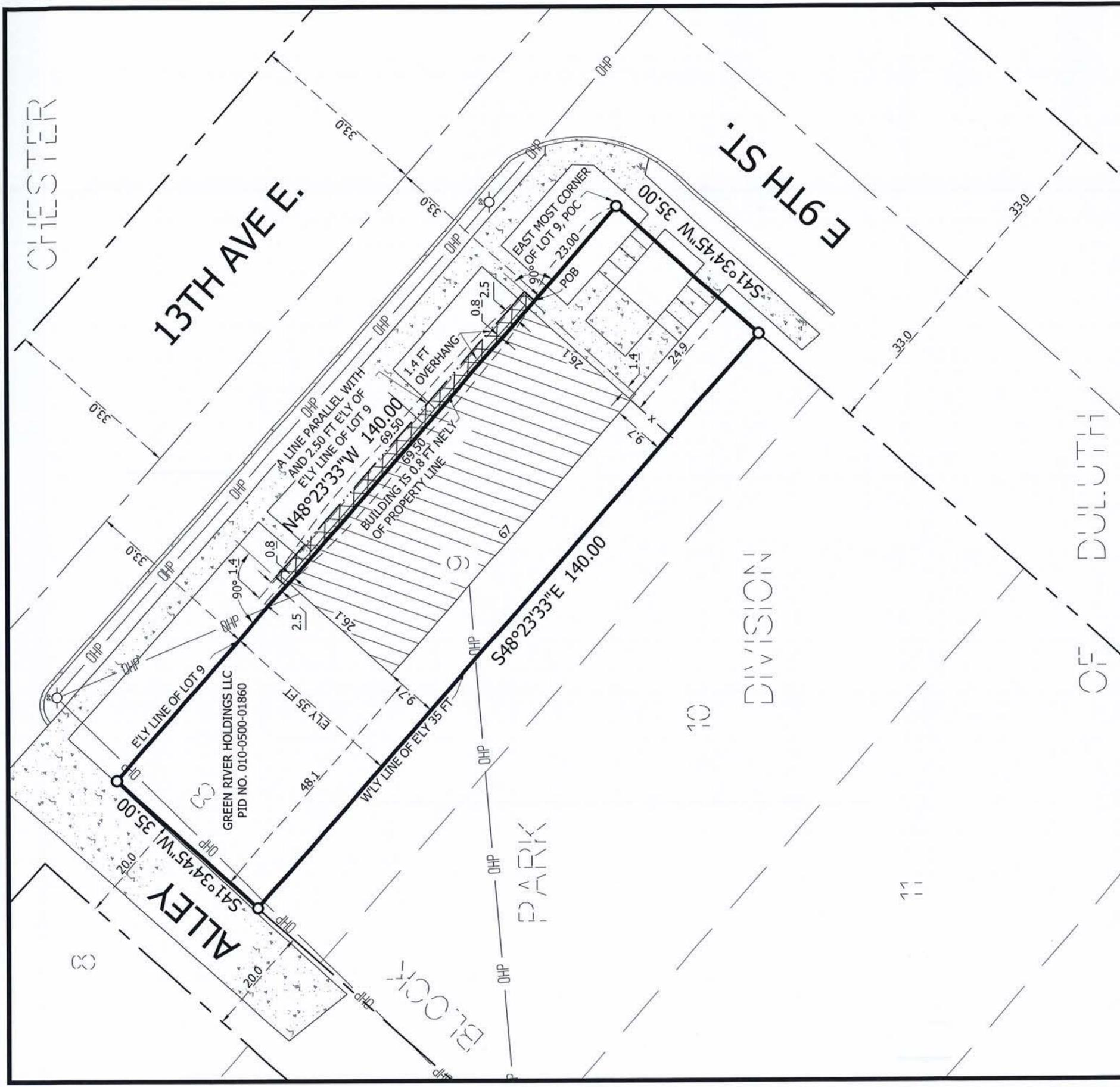


Legend
 Zoning Boundaries



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





LEGAL DESCRIPTION PER DOCUMENT NO. 1319337

All that part of Lot 9, Block 8, Chester Park Division of Duluth lying Easterly of a line parallel with and distant 35 feet from the Easterly line of said lot, St. Louis County, Minnesota.

LEGAL DESCRIPTION OF PROPOSED CONCURRENT USE AREA

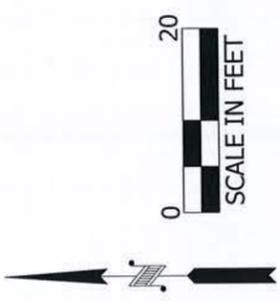
That part of 13th Avenue East as dedicated on CHESTER PARK DIVISION OF DULUTH, according to the recorded plat thereof, St. Louis County, Minnesota, described as follows: Commencing at the East most corner of Lot 9, Block 8, said CHESTER PARK DIVISION OF DULUTH; thence Northwesterly, along the Easterly line of said Lot 9 for a distance of 23.00 feet to the point of beginning of the parcel herein described; thence continue Northwesterly, along said Easterly line of Lot 9 for a distance of 69.50 feet; thence Northeasterly, deflecting 90 degrees to the right 2.50 feet to the intersection with a line parallel with and distant 2.50 feet Easterly of said Easterly line of Lot 9; thence Southeasterly, deflecting 90 degrees to the right 69.50 feet; thence Southwesterly, deflecting 90 degrees to the right 2.50 feet to the point of beginning.
Said concurrent use area contains 174 square feet.

SURVEYORS NOTES

1. BEARINGS ARE BASED ON THE ST. LOUIS COUNTY TRANSVERSE MERCATOR COORDINATE SYSTEM OF 1996.
2. BUILDING DIMENSIONS SHOWN ARE FOR HORIZONTAL & VERTICAL PLACEMENT OF STRUCTURE ONLY.
3. SEE ARCHITECTURAL PLAN FOR BUILDING & FOUNDATION DIMENSIONS.
4. NO SPECIFIC SOILS INVESTIGATION HAS BEEN COMPLETED ON THIS LOT BY ALTA LAND SURVEY COMPANY. THE SUITABILITY OF SOILS TO SUPPORT THE SPECIFIC STRUCTURE PROPOSED IS NOT THE RESPONSIBILITY OF ALTA LAND SURVEY COMPANY OR THE SURVEYOR.
5. THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT OR TITLE OPINION. A TITLE SEARCH FOR RECORDED OR UNRECORDED EASEMENTS WHICH MAY BENEFIT OR ENCUMBER THIS PROPERTY HAS NOT BEEN COMPLETED BY ALTA LAND SURVEY COMPANY.

LEGEND

	CONCRETE SURFACE		FENCE LINE
	EXISTING BUILDINGS		OVERHEAD UTILITIES
	PROPOSED CONCURRENT USE AREA		CENTER LINE
	PROPERTY AREA 4,900 Sq. Feet		RIGHT OF WAY LINE
	CONCURRENT USE AREA 174 Sq. Feet		BOUNDARY LINE AS SURVEYED
			SET CAPPED REBAR RLS. NO. 49505
			UTILITY POLE
			POINT OF COMMENCEMENT
			POINT OF BEGINNING



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.
David R. Evanson David R. Evanson
Date: JANUARY 17, 2018 MN Lic. No. 49505

CERTIFICATE OF SURVEY	
CLIENT: JORDAN DECARO	REVISIONS: 5-18-18 ADD. CONCURRENT USE AREA AND LEGAL
DATE: JANUARY 17, 2018	
ADDRESS: 1231 E 9TH ST. DULUTH, MN	
JOB NUMBER: 18-004	

ALTA
LAND SURVEY COMPANY
PHONE: 218-727-5211
LICENSED IN MN & WI
CERTIFIED FEDERAL SURVEYOR
LEGAL DESCRIPTIONS
CONSTRUCTION STAKING
WWW.ALTLANDSURVEYDULUTH.COM



CITY OF DULUTH

Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197

Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL 18-062, CUP		Contact	Steven Robertson, 218-730-5295	
Type	Concurrent Use Permit to Place Private Obstructions in Public Right of Way/Public Facilities (Utility Poles)		Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date		May 8, 2018		
	Date Extension Letter Mailed		N/A	90 Days* (237.163)	August 6, 2018
Location of Subject	98 North 6 th Avenue West				
Applicant	Verizon Wireless		Contact		
Agent	Jaymes D Littlejohn		Contact		
Legal Description					
Site Visit Date	May 30, 2018		Sign Notice Date	May 25, 2018	
Neighbor Letter Date	N/A for Concurrent Use		Number of Letters Sent	N/A for Concurrent Use	

Proposal

The applicant is proposing to “own or control a wireless facility in the public right-of-way, including the replacement of the existing, city owned poles and foundations to the support the new facilities. The City will continue to own the replacement poles/foundations”.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include 1 exterior mounted panel antenna, 2 power converters, and 2 radio units mounted approximately between at least 26 to 30 feet above the ground. The replacement poles will be 40 feet tall.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	F-8	Public Right of Way	Central Business Primary
North	F-5	Government	Central Business Primary
South	F-8	Government/Library	Central Business Primary
East	F-8	Hotel	Central Business Primary
West	F-8	Parking Lot	Central Business Secondary

Summary of Code Requirements

UDC Section 50-37.7.C. The planning commission shall review the application, and council shall approve the application or approve it with modifications, if it determines that:

- 1) The proposed concurrent use will not harm or inconvenience the health, safety and general welfare of the city;
- 2) No portion of a public easement proposed of use is being physically occupied by the public.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Principle #4 - Support emerging economic growth sectors. Emerging economic sectors add economic, cultural and social diversity. These include higher education, medical, value-added manufacturing, commercial outdoor recreation, historic resources interpretation, arts and music, information technology and visitor services.

The installation falls with the provisions of Minnesota Statute 237.162 and 247.1643, as amended in 2017.

This application is one of three being present to the June 12, 2018 Planning Commission. The three applications are for four separate sites (Maple Grove Road, 6th Avenue West, Canal Park Drive, and Railroad Street). In 2016 the city issued a Special Use Permit for 3 small wireless facilities on utility poles on private property owned by St Scholastica, and in 2017 the city issued a concurrent use permit for 3 small wireless facilities on utility poles owned by Minnesota Power in city right of way.

Review and Discussion Items

1) Applicant is proposing to install small wireless facilities on existing city utility poles located within dedicated public rights-of-way. The proposed locations are located in rights-of-way near Maple Grove Road.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include 1 exterior mounted panel antenna, 2 power converters, and 2 radio units mounted approximately between at least 26 to 30 feet above the ground. The replacement poles will be 40 feet.

2) Granting a concurrent use permit would give the applicant the ability to use dedicated public rights-of-way, with conditions, while preserving other existing public uses in the same right-of-way corridors. Concurrent use permits require a public hearing and recommendation by the Planning Commission, and is approved by the City Council via ordinance. Unlike street right-of-way vacations, concurrent use permits are not recorded at the County as they are voidable permits issued by the City to applicants who are private users of public rights-of-way.

3) Both small wireless facilities will be similar in general configuration. Ownership of the poles will remain with the City of Duluth, with the poles in dedicated public rights-of-way. Liability, maintenance, and operation of the small wireless facilities will remain the responsibility of the applicant. In the event of an accident, such as a vehicle hitting the utility pole, the city is not responsible for restoring or replacing any of the applicant's equipment.

4) The existing city utility poles will be replaced with new poles, as specified and approved by the City engineer. The new poles will have a structural analysis by the manufacturer to ensure that they can support the weight of the private small cell facilities and required public infrastructure. The poles will be embedded into the ground a distance of 15 feet.

5) Granting the proposed concurrent use permits will not harm or inconvenience the health, safety and general welfare of the city. The area proposed for the concurrent use permit will not take away from the public's ability to use the public right-of-way. The city will own the poles and continue to use them for utility purposes (lighting).

6) The UDC generally requires that new wireless facilities follow a location standard: first they should be collocated on existing towers or other structures on city owned properties first, and then existing towers or other structures on other (private) property, and so forth down the location standard list. As these small wireless facilities would be located on existing infrastructure in public right of way, and as per the recent change in state statute, the city is processing these applications as concurrent use permits and not special use permits, and the UDC's use-specific standards do not apply in this specific situation.

7) The city has the ability to regulate land use, however, the Federal Communications Commission preempts local review on the potential environmental effects of radio frequency (RF) emissions, with the presumption that the applicant and service provider is in compliance with the Commission's RF rules.

8) At the time that this memo was written, no written comments were received.

Staff Recommendation:

Based on the above findings, Staff recommends that the Planning Commission recommend approval of the two concurrent use permits subject to the following conditions:

- 1) The project be limited to, constructed, and maintained according to construction drawings signed May 3, 2018, and included with this staff report, and as revised per the City Engineer's comments of May 29, 2018, updated June 5, 2018.
- 2) Applicant, or successor, shall remove the proposed obstructions at applicant's expense if directed to do so by the City with appropriate notice, as outlined with other conditions in the concurrent use permit ordinance to be approved by the City Council.
- 3) Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission approval; however, all other changes must be approved by amending the City Council's approved ordinance.

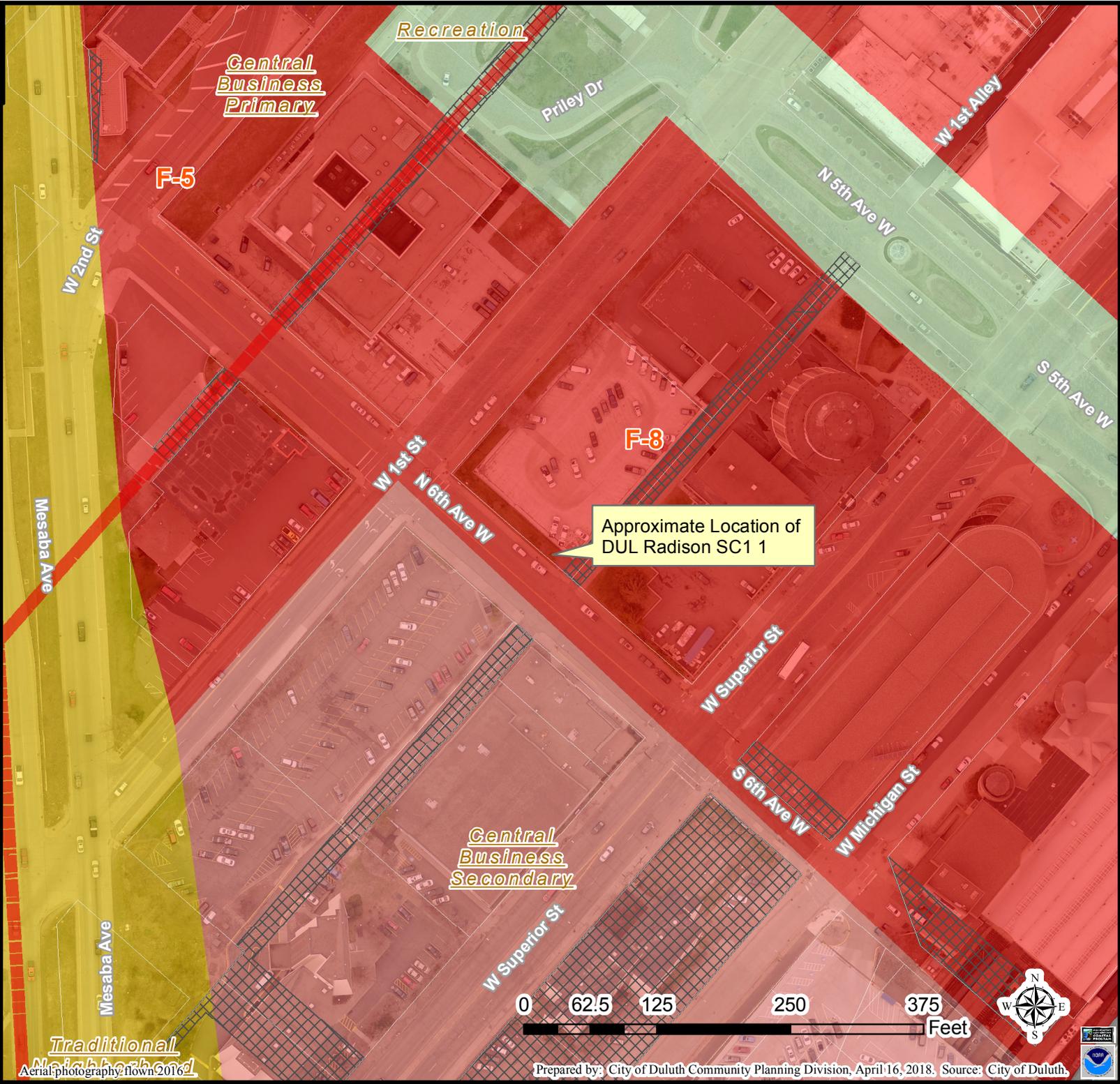


Legend

 Vacated ROW

 Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





Site Map

Legend

- Gas Main
- Water Main
- Hydrant

Sanitary Sewer Mains

- CITY OF DULUTH
- WLSSD; PRIVATE
- Sanitary Sewer Forced Main

Storage Basin

Pump Station

Storm Sewer Mains

- Storm Sewer Pipe
- Storm Sewer Catch Basin

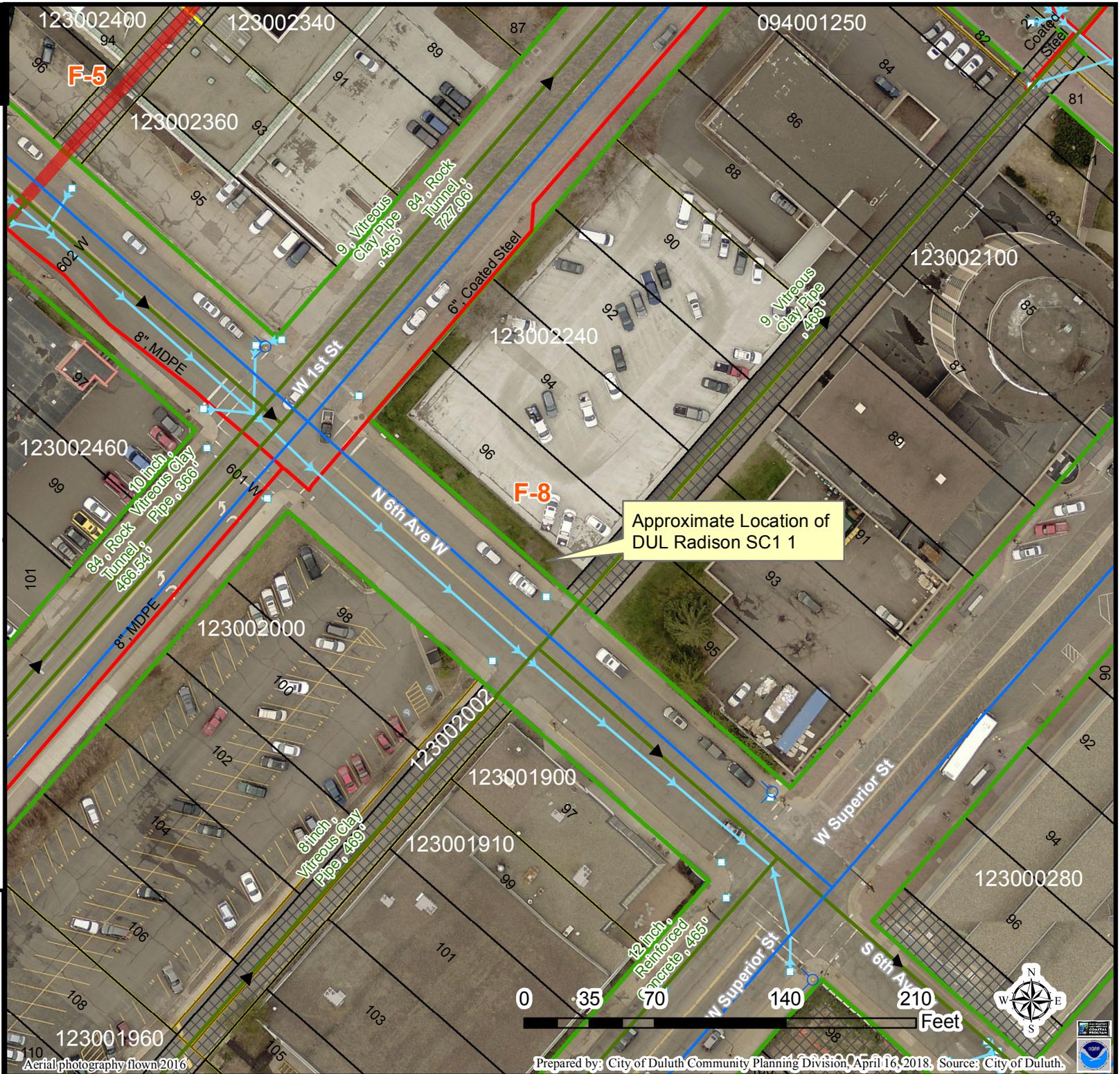
Boundary Lines

- <all other values>

Subtype, ROW_TYPE

- Lot Line
- Parcel Line
- ROW (Road)
- ROW (Not Road)
- Subdivision Line
- Water Line
- Survey Line
- Municipal Boundary
- Vacated ROW
- Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, April 16, 2018; Source: City of Duluth.



© 2016 Pictometry

04/27/2016

TITLE

AN ORDINANCE GRANTING VERIZON WIRELESS A CONCURRENT USE PERMIT FOR A SMALL WIRELESS TELECOMMUNICATION FACILITY ON CITY OF DULUTH UTILITY POLES IN THE PLATTED STREET RIGHT OF WAY NEAR 98 NORTH 6TH AVENUE WEST

BODY

The city of Duluth does ordain:

Section 1. Under the authority of Section 100 of the 1912 Home Rule Charter of the city of Duluth, as amended, and subject to the conditions, limitations and restrictions hereinafter set forth, permission is granted to Verizon Wireless and its successor(s) in interests, referred to herein as the permittee, to construct and maintain the following:

A small wireless telecommunication facility on a City of Duluth utility pole, midblock between West Superior Street and West First Street in the eastern side of the platted right of way of North 6th Avenue West, as shown by Attachment 1, and included in the engineering drawings signed by a professional engineer, and approved by the City Engineer.

Section 2. Before this ordinance shall be effective for any purpose whatsoever, the permittee shall file with the planning division a certification of insurance approved as to form by the city attorney evidencing that the permittee has in force a policy of insurance meeting the following requirements:

- (a) Comprehensive general liability insurance in an amount not less than \$1,500,000 for bodily injuries and in an amount not less than \$500,000 for property damage or \$1,500,000 single limit coverage; and
- (b) Insurance coverage shall include all permittee's activities occurring upon or within public right of way or easement occupied pursuant to this ordinance whether said activities are performed by the permittee or its agents or representatives; and
- (c) The insurance policy shall be approved by the city attorney; and
- (d) The policy shall contain a condition that it may not be canceled without 30 days written notice to the city of Duluth and directed to the attention of the city attorney; and
- (e) The city of Duluth shall be named as an additional insured; and
- (f) The certificate shall also reference this ordinance by its ordinance number.

Section 3. The permit granted by this ordinance may be terminated at any time by the city official exercising departmental authority of the public utility pole if the city of Duluth determines to use the area occupied by the permittee for any public purpose in accordance with the duly dedicated public easement or other lawful use.

Unless a shorter notice period is necessitated by emergency circumstances, or the violation of the conditions set forth in this ordinance, giving the permittee 30 days written notice delivered to the last known electronic address, facsimile number, or mailing address of the permittee shall be sufficient notice of termination.

Upon termination permittee shall cause all private improvements to be removed by the deadline provided in termination notice. Permittee shall be responsible for all costs incurred to remove the private improvements, including any costs associated with repairing damage caused to the public utility pole by the removal and without right to claim from the city of Duluth, or any of its officers, agents or servants, any compensation or reimbursement for damages of any kind whatsoever.

Section 4. By accepting the terms of this ordinance, the permittee agrees to hold to defend, indemnify, and hold harmless the city of Duluth from all liability or claims of liability for bodily injury or death to persons, or for property damage, in which the claim: A. alleges a negligent or otherwise wrongful act or omission of the permittee or its employee, agent, or independent contractor in installing, maintaining, or repairing the permittee's facilities; and alleges that the local government unit is liable, without alleging any independent negligent, or otherwise wrongful, act or omission on the part of the local government unit; or B. is based on the local government unit's negligent or otherwise wrongful act or omission in issuing the permit or in failing to properly or adequately inspect or enforce compliance with a term, condition, or purpose of the permit granted to the permittee.

Section 5. The permittee shall, at its expense, protect, support, temporarily disconnect, remove, or relocate from the public utility pole, or the private improvements, when required by city officials by reason of snow removal, traffic conditions, public safety, street vacation, freeway and street construction, change or establishment of street grade, sidewalks, installation of sewers, drains, water pipes, power lines, signal lines and tracks, the installation or repair of any type of structures or utility improvements by governmental agencies, when acting in a governmental or proprietary capacity.

Section 6. The concurrent use permit, and all rights thereunder, may not be sold, assigned, or transferred without the written consent of the city, such consent not to be unreasonably withheld, conditioned or delayed. Upon the sale or transfer of permittee's interest in the permit granted by this ordinance and written consent, the permittee shall provide written notice to the planning division within ten days of such transfer. The permittee's successor in interest shall file with the planning division within ten days of such transfer a duly executed and acknowledged written acceptance of the terms of this ordinance and the certificate of insurance required in Section 2 above.

Section 7. The permit granted by this ordinance is subject to termination by the city of Duluth upon permittee's failure to comply with any of the terms and conditions of this permit. Notice, delivered as provided in Section 3 above shall be sufficient notice of termination. Upon termination, permittee shall remove the private improvements. Permittee shall within 30 days after termination remove its equipment, conduits, fixtures and all personal property and restore all portions of the right-of-way to its original condition, reasonable wear and tear excepted. City

agrees and acknowledges that all of the equipment, conduits, fixtures and personal property of the applicant shall remain the personal property of the permittee and the permittee shall have the right to remove the same at any time during the term of the permit. All poles, underground conduit and pole boxes are and shall remain the property of the city. All rents paid prior to said termination date shall be retained by the city.

Section 8. Permittee shall not install a replacement pole or use any city light or signal poles unless structural analysis has been completed by a professional engineer licensed in the state of Minnesota indicating the sufficiency of the wireless support structure, or pole, to support the telecommunications equipment.

Section 9. The permittee shall observe the following conditions:

(a) Permittee's use of the public right of way or easement shall be limited to the designated area described in Section 1 above and further shown on the attached exhibit and engineering drawings; and

(b) Permittee agrees that the private improvements shall be constructed and maintained in such a manner so as in no way interfere with or damage any portion of any existing or future public improvement; and

(c) Permittee shall provide notice of work two working days in advance of any work permitted under this permit or any other permitted related to such work and shall schedule such work to coordinate with any required inspections. Permittee shall notify Earl Stewart at 218-730-4421 at least two working days prior to the installation of any telecommunication equipment or cabling so we can perform inspection of final installation; and

(d) Permittee shall obtain all other permits as may be required by the city, other governmental agencies and Minnesota Power, including, but not limited to obstruction, excavation, electrical, stormwater, etc; and

(e) Permittee shall not connect any permitted facilities to any power source owned, controlled, or paid for by the city. Permittee shall identify all power sources, and indicate connection and ownership of power source, providing evidence of approval by other entities besides the city when applicable. Indicate location of any new meters as may be required; and

(f) Permittee shall provide a contact name and telephone for our use in case of emergency. The phone number should be available 24 hours per day, 7 days a week. Permittee shall also provide contact and telephone number for non-emergency notifications, such as when the city needs to remove, or have the equipment relocated for capital projects or routine maintenance. City retains the right to shut off power to the antenna facilities at the source in any and all cases of emergency; to repair, maintain, alter or improve the right-of-way in connection with the city's operations including painting, reconditioning of the poles, or otherwise improve or repair the support structure in a substantial way, including excavation of any areas where conduit is associated with the facility. Except in cases of emergency, prior to commencing repair or maintenance or work in the right-of-way, the city shall provide the permittee not less than 30 days' prior written notice thereof. City will send notice to the address

provided at time of application. Permittee shall be solely responsible to protect or relocate their facilities to their satisfaction from any consequences of such maintenance activities; provided that nothing herein shall relieve permittee from the obligation to secure any permits required for such work. City reserves the right to require the permittee to remove or relocate or both any and all facilities from the pole for maintenance work. Permittee may request a mobile site on the right-of-way during the maintenance work. If the site will not accommodate mobile equipment, it shall be the permittee's responsibility to relocate to an auxiliary site; and

(g) Permittee will locate any underground items in accordance with Gopher State Once Call rules. The city will bear no responsibility for locating any facility related to the permittees concurrent use permit.

(h) Permittee must repair or replace at their expense any damage to anything in the right-of-way caused by the Permittee's permitted installation or operations to the city's reasonable satisfaction; and

(i) Permittee must submit record drawings within 30 days of activation of the small wireless facility installed on each permitted location, showing the actual location of any wiring or conduit runs below grade. Record drawings shall be in accordance with the city of Duluth Public Works and Utilities' "Engineering guidelines for Professional Services and Developments"; and

(j) Permittee after 30 day notice of termination as outline in section 3 above, shall remove its equipment, conduits, fixtures and all personal property and restore all portions of the right of way to its original condition at the permittee's expense, reasonable wear and tear excepted. City agrees and acknowledges that all of the equipment, conduits, fixtures and personal property of the Permittee shall remain the personal property of the Permittee and the Permittee shall have the right to remove the same at any time during the term of the permit. All underground conduit and pole related fixtures are and shall remain the property of the city; and

(k) Permittee shall implement all measures at the transmission site as required by FCC regulations, including but not limited to posting signs and markings. The city shall cooperate with the Permittee to fulfill its Radio Frequency exposure obligations. City agrees that in the event any future party causes the entire site to exceed FCC Radio Frequency radiation limits, city shall hold such future party liable for all such non-compliance issues caused by their installation. Permittee agrees to install only equipment of the type and operating frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to any equipment of the city or other users of the structure which exist on the structure prior to the date the permit was issued or to any equipment operated by the city. In the event any of the Permittee's equipment causes such interference, and after the city has notified Permittee in writing of such interference, the Permittee will take all steps necessary to eliminate the interference, including but not limited to the Permittee powering down its equipment for intermittent testing; and

(l) The permittee shall maintain the small wireless facility in a good and safe condition, and in compliance with all applicable fire, health, building or other codes or permits as applicable; and

(m) No open cutting shall be allowed on pavement that has been placed or installed within 15 years;

(n) The City bears no responsibility for accidents or damages to the Permittees above or below ground facilities, including the electric meter; and

(o) The Permittee will be the permittee on backhaul facilities installed by others.

Section 10. The following events shall automatically cause the termination of the term of this ordinance:

(a) The failure by the permittee to file the required insurance certificate 60 days after this ordinance takes effect, as specified in Section 2; or

(b) The failure of the permittee to commence the improvements authorized by this ordinance within 180 days after this ordinance takes effect.

(c) The failure to pay rent, maintenance costs, or other applicable fees, as allowed by State Statute 237.163 or as established by the City Council.

Section 11. That this ordinance shall take effect and be in force 30 days from and after its passage and publication.

Statement of Purpose

This ordinance grants Verizon Wireless a concurrent use permit for a total of four small wireless facilities on new utility poles they are replacing existing older poles in approximate the same location. These poles will be subsequently owned and operated by the City of Duluth within the dedicated public right of way.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include between 3 to 6 exterior mounted panel antennas or power converters mounted between at least 22 to 32 feet above the ground, with ground mounted electric meters and underground wire connections.

On June 12, 2018, the planning commission held a public hearing on the proposal as shown in Attachment 1, and voted x yeas, x nay, x abstentions, to recommend that the city council approve the request for a concurrent use of streets.

Petition received:

Action deadline:

Permittee: Verizon Wireless



SITE NAME: DUL RADISSON SC1 1

SITE NUMBER: 20171666349

LOCATION CODE: 473796

SITE TYPE: SMALL CELL

INSTALLATION TYPE: REPLACEMENT LIGHT POLE



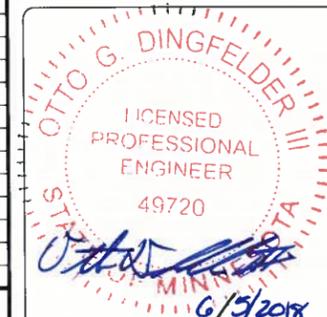
Jacobs Engineering Group, Inc.
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com



2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20171666349
LOCATION CODE: 473796
EDGE PROJECT NO: 16781
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	03/02/2018	PRELIM SMALL CELL DWGS	ZRS
0	03/02/2018	FINAL DRAWINGS	ZRS
1	03/05/2018	FINAL DRAWINGS	ZRS
2	03/06/2018	FINAL DRAWINGS	ZRS
3	04/25/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL RADISSON SC1 1
DULUTH, MN 55812
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
TITLE SHEET & PROJECT DATA

SHEET NUMBER
G-001

SITE INFORMATION

APPROXIMATE ADDRESS:
98 N. 6TH AVE W.
DULUTH, MN 55812
ST. LOUIS COUNTY

SITE COORDINATES:
LAT: 46°-46'-54.06"N
LONG: 92°-06'-22.55"W
GROUND ELEVATION: 666.9' AMSL
(PER 1A CERTIFICATE)



PROJECT DESCRIPTION/SOW

WORK PRODUCT	INSTALLED BY
PROPOSED STEEL LIGHT POLE	VERIZON
CONCRETE POLE FOUNDATION	VERIZON
GROUND RING AROUND POLE FOUNDATION	VERIZON
ELECTRICAL CONDUIT, BETWEEN POLE BASE AND POWER SOURCE	VERIZON
FIBER CONDUIT, BETWEEN HAND HOLE AND POLE BASE, TO BE TRENCHED/DIRECTIONALLY BORED BELOW GRADE	VERIZON
FIBER CONUIT, WITHIN RIGHT OF WAY, TO BE TRENCHED/DIRECTIONALLY BORED BELOW GRADE	FIBER PROVIDER
FIBER HAND HOLE AT POLE BASE	FIBER PROVIDER
DIPLEXERS	VERIZON
LOAD CENTER	VERIZON
ELECTRICAL METER	VERIZON
ERICSSON RRUS AND POWER CONVERTERS	VERIZON
PANEL ANTENNAS	VERIZON
REMOVE EXISTING FOUNDATION	VERIZON
REMOVE EXISTING LIGHT POLE AND DELIVER TO CITY OF DULUTH	VERIZON

SHEET INDEX

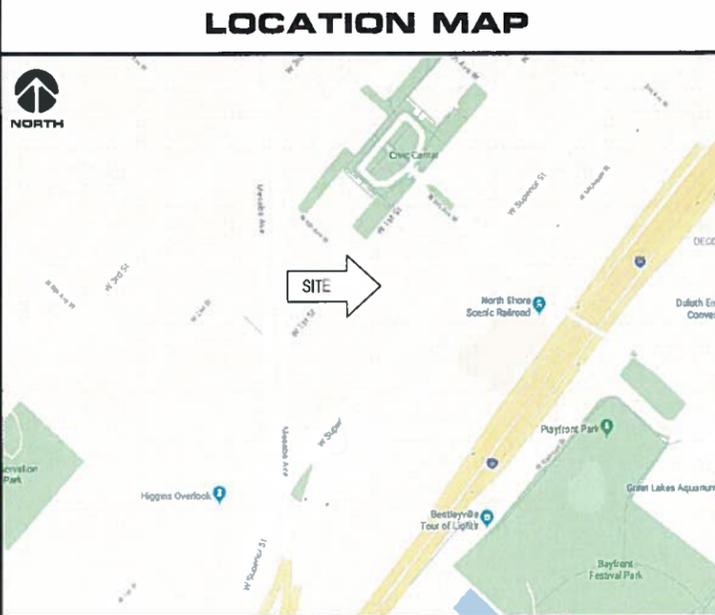
NO:	SHEET TITLE
G-001	TITLE SHEET & PROJECT DATA
G-002	GENERAL SPECIFICATIONS
G-003	GENERAL SPECIFICATIONS
N/A	SURVEY
C-101	SITE PLAN
C-501	TRAFFIC CONTROL PLAN
T-201	SITE ELEVATION
T-501	ANTENNA DETAILS
T-502	EQUIPMENT DETAILS
S-001	STRUCTURAL NOTES **
S-501	STRUCTURAL DETAILS **
E-101	UTILITY PLAN
E-102	UTILITY PLAN
E-103	GROUNDING PLAN
E-601	UTILITY DETAILS
E-602	GROUNDING DETAILS

* COMPLETED BY OTHERS
** REVIEWED AND APPROVED BY STRUCTURAL ENGINEER

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
- 2012 INTERNATIONAL BUILDING CODE
- 2014 NATIONAL ELECTRIC CODE
- TIA/EIA-222-G OR LATEST EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL



PROJECT DIRECTORY

LESSEE:
VERIZON WIRELESS
10801 BUSH LAKE RD
BLOOMINGTON, MN 55438
CONTACT: RICK WENTA
PHONE: 952.946.4690

LESSOR:
CITY OF DULUTH
411 W 1st STREET
DULUTH, MN 55802
PHONE: 218.730.5000

ENGINEERING COMPANY:
EDGE CONSULTING ENGINEERS, INC.
2101 HIGHWAY 13 W
BURNSVILLE, MN 55337
CONTACT: OTTO DINGFELDER III, P.E.
PHONE: 608.644.1449

RE ENGINEER:
VERIZON WIRELESS
10801 BUSH LAKE RD
BLOOMINGTON, MN 55438
CONTACT: MICHAEL KOCH

SITE ACQUISITION:
JACOBS ENGINEERING GROUP, INC.
2727 PATTON ROAD
ROSEVILLE, MN 55113
CONTACT: AMY DRESCH
PHONE: 952.831.1043

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

ENGINEER OF RECORD

EDGE CONSULTING ENGINEERS, INC.
CONTACT: OTTO DINGFELDER III (PE # 49720 (MN))
PHONE: 608.644.1449

STRUCTURAL REVIEW

STRUCTURAL ANALYSIS COMPLETED BY:
EDGE CONSULTING ENGINEERS, INC.
PROJECT #: 16781
DATE: 03/02/2018

CONTRACTOR TO REVIEW STRUCTURAL REPORT IN ITS ENTIRETY. ANY DISCREPANCIES OR DISAGREEMENTS BETWEEN THE REPORT AND THESE PLANS SHOULD BE RESOLVED PRIOR TO CONSTRUCTION.



L:\2017\16781\CAD\Plot\CDR_G-001.dgn



verizon

JACOBS

Jacobs Engineering Group, Inc
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com

Edge
Consulting Engineers, Inc.

2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20171666349

LOCATION CODE: 473796

EDGE PROJECT NO: 16781

CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	03/02/2018	PRELIM SMALL CELL DWGS	ZRS
0	03/02/2018	FINAL DRAWINGS	ZRS
1	03/05/2018	FINAL DRAWINGS	ZRS
2	03/06/2018	FINAL DRAWINGS	ZRS
3	04/25/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

- APPROVED -
SEE SHEET G-001 FOR
ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

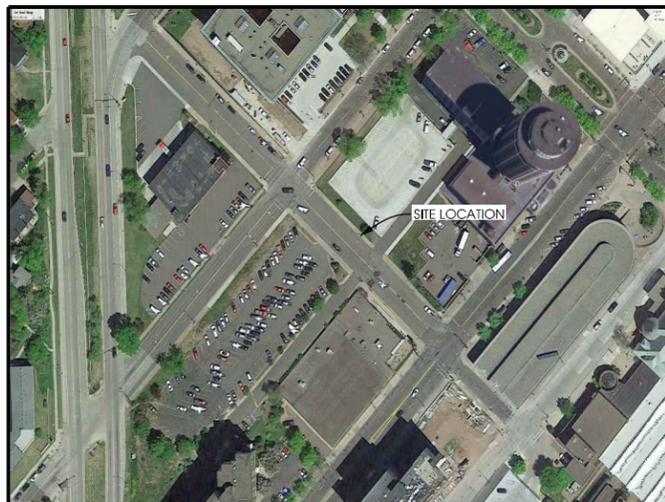
DUL RADISSON SC1 1
DULUTH, MN 55812
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-101



A AERIAL OVERVIEW



B SITE OVERVIEW [LOOKING NORTHWEST]



C SITE OVERVIEW [LOOKING SOUTH]

NOTES:

CONTRACTOR TO COMPLETE A UTILITY LOCATE PRIOR TO COMMENCING ALL CONSTRUCTION ACTIVITIES.

CONTRACTOR TO RE-SEED ANY AND ALL DISTURBED GRASS AREAS. REFER TO THE LOCAL MUNICIPALITY FOR SEEDING SPECIFICATIONS.

MAKE NECESSARY PRECAUTIONS TO PROTECT NEW FACILITIES FROM EXISTING STEAM LINE

POWER AND FIBER ROUTING NOTE:

THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

QUALIFICATION OF WORKERS NOTE:

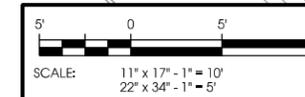
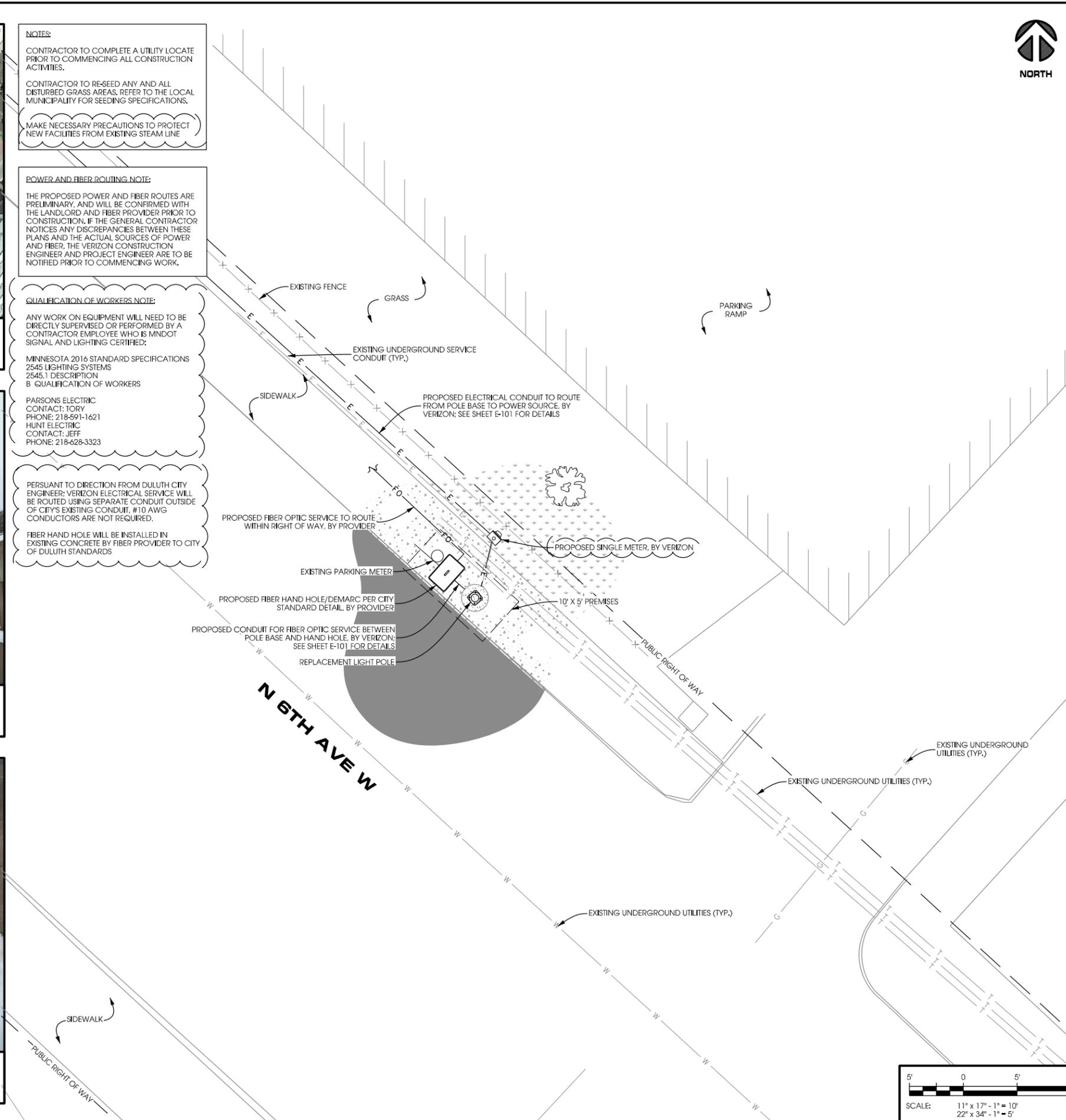
ANY WORK ON EQUIPMENT WILL NEED TO BE DIRECTLY SUPERVISED OR PERFORMED BY A CONTRACTOR EMPLOYEE WHO IS MNDOT SIGNAL AND LIGHTING CERTIFIED.

MINNESOTA 2016 STANDARD SPECIFICATIONS 2545 LIGHTING SYSTEMS 2545.1 DESCRIPTION B QUALIFICATION OF WORKERS

PARSONS ELECTRIC
CONTACT: TORY
PHONE: 218-591-1621
HUNT ELECTRIC
CONTACT: JEFF
PHONE: 218-628-3323

PERSUANT TO DIRECTION FROM DULUTH CITY ENGINEER: VERIZON ELECTRICAL SERVICE WILL BE ROUTED USING SEPARATE CONDUIT OUTSIDE OF CITY'S EXISTING CONDUIT, #10 AWG CONDUCTORS ARE NOT REQUIRED.

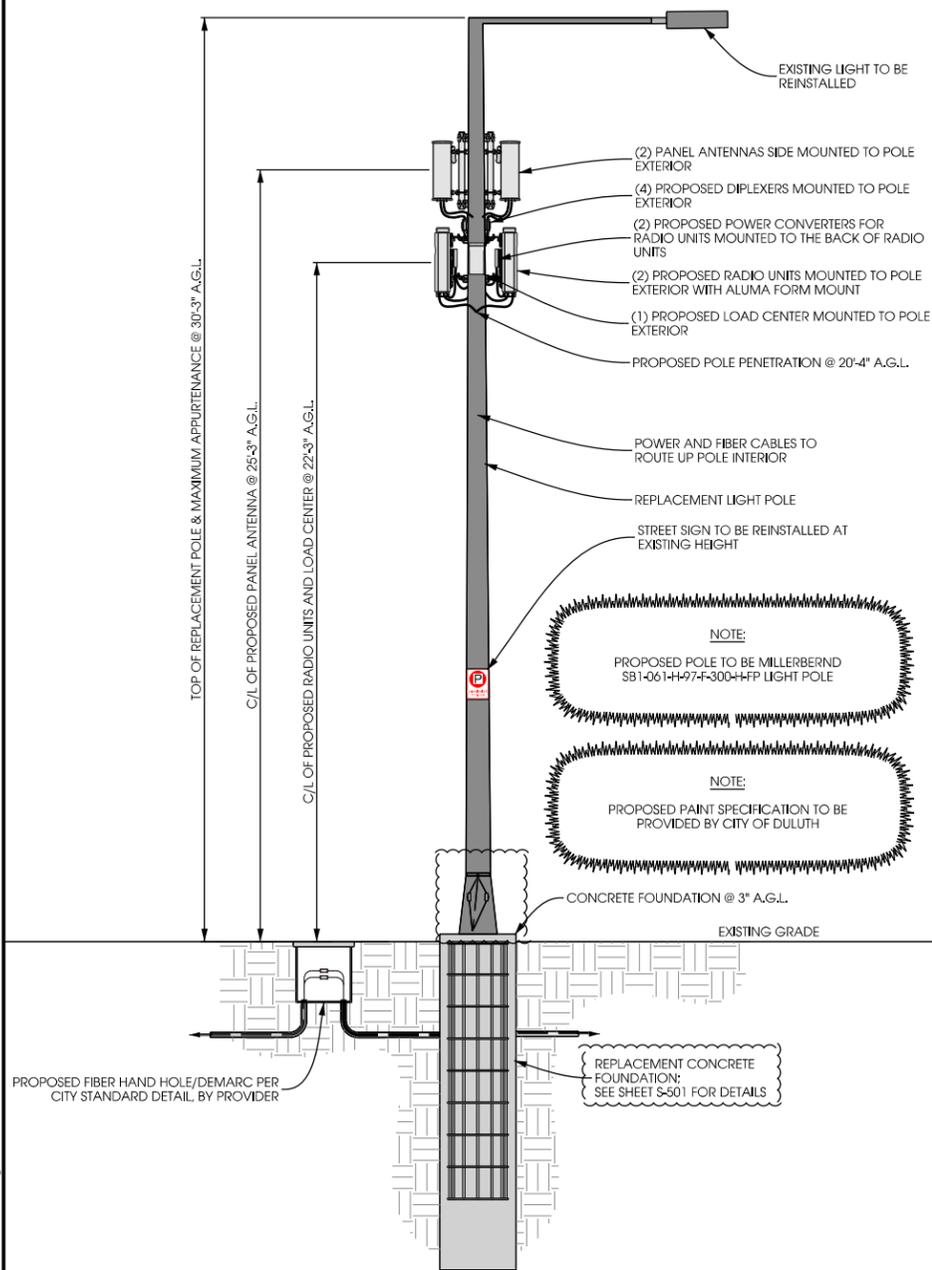
FIBER HAND HOLE WILL BE INSTALLED IN EXISTING CONCRETE BY FIBER PROVIDER TO CITY OF DULUTH STANDARDS



LA:16700\16781\CAD\REF\CD\A\C-101.dgn

EXISTING POLE	
POLE HEIGHT:	30'-08" T.O.C.
MAXIMUM APPURTENANCE HEIGHT:	30'-08" A.G.L.
PROPOSED POLE	
POLE HEIGHT:	30'-00" T.O.C.
ANTENNA TIP HEIGHT:	26'-03" A.G.L.
MAXIMUM APPURTENANCE HEIGHT:	30'-03" A.G.L.

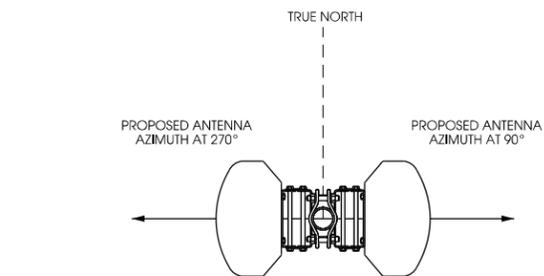
NOTES:
 TYPICAL INSTALLATION SHOWN.
 ALL ELEVATIONS ARE ASSUMED TO BE MEASURED FROM ABOVE GRADE LEVEL.
 ALL PROPOSED POLE-MOUNTED EQUIPMENT TO BE PAINTED TO MATCH POLE.



A POLE ELEVATION
 SCALE: 11" x 17" - 1" = 6'-0"
 22" x 34" - 1" = 3'-0"



B SITE ELEVATION



C ANTENNA ORIENTATION
 SCALE: NTS

ANTENNAS					
QUANTITY	MAKE	MODEL	CENTERLINE	TIP HEIGHT	AZIMUTH
2	JMA	X7CQAP-FRO-260	25'-03" AGL	26'-03" AGL	90° & 270°

EQUIPMENT			
QUANTITY	TYPE	MAKE	MODEL
2	RRU	ERICSSON	RRUS32 B66
2	PSU	EMERSON	PSU AC 08
4	DIPLEXER	COMMSCOPE	CBC1923T-4310 E11F13PO6

CABLING			
QUANTITY	TYPE	MAKE	MODEL
16	COAX	COMMSCOPE	LDF4-50

D ANTENNA AND CABLING
 SCALE: NTS



E RF WARNING SIGNS
 SCALE: NTS



PROJECT NO: 20171666349
 LOCATION CODE: 473796
 EDGE PROJECT NO: 16781
 CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	03/02/2018	PRELIM SMALL CELL DWGS	ZRS
0	03/02/2018	FINAL DRAWINGS	ZRS
1	03/05/2018	FINAL DRAWINGS	ZRS
2	03/06/2018	FINAL DRAWINGS	ZRS
3	04/25/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

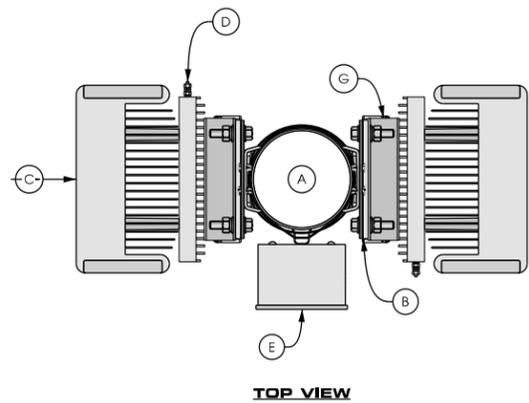
- APPROVED -
 SEE SHEET G-001 FOR
 ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL RADISSON SC1 1
 DULUTH, MN 55812
 REPLACEMENT LIGHT POLE
 SMALL CELL DRAWINGS

SHEET TITLE
SITE ELEVATION

SHEET NUMBER
T-201

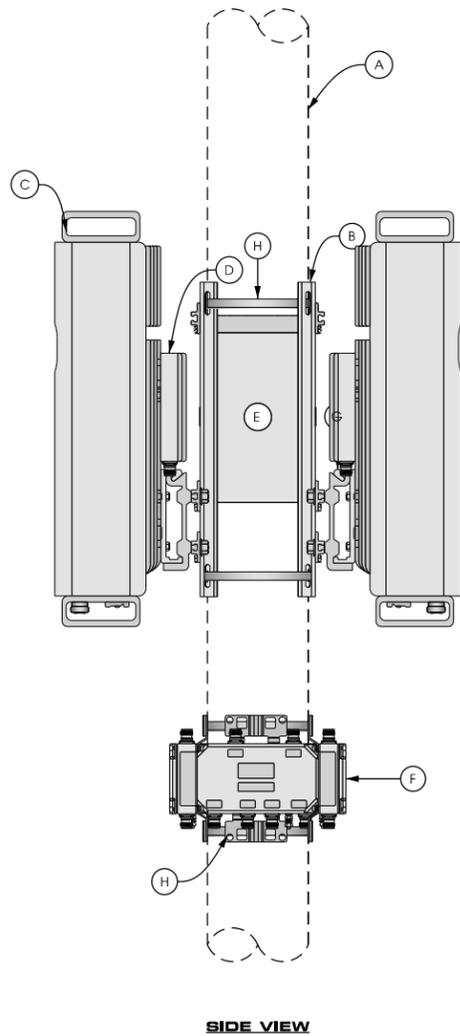


TOP VIEW

NOTE:
PAINT ALL ANTENNAS, OUTDOOR EQUIPMENT, CABLING, AND MOUNTING HARDWARE TO MATCH THE POLE

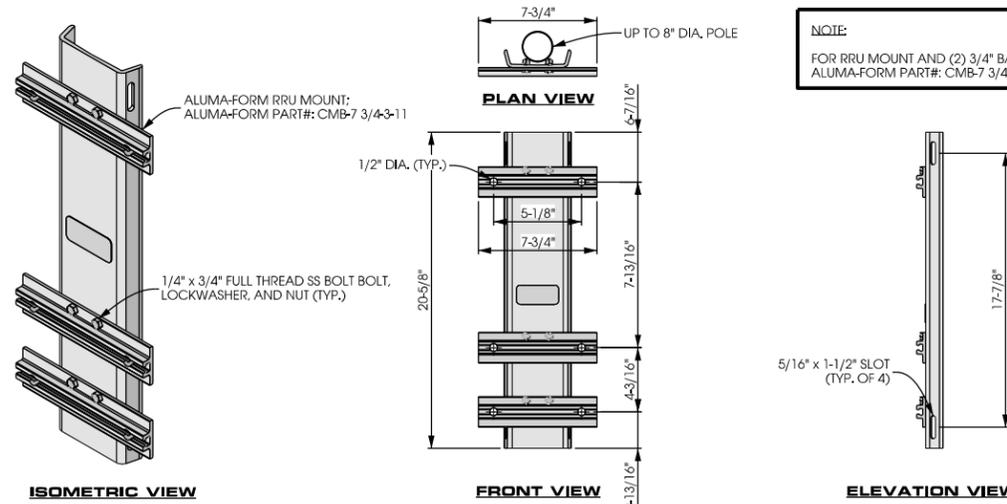
KEYED NOTES:

- A. UP TO 8" DIA. POLE
- B. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL B THIS SHEET
- C. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL C THIS SHEET
- D. POWER SUPPLY UNIT SECURED TO BACK OF REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL D THIS SHEET
- E. LOAD CENTER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP; SEE DETAIL E THIS SHEET
- F. DIPLEXER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP. OF 2); SEE DETAIL F THIS SHEET
- G. INSTALL RAIL
- H. HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP.)



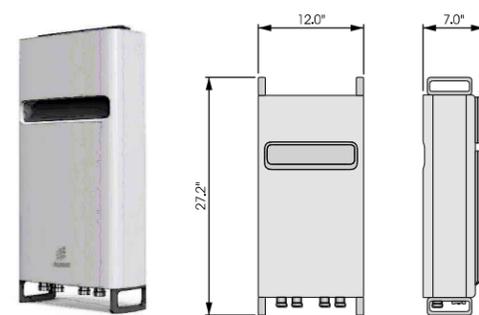
SIDE VIEW

A POLE ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



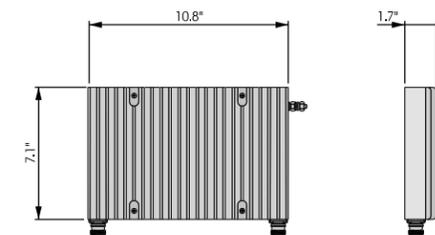
B EQUIPMENT MOUNTING
SCALE: NTS

NOTE:
FOR RRU MOUNT AND (2) 3/4" BANDSTRAPS ORDER: ALUMA-FORM PART#: CMB-7 3/4-3-11 KIT



REMOTE RADIO UNIT:
ERICSSON PART # RRU32
DIMENSIONS: 27.2" x 12.0" x 7.0" (H x W x D)
WEIGHT: 60 LBS

C REMOTE RADIO UNIT
SCALE: NTS



POWER SUPPLY UNIT:
ERICSSON PART # PSU AC-08
DIMENSIONS: 10.8" x 7.1" x 1.9" (H x W x D)
WEIGHT: 11.5 LBS

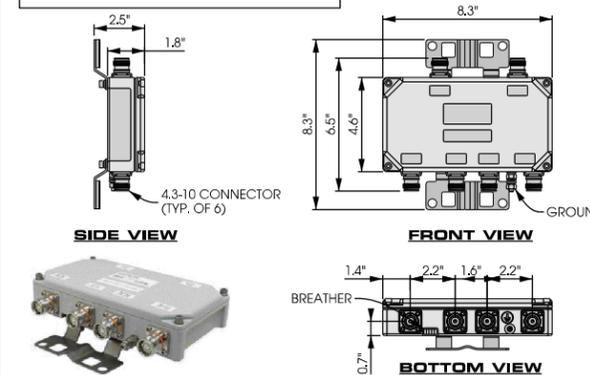
D POWER SUPPLY UNIT
SCALE: NTS

MANUFACTURER: SIEMENS
MODEL: W0408ML1125
DIMENSIONS: 12.25" x 6" x 4.25" (H x W x D)
WEIGHT: 6.8 LBS.
NUMBER OF POLES: 4 (EXPANDABLE TO 8)
MAX. CURRENT RATING: 125 A
VOLTAGE RATING: 240 VAC
CONTRACTOR TO INSTALL LED LIGHT



E LOAD CENTER
SCALE: NTS

MANUFACTURER: COMMSCOPE
MODEL #: CBC19231-4310 / E11F13P06
TWIN DIPLEXER PCS/AWS+WCS, DC BLOCK, 4.3-10
DIMENSIONS: 8.3" X 4.6" X 1.8"
WEIGHT: 4.4 LBS



F DIPLEXER
SCALE: NTS



PROJECT NO:	20171666349
LOCATION CODE:	473796
EDGE PROJECT NO:	16781
CHECKED BY:	OGD

REV.	DATE	DESCRIPTION	INT.
A	03/02/2018	PRELIM SMALL CELL DWGS	ZRS
0	03/02/2018	FINAL DRAWINGS	ZRS
1	03/05/2018	FINAL DRAWINGS	ZRS
2	03/06/2018	FINAL DRAWINGS	ZRS
3	04/25/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

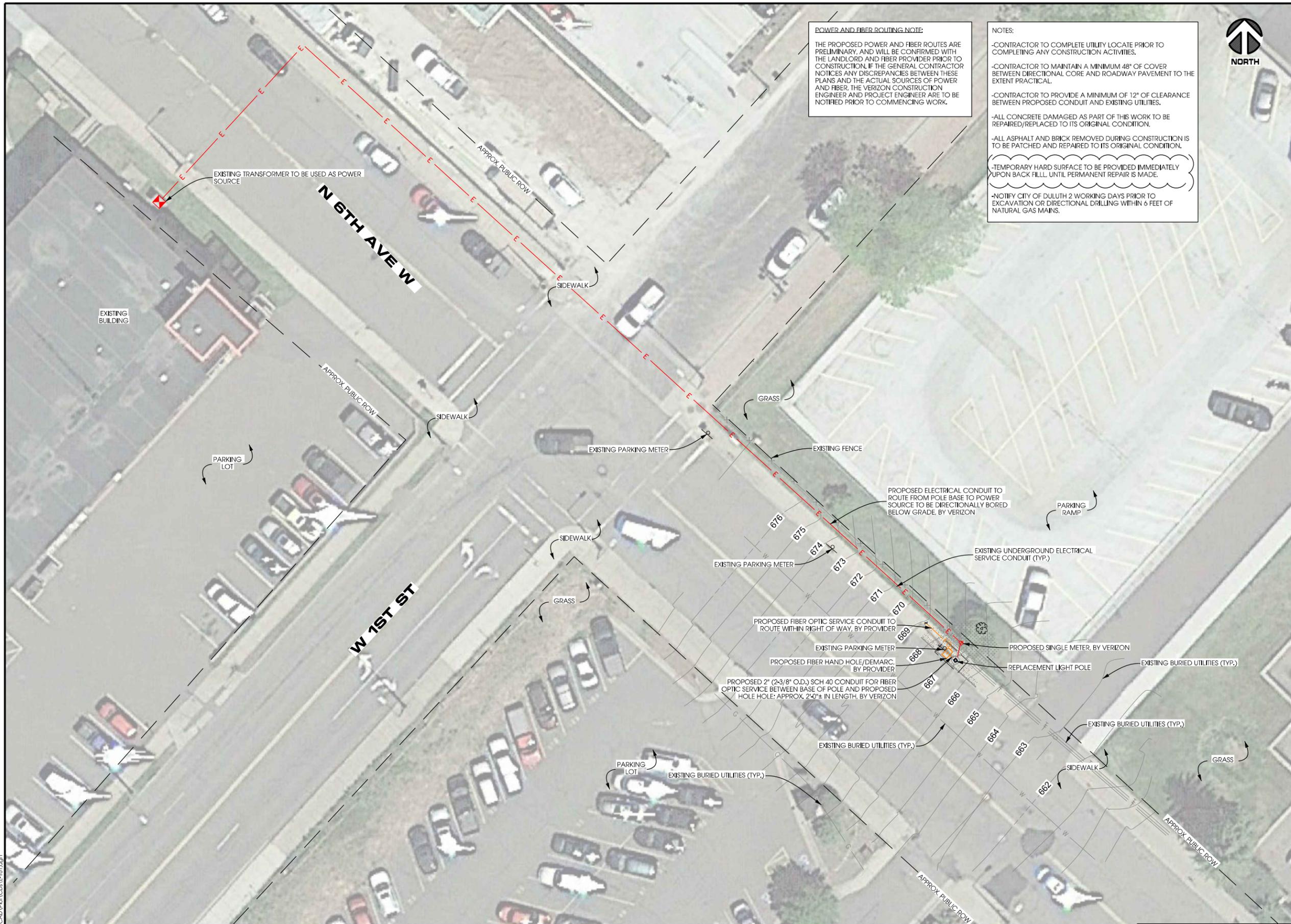
APPROVED -
SEE SHEET G-001 FOR
ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL RADISSON SC1 1
DULUTH, MN 55812
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
**EQUIPMENT
DETAILS**

SHEET NUMBER
T-502



POWER AND FIBER ROUTING NOTE:
 THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

NOTES:
 -CONTRACTOR TO COMPLETE UTILITY LOCATE PRIOR TO COMPLETING ANY CONSTRUCTION ACTIVITIES.
 -CONTRACTOR TO MAINTAIN A MINIMUM 48" OF COVER BETWEEN DIRECTIONAL CORE AND ROADWAY PAVEMENT TO THE EXTENT PRACTICAL.
 -CONTRACTOR TO PROVIDE A MINIMUM OF 12" OF CLEARANCE BETWEEN PROPOSED CONDUIT AND EXISTING UTILITIES.
 -ALL CONCRETE DAMAGED AS PART OF THIS WORK TO BE REPAIRED/REPLACED TO ITS ORIGINAL CONDITION.
 -ALL ASPHALT AND BRICK REMOVED DURING CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO ITS ORIGINAL CONDITION.
 -TEMPORARY HARD SURFACE TO BE PROVIDED IMMEDIATELY UPON BACK FILL. UNTIL PERMANENT REPAIR IS MADE.
 -NOTIFY CITY OF DULUTH 2 WORKING DAYS PRIOR TO EXCAVATION OR DIRECTIONAL DRILLING WITHIN 6 FEET OF NATURAL GAS MAINS.



PROJECT NO:	20171666349
LOCATION CODE:	473796
EDGE PROJECT NO:	16781
CHECKED BY:	OGD

REV.	DATE	DESCRIPTION	INT.
A	03/02/2018	PRELIM SMALL CELL DWGS	ZRS
0	03/02/2018	FINAL DRAWINGS	ZRS
1	03/05/2018	FINAL DRAWINGS	ZRS
2	03/06/2018	FINAL DRAWINGS	ZRS
3	04/25/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

- APPROVED -
 SEE SHEET G-001 FOR
 ENGINEER SEAL

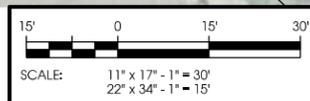
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL RADISSON SC1 1
 DULUTH, MN 55812
 REPLACEMENT LIGHT POLE
 SMALL CELL DRAWINGS

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-101

A UTILITY PLAN



LA:16700N\16781\CAD\PE\VCDA\E-101.dwg



CITY OF DULUTH

Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197

Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL 18-063, CUP	Contact	Steven Robertson, 218-730-5295	
Type	Concurrent Use Permit to Place Private Obstructions in Public Right of Way/Public Facilities (Utility Poles)	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 8, 2018		
	Date Extension Letter Mailed	N/A	90 Days* (237.163)	August 6, 2018
Location of Subject	2150 Maple Grove Road			
Applicant	Verizon Wireless	Contact		
Agent	Jaymes D Littlejohn	Contact		
Legal Description				
Site Visit Date	May 30, 2018	Sign Notice Date	May 25, 2018	
Neighbor Letter Date	N/A for Concurrent Use	Number of Letters Sent	N/A for Concurrent Use	

Proposal

The applicant is proposing to “own or control a wireless facility in the public right-of-way, including the replacement of the existing, city owned poles and foundations to the support the new facilities. The City will continue to own the replacement poles/foundations”.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include 1 exterior mounted panel antenna, 2 power converters, and 2 radio units mounted approximately between at least 26 to 30 feet above the ground. The replacement poles will be 40 feet tall.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	MU-C	Public Right of Way	Neighborhood Mixed Use
North	Varies	Commercial	Large-Scale Commercial
South	Varies	Commercial/Residential	Urban Residential
East	MU-C	Commercial	Public Right of Way
West	Hermantown	Hermantown	Hermantown

Summary of Code Requirements

UDC Section 50-37.7.C. The planning commission shall review the application, and council shall approve the application or approve it with modifications, if it determines that:

- 1) The proposed concurrent use will not harm or inconvenience the health, safety and general welfare of the city;
- 2) No portion of a public easement proposed of use is being physically occupied by the public.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Principle #4 - Support emerging economic growth sectors. Emerging economic sectors add economic, cultural and social diversity. These include higher education, medical, value-added manufacturing, commercial outdoor recreation, historic resources interpretation, arts and music, information technology and visitor services.

The installation falls with the provisions of Minnesota Statute 237.162 and 247.1643, as amended in 2017.

This application is one of three being present to the June 12, 2018 Planning Commission. The three applications are for four separate sites (Maple Grove Road, 6th Avenue West, Canal Park Drive, and Railroad Street). In 2016 the city issued a Special Use Permit for 3 small wireless facilities on utility poles on private property owned by St Scholastica, and in 2017 the city issued a concurrent use permit for 3 small wireless facilities on utility poles owned by Minnesota Power in city right of way.

Review and Discussion Items

1) Applicant is proposing to install small wireless facilities on existing city utility poles located within dedicated public rights-of-way. The proposed locations are located in rights-of-way near Maple Grove Road.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include 1 exterior mounted panel antenna, 2 power converters, and 2 radio units mounted approximately between at least 26 to 30 feet above the ground. The replacement poles will be 40 feet.

2) Granting a concurrent use permit would give the applicant the ability to use dedicated public rights-of-way, with conditions, while preserving other existing public uses in the same right-of-way corridors. Concurrent use permits require a public hearing and recommendation by the Planning Commission, and is approved by the City Council via ordinance. Unlike street right-of-way vacations, concurrent use permits are not recorded at the County as they are voidable permits issued by the City to applicants who are private users of public rights-of-way.

3) Both small wireless facilities will be similar in general configuration. Ownership of the poles will remain with the City of Duluth, with the poles in dedicated public rights-of-way. Liability, maintenance, and operation of the small wireless facilities will remain the responsibility of the applicant. In the event of an accident, such as a vehicle hitting the utility pole, the city is not responsible for restoring or replacing any of the applicant's equipment.

4) The existing city utility poles will be replaced with new poles, as specified and approved by the City engineer. The new poles will have a structural analysis by the manufacturer to ensure that they can support the weight of the private small cell facilities and required public infrastructure. The poles will be embedded into the ground a distance of 15 feet.

5) Granting the proposed concurrent use permits will not harm or inconvenience the health, safety and general welfare of the city. The area proposed for the concurrent use permit will not take away from the public's ability to use the public right-of-way. The city will own the poles and continue to use them for utility purposes (lighting).

6) The UDC generally requires that new wireless facilities follow a location standard: first they should be collocated on existing towers or other structures on city owned properties first, and then existing towers or other structures on other (private) property, and so forth down the location standard list. As these small wireless facilities would be located on existing infrastructure in public right of way, and as per the recent change in state statute, the city is processing these applications as concurrent use permits and not special use permits, and the UDC's use-specific standards do not apply in this specific situation.

7) The city has the ability to regulate land use, however, the Federal Communications Commission preempts local review on the potential environmental effects of radio frequency (RF) emissions, with the presumption that the applicant and service provider is in compliance with the Commission's RF rules.

8) At the time that this memo was written, only one written comment was received. Vic Lund, Traffic Engineering for St. Louis County, wrote that Installation of facilities within the county road right-of-way must be approved by St. Louis County Public Works Department by way of the St. Louis County Right-of-Way (Utility) Permit.

Staff Recommendation:

Based on the above findings, Staff recommends that the Planning Commission recommend approval of the two concurrent use permits subject to the following conditions:

- 1) The project be limited to, constructed, and maintained according to construction drawings signed May 3, 2018, and included with this staff report, and as revised per the City Engineer's comments of May 29, 2018, updated June 5, 2018.
- 2) Applicant, or successor, shall remove the proposed obstructions at applicant's expense if directed to do so by the City with appropriate notice, as outlined with other conditions in the concurrent use permit ordinance to be approved by the City Council.
- 3) Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission approval; however, all other changes must be approved by amending the City Council's approved ordinance.



Legend

 Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



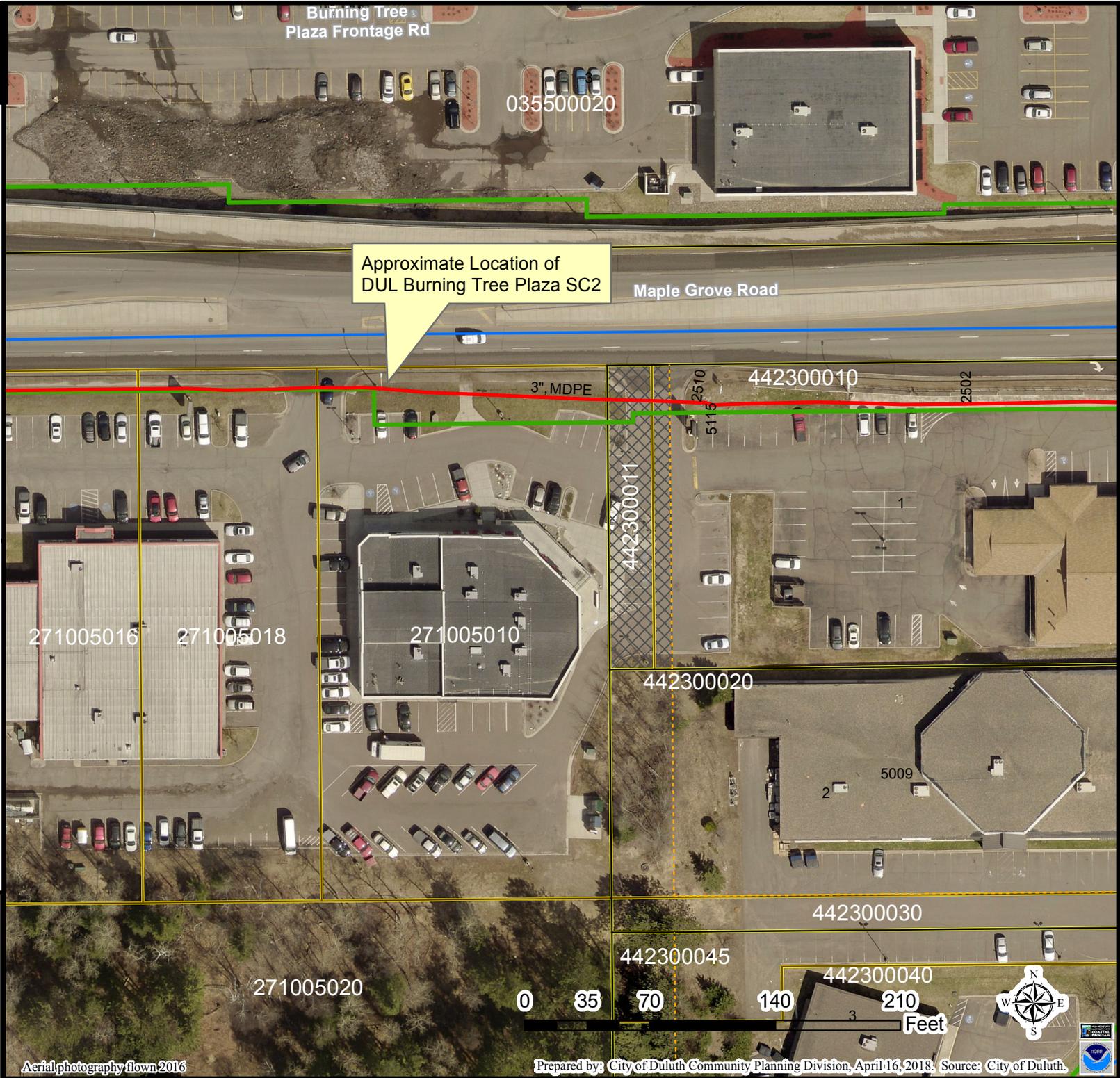


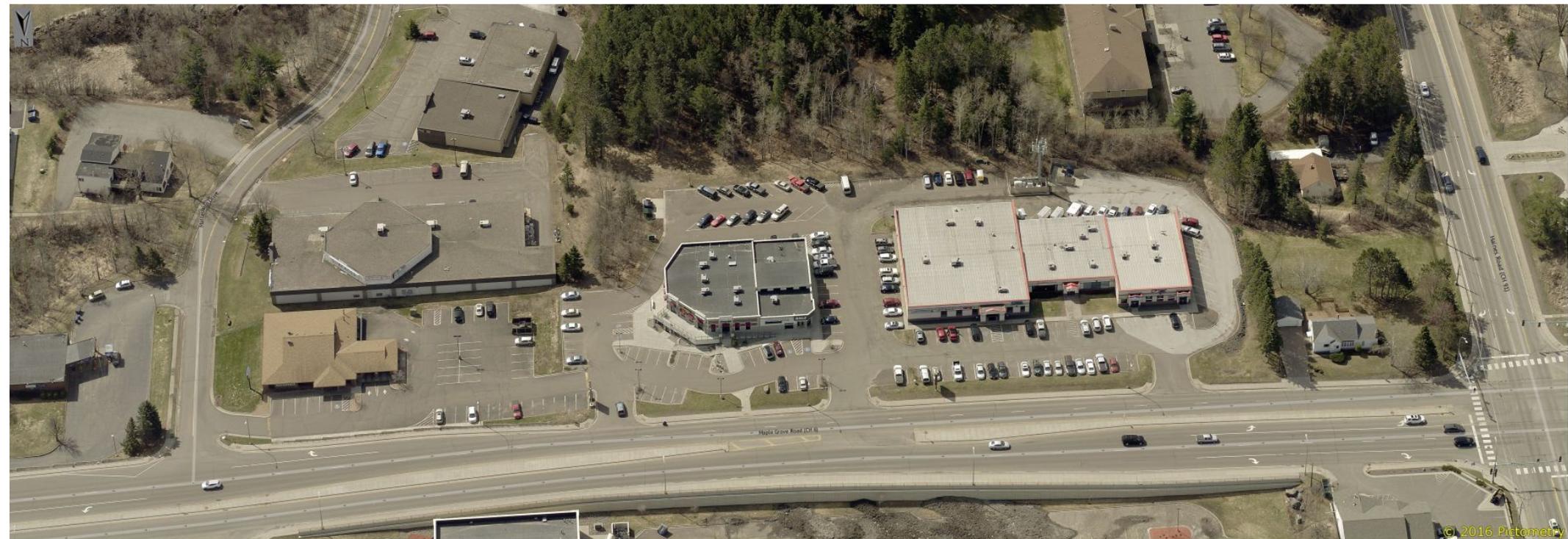
Site Map

Legend

- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains**
 - CITY OF DULUTH
 - WLSSD; PRIVATE
 - Sanitary Sewer Forced Main
- Storage Basin
- PS Pump Station
- Storm Sewer Mains**
 - Storm Sewer Pipe
 - Storm Sewer Catch Basin
- Boundary Lines**
 - <all other values>
 - Subtype, ROW_TYPE
 - Lot Line
 - Parcel Line
 - ROW (Road)
 - ROW (Not Road)
 - Subdivision Line
 - Water Line
 - Survey Line
 - Municipal Boundary
 - Vacated ROW

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





04/27/2016



SITE NAME: DUL BURNING TREE PLAZA SC2

SITE NUMBER: 20151281300

LOCATION CODE: 393108

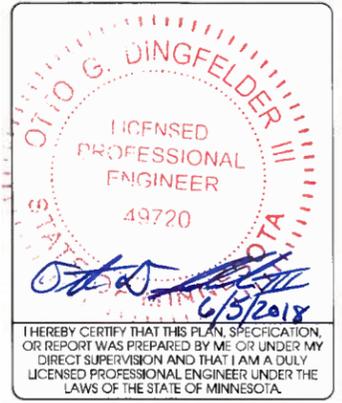
SITE TYPE: SMALL CELL

INSTALLATION TYPE: REPLACEMENT LIGHT POLE



PROJECT NO: 20151281300
 LOCATION CODE: 393108
 EDGE PROJECT NO: 16590
 CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/12/2017	FINAL DRAWINGS	MTS
1	10/26/2017	FINAL DRAWINGS	DGS
2	04/24/2018	FINAL DRAWINGS	MWH
3	05/03/2018	FINAL DRAWINGS	MWH
4	06/05/2018	FINAL DRAWINGS	RJK



DUL BURNING TREE PLAZA SC2
 DULUTH, MN
 REPLACEMENT LIGHT POLE
 SMALL CELL DRAWINGS

SHEET TITLE
TITLE SHEET & PROJECT DATA

SHEET NUMBER
G-001

SITE INFORMATION	AREA MAP	PROJECT DESCRIPTION/SOW	SHEET INDEX																																
<p>APPROXIMATE ADDRESS: 2510 MAPLE GROVE RD DULUTH, MN 55811 SAINT LOUIS COUNTY</p> <p>SITE COORDINATES: LAT: 46°-48'-26.83"N LONG: 92°-10'-20.70"W GROUND ELEVATION: 1357.5' AMSL (PER BOUNDARY SURVEY)</p> <p>POLE HEIGHT: 35'-0" T.O.C.</p> <p>MAXIMUM APPURTENANCE HEIGHT: 35'-7" A.G.L.</p>		<ul style="list-style-type: none"> INSTALL (1) REPLACEMENT STEEL LIGHT POLE AND ASSOCIATED CONCRETE FOUNDATION INSTALLATION OF PANEL ANTENNA INSTALLATION OF ERICSSON RRUS AND POWER CONVERTERS INSTALLATION OF LOAD CENTER INSTALLATION OF DIPLEXERS INSTALLATION OF ELECTRIC METER, BY VERIZON INSTALLATION OF HAND HOLE FOR FIBER AT POLE BASE, BY FIBER PROVIDER INSTALLATION OF CONDUIT FOR FIBER BETWEEN HAND HOLE AND POLE BASE (APPROX. 2'-0"), TO BE TRENCHED BELOW GRADE, BY VERIZON INSTALLATION OF CONDUIT FOR FIBER IN ROW, TO BE TRENCHED BELOW GRADE, BY PROVIDER INSTALLATION OF NEW ELECTRIC SERVICE CONDUIT AND CONDUCTORS FROM POLE BASE TO POWER SOURCE, BY VERIZON REMOVE EXISTING FOUNDATION, BY VERIZON REMOVE EXISTING LIGHT POLE AND DELIVER TO CITY OF DULUTH, BY VERIZON INSTALLATION OF GROUND SYSTEM AROUND POLE FOUNDATION ALL OTHER CONSTRUCTION RELATED ACTIVITIES TO BE COMPLETED BY OTHERS 	<table border="1"> <thead> <tr> <th>NO:</th> <th>SHEET TITLE</th> </tr> </thead> <tbody> <tr><td>G-001</td><td>TITLE SHEET & PROJECT DATA</td></tr> <tr><td>G-002</td><td>GENERAL SPECIFICATIONS</td></tr> <tr><td>G-003</td><td>GENERAL SPECIFICATIONS</td></tr> <tr><td>C-101</td><td>SITE PLAN</td></tr> <tr><td>C-501</td><td>TRAFFIC CONTROL PLANS</td></tr> <tr><td>T-201</td><td>SITE ELEVATION</td></tr> <tr><td>T-501</td><td>ANTENNA DETAILS</td></tr> <tr><td>T-502</td><td>EQUIPMENT DETAILS</td></tr> <tr><td>S-001</td><td>STRUCTURAL NOTES **</td></tr> <tr><td>S-501</td><td>STRUCTURAL DETAILS **</td></tr> <tr><td>E-101</td><td>UTILITY PLAN</td></tr> <tr><td>E-102</td><td>UTILITY PLAN</td></tr> <tr><td>E-103</td><td>GROUNDING PLAN</td></tr> <tr><td>E-601</td><td>UTILITY DETAILS</td></tr> <tr><td>E-502</td><td>GROUNDING DETAILS</td></tr> </tbody> </table> <p>* COMPLETED BY OTHERS ** REVIEWED AND APPROVED BY STRUCTURAL ENGINEER</p>	NO:	SHEET TITLE	G-001	TITLE SHEET & PROJECT DATA	G-002	GENERAL SPECIFICATIONS	G-003	GENERAL SPECIFICATIONS	C-101	SITE PLAN	C-501	TRAFFIC CONTROL PLANS	T-201	SITE ELEVATION	T-501	ANTENNA DETAILS	T-502	EQUIPMENT DETAILS	S-001	STRUCTURAL NOTES **	S-501	STRUCTURAL DETAILS **	E-101	UTILITY PLAN	E-102	UTILITY PLAN	E-103	GROUNDING PLAN	E-601	UTILITY DETAILS	E-502	GROUNDING DETAILS
NO:	SHEET TITLE																																		
G-001	TITLE SHEET & PROJECT DATA																																		
G-002	GENERAL SPECIFICATIONS																																		
G-003	GENERAL SPECIFICATIONS																																		
C-101	SITE PLAN																																		
C-501	TRAFFIC CONTROL PLANS																																		
T-201	SITE ELEVATION																																		
T-501	ANTENNA DETAILS																																		
T-502	EQUIPMENT DETAILS																																		
S-001	STRUCTURAL NOTES **																																		
S-501	STRUCTURAL DETAILS **																																		
E-101	UTILITY PLAN																																		
E-102	UTILITY PLAN																																		
E-103	GROUNDING PLAN																																		
E-601	UTILITY DETAILS																																		
E-502	GROUNDING DETAILS																																		
<p>APPLICABLE CODES</p> <p>ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES: - 2012 INTERNATIONAL BUILDING CODE - 2014 NATIONAL ELECTRIC CODE - TIA/EIA-222-G OR LATEST EDITION</p> <p>IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL</p>	<p>LOCATION MAP</p>	<p>PROJECT DIRECTORY</p> <p>LESSEE: VERIZON WIRELESS 10801 BUSH LAKE RD BLOOMINGTON, MN 55438 CONTACT: RICK WENTA PHONE: 952.946.4690</p> <p>LESSOR: CITY OF DULUTH 411 W 1ST ST DULUTH, MN 55802 PHONE: 218.730.5000</p> <p>ENGINEERING COMPANY: EDGE CONSULTING ENGINEERS, INC. 2101 HIGHWAY 13 W BURNSVILLE, MN 55337 CONTACT: OTTO DINGFELDER III, P.E. PHONE: 608.644.1449</p> <p>RE ENGINEER: VERIZON WIRELESS 10801 BUSH LAKE RD BLOOMINGTON, MN 55438 CONTACT: MICHAEL KOCH</p> <p>SITE ACQUISITION: JACOBS ENGINEERING GROUP, INC. 2727 PATTON ROAD ROSEVILLE, MN 55113 CONTACT: AMY DRESCH PHONE: 952.831.1043</p>	<p>11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED</p> <p>CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.</p>																																
<p>LOCATION SCAN</p>		<p>ENGINEER OF RECORD</p> <p>EDGE CONSULTING ENGINEERS, INC. CONTACT: OTTO DINGFELDER III (PE # 49720 (MN)) PHONE: 608.644.1449</p>	<p>STRUCTURAL REVIEW</p> <p>FOUNDATION DESIGN: EDGE CONSULTING ENGINEERS PROJECT #: 16590 DATE: 10/17/2017</p> <p>POLE DESIGN: VALMONT DRAWING #: MN379742P1 DATE: 10/12/2017</p> <p>CONTRACTOR TO REVIEW STRUCTURAL REPORT IN ITS ENTIRETY. ANY DISCREPANCIES OR DISAGREEMENTS BETWEEN THE REPORT AND THESE PLANS SHOULD BE RESOLVED PRIOR TO CONSTRUCTION.</p>																																

L:\16590\16590_CAD\PKA\Print\G-001.dgn



verizon

JACOBS

Jacobs Engineering Group, Inc
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com

Edge
Consulting Engineers, Inc.

2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20151281300

LOCATION CODE: 393108

EDGE PROJECT NO: 16590

CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/12/2017	FINAL DRAWINGS	MTS
1	10/26/2017	FINAL DRAWINGS	DGS
2	04/24/2018	FINAL DRAWINGS	MWH
3	05/03/2018	FINAL DRAWINGS	MWH
4	06/05/2018	FINAL DRAWINGS	RJK

APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL BURNING TREE PLAZA SC2
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
SITE PLAN

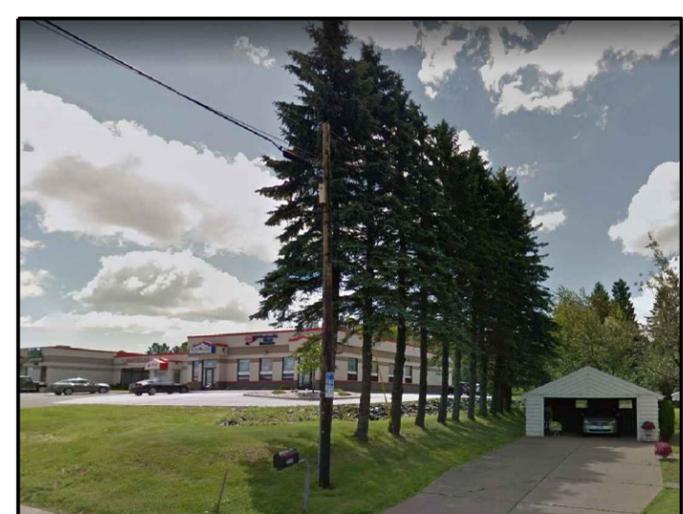
SHEET NUMBER
C-101



A AERIAL OVERVIEW



B SITE OVERVIEW [LOOKING WEST]



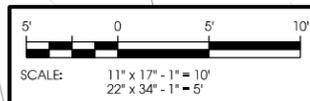
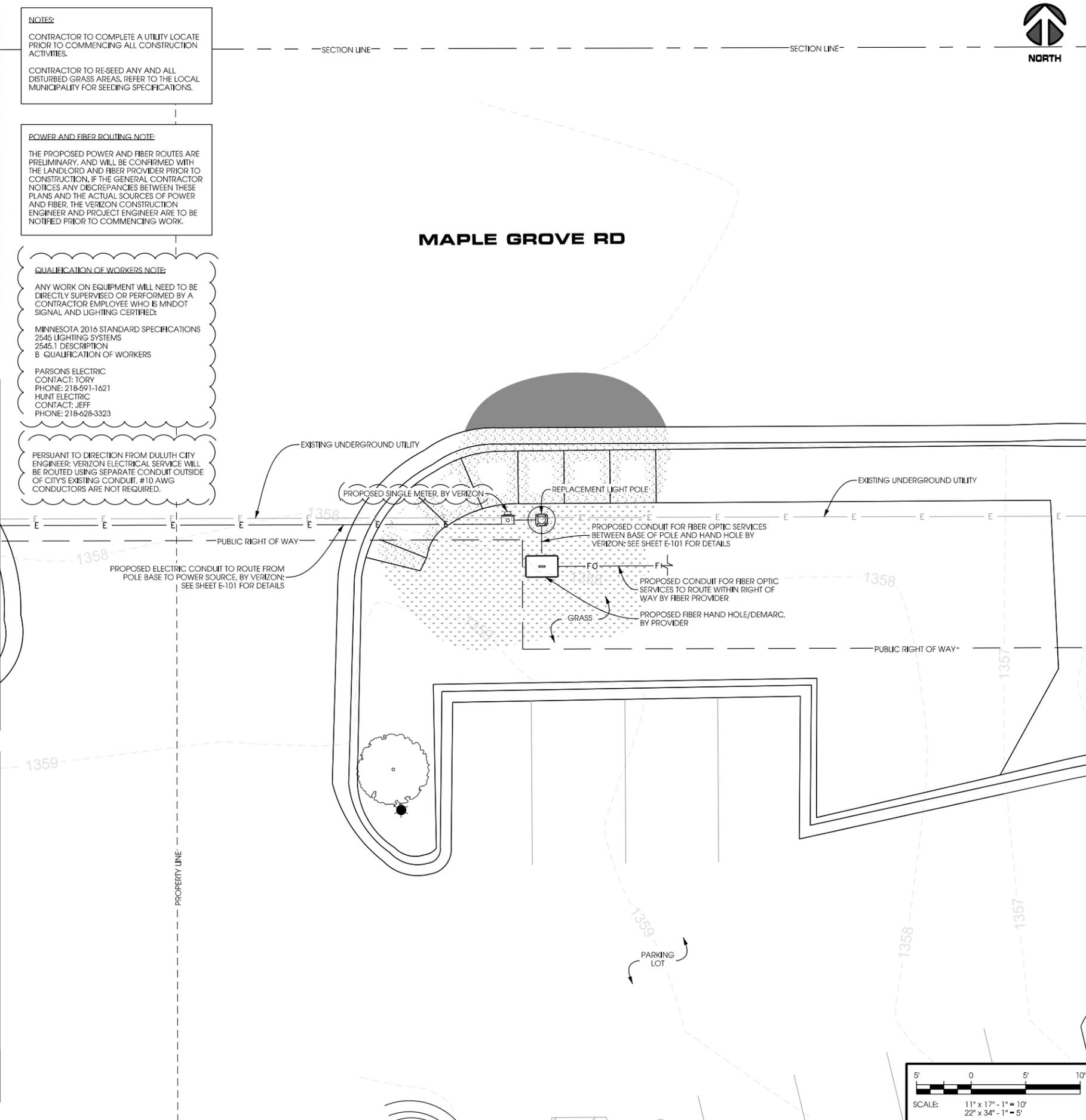
C POWER SOURCE [LOOKING SOUTHEAST]

NOTES:
CONTRACTOR TO COMPLETE A UTILITY LOCATE PRIOR TO COMMENCING ALL CONSTRUCTION ACTIVITIES.
CONTRACTOR TO RE-SEED ANY AND ALL DISTURBED GRASS AREAS. REFER TO THE LOCAL MUNICIPALITY FOR SEEDING SPECIFICATIONS.

POWER AND FIBER ROUTING NOTE:
THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

QUALIFICATION OF WORKERS NOTE:
ANY WORK ON EQUIPMENT WILL NEED TO BE DIRECTLY SUPERVISED OR PERFORMED BY A CONTRACTOR EMPLOYEE WHO IS MNDOT SIGNAL AND LIGHTING CERTIFIED.
MINNESOTA 2016 STANDARD SPECIFICATIONS 2545 LIGHTING SYSTEMS 2545.1 DESCRIPTION B QUALIFICATION OF WORKERS
PARSONS ELECTRIC CONTACT: TORY PHONE: 218-691-1621
HUNT ELECTRIC CONTACT: JEFF PHONE: 218-628-3323

PERSUANT TO DIRECTION FROM DULUTH CITY ENGINEER: VERIZON ELECTRICAL SERVICE WILL BE ROUTED USING SEPARATE CONDUIT OUTSIDE OF CITY'S EXISTING CONDUIT. #10 AWG CONDUCTORS ARE NOT REQUIRED.



LA:16590\16590\CAD\Plan\Final\C-101.dgn

PROJECT NO: 20151281300
LOCATION CODE: 393108
EDGE PROJECT NO: 16590
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/12/2017	FINAL DRAWINGS	MTS
1	10/26/2017	FINAL DRAWINGS	DGS
2	04/24/2018	FINAL DRAWINGS	MWH
3	05/03/2018	FINAL DRAWINGS	MWH
4	06/05/2018	FINAL DRAWINGS	RJK

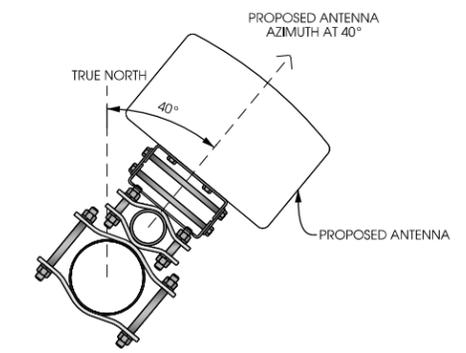
APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL BURNING TREE PLAZA SC2
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
SITE ELEVATION

SHEET NUMBER
T-201



C ANTENNA ORIENTATION
SCALE: NTS

ANTENNAS					
QUANTITY	MAKE	MODEL	CENTERLINE	TIP HEIGHT	AZIMUTH
1	JMA	X7CQAPFRO-260	30' AGL	31'-6" AGL	40°

EQUIPMENT			
QUANTITY	TYPE	MAKE	MODEL
1	RRU	ERICSSON	RRUS32 B66
1	RRU	ERICSSON	RRUS32 B2
2	DIPLXER	COMMSCOPE	CBC1923T-4310 E11F13PO6

CABLING			
QUANTITY	TYPE	MAKE	MODEL
6	COAX	COMMSCOPE	LFD4-50

D ANTENNA AND CABLING
SCALE: NTS

CAUTION

Transmitting Antenna(s)
Radio frequency fields beyond this point MAY EXCEED the FCC Occupational Exposure Limit.
Obey all posted signs and site guidelines.
Call Verizon Wireless at 1-800-264-6620 PRIOR to working beyond this point.

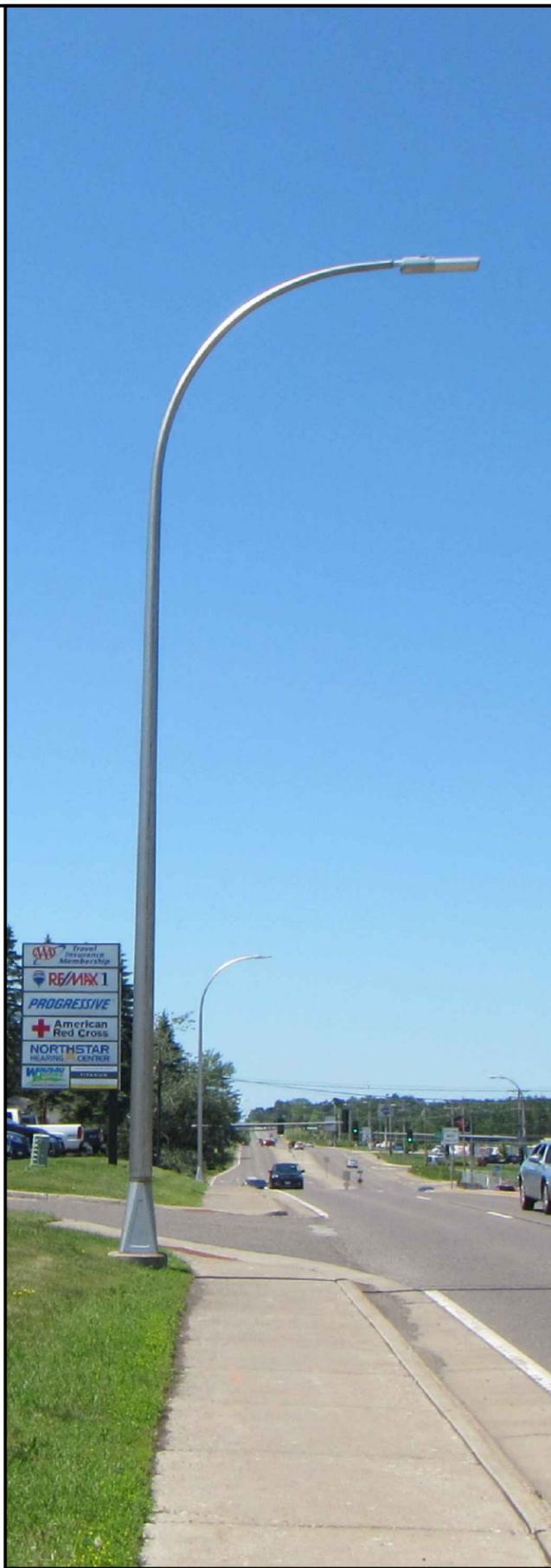
WARNING

Beyond this point:
Radio frequency fields at this site exceed the FCC rules for human exposure.
Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.
© 2015 Verizon Wireless. All rights reserved. 4887 Retail Services Inc.

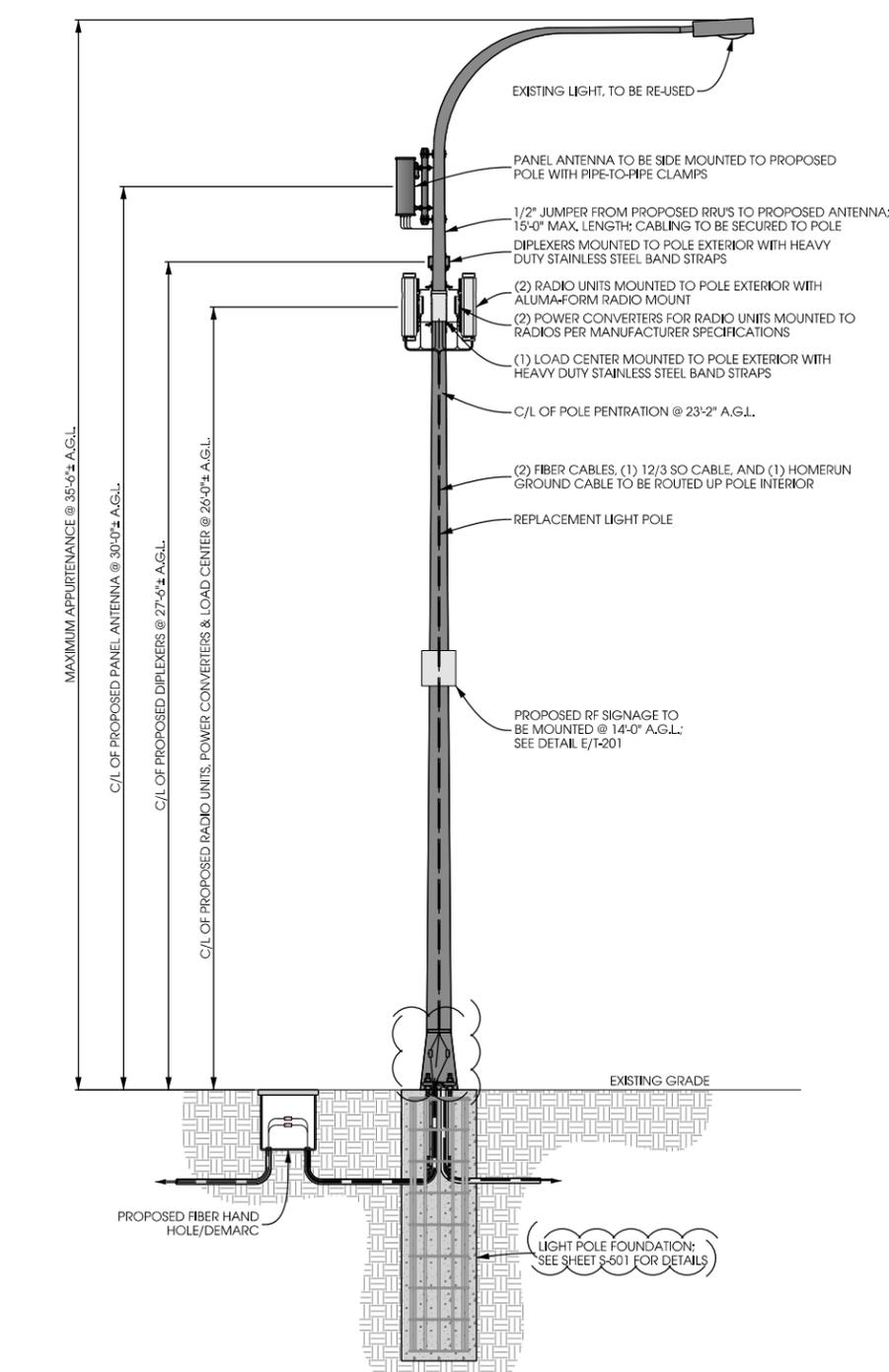
NOTICE

Transmitting Antenna(s)
Radio frequency fields beyond this point MAY EXCEED the FCC General Population Exposure Limit.
Obey all posted signs and site guidelines.
Call Verizon Wireless at 1-800-264-6620 PRIOR to working beyond this point.

E RF WARNING SIGNS
SCALE: NTS



B SITE ELEVATION



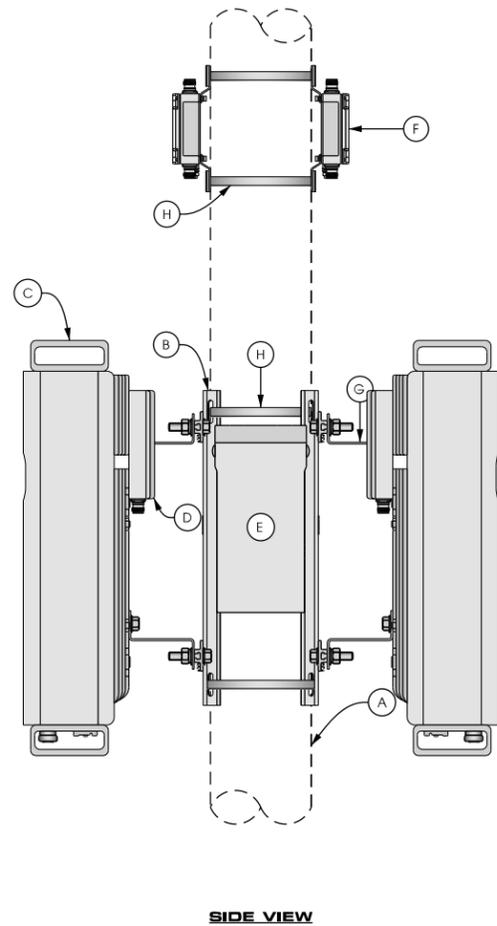
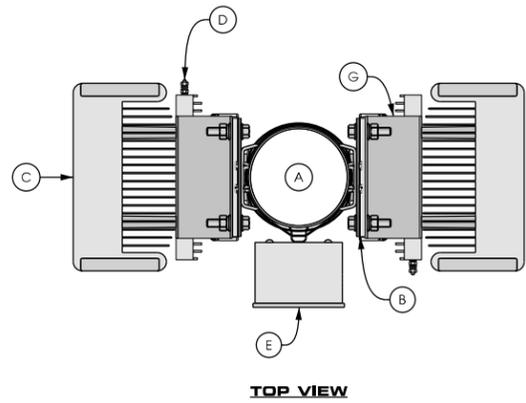
A POLE ELEVATION
SCALE: 11" x 17" - 1" = 6'-0"
22" x 34" - 1" = 3'-0"

NOTE:
PROPOSED POLE TO BE MILLERBERND SD1-081-H-94F-350-W-FR LIGHT POLE

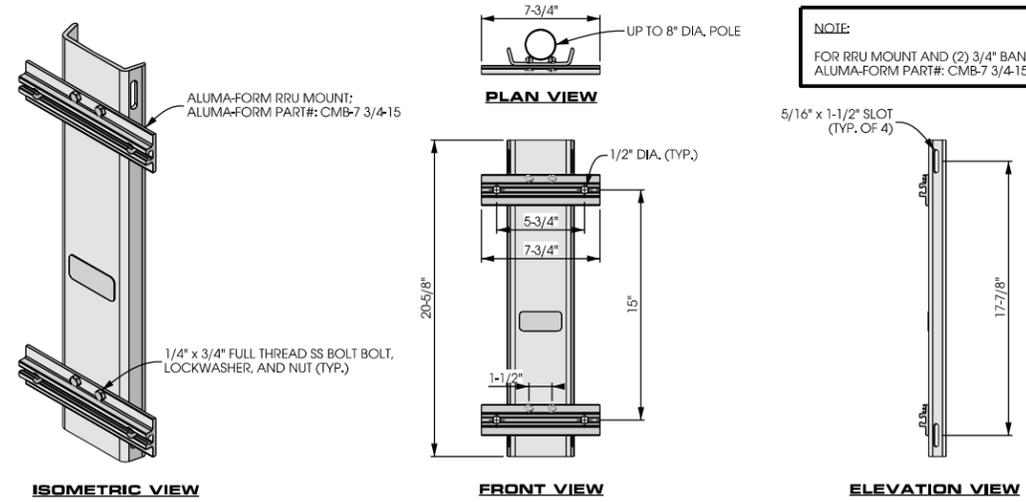
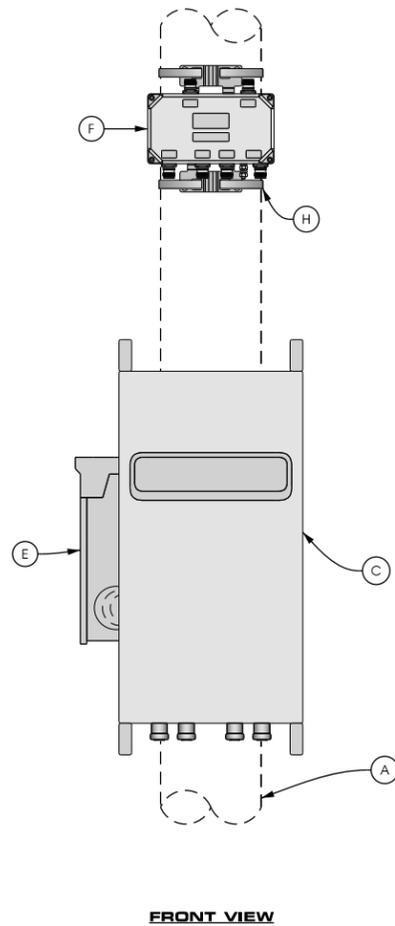
NOTES:
TYPICAL INSTALLATION SHOWN.
ALL ELEVATIONS ARE ASSUMED TO BE MEASURED FROM ABOVE GRADE LEVEL.
ALL PROPOSED POLE-MOUNTED EQUIPMENT TO BE PAINTED TO MATCH POLE.

NOTE:
PAINT ALL ANTENNAS, OUTDOOR EQUIPMENT, CABLING, AND MOUNTING HARDWARE TO MATCH THE POLE.

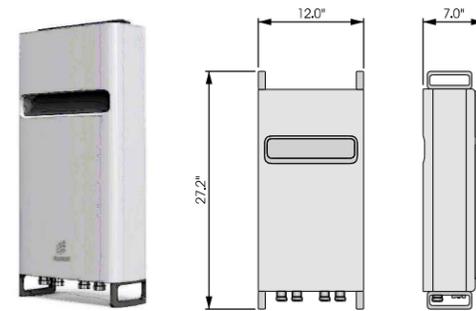
- KEYED NOTES:**
- A. UP TO 8" DIA. POLE
 - B. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL B THIS SHEET
 - C. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL C THIS SHEET
 - D. POWER SUPPLY UNIT SECURED TO BACK OF REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL D THIS SHEET
 - E. LOAD CENTER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP; SEE DETAIL E THIS SHEET
 - F. DIPLEXER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP. OF 2); SEE DETAIL F THIS SHEET
 - G. ANGLE ADAPTER MOUNTED TO BACK OF REMOTE RADIO UNIT PER MANUFACTURER'S SPECIFICATIONS (TYP.)
 - H. HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP.)



A POLE ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

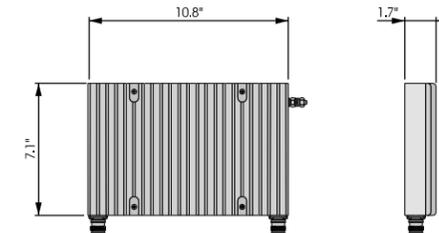


B EQUIPMENT MOUNTING
SCALE: NTS



REMOTE RADIO UNIT:
ERICSSON PART # RRUS32
DIMENSIONS: 27.2" x 12.0" x 7.0" (H x W x D)
WEIGHT: 60 LBS

C REMOTE RADIO UNIT
SCALE: NTS



POWER SUPPLY UNIT:
ERICSSON PART # PSU AC-08
DIMENSIONS: 10.8" x 7.1" x 1.9" (H x W x D)
WEIGHT: 11.5 LBS

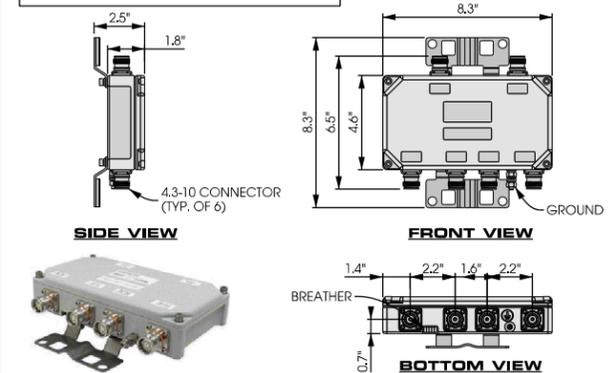
D POWER SUPPLY UNIT
SCALE: NTS

MANUFACTURER: SIEMENS
MODEL #: W0408ML1125
DIMENSIONS: 12.25" x 6" x 4.25" (H x W x D)
WEIGHT: 6.8 LBS.
NUMBER OF POLES: 4 (EXPANDABLE TO 8)
MAX. CURRENT RATING: 125 A
VOLTAGE RATING: 240 VAC
CONTRACTOR TO INSTALL LED LIGHT



E LOAD CENTER
SCALE: NTS

MANUFACTURER: COMMSCOPE
MODEL #: CBC19231-4310 / E11F13P06
TWIN DIPLEXER PCS/AWS+WCS, DC BLOCK, 4.3-10
DIMENSIONS: 8.3" x 4.6" x 1.8"
WEIGHT: 4.4 LBS



F DIPLEXER
SCALE: NTS



PROJECT NO: 20151281300
LOCATION CODE: 393108
EDGE PROJECT NO: 16590
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/12/2017	FINAL DRAWINGS	MTS
1	10/26/2017	FINAL DRAWINGS	DGS
2	04/24/2018	FINAL DRAWINGS	MWH
3	05/03/2018	FINAL DRAWINGS	MWH
4	06/05/2018	FINAL DRAWINGS	RJK

APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL BURNING TREE PLAZA SC2
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
**EQUIPMENT
DETAILS**

SHEET NUMBER
T-502

POWER AND FIBER ROUTING NOTE:

THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

NOTES:

- CONTRACTOR TO COMPLETE UTILITY LOCATE PRIOR TO COMPLETING ANY CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO MAINTAIN A MINIMUM 48" OF COVER BETWEEN DIRECTIONAL CORE AND ROADWAY PAVEMENT TO THE EXTENT PRACTICAL.
- CONTRACTOR TO PROVIDE A MINIMUM OF 12" OF CLEARANCE BETWEEN PROPOSED CONDUIT AND EXISTING UTILITIES.
- ALL CONCRETE DAMAGED AS PART OF THIS WORK TO BE REPAIRED/REPLACED TO ITS ORIGINAL CONDITION.
- ALL ASPHALT REMOVED DURING CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO ITS ORIGINAL CONDITION.
- TEMPORARY HARD SURFACE TO BE PROVIDED IMMEDIATELY UPON BACK FILL, UNTIL PERMANENT REPAIR IS MADE.
- NOTIFY CITY OF DULUTH 7310-9310 2 WORKING DAYS PRIOR TO EXCAVATION OR DIRECTIONAL DRILLING WITHIN 6FT OF NATURAL GAS MAINS.
- OBTAIN PERMIT FROM ST. LOUIS COUNTY FOR ELECTRIC CONDUIT.



Jacobs Engineering Group, Inc
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com



2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20151281300
LOCATION CODE: 393108
EDGE PROJECT NO: 16590
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/12/2017	FINAL DRAWINGS	MTS
1	10/26/2017	FINAL DRAWINGS	DGS
2	04/24/2018	FINAL DRAWINGS	MWH
3	05/03/2018	FINAL DRAWINGS	MWH
4	06/05/2018	FINAL DRAWINGS	RJK

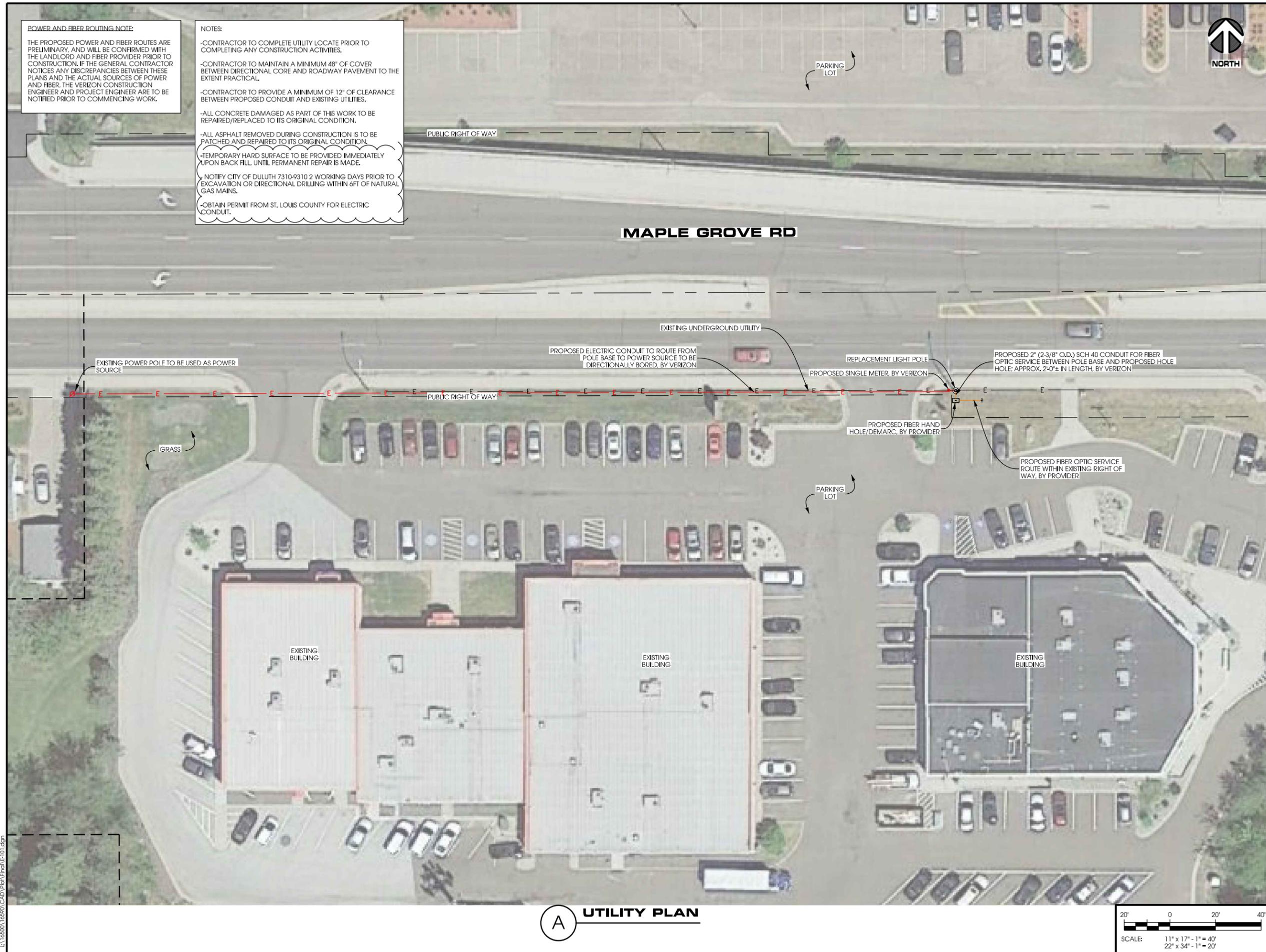
APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

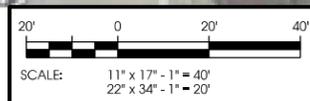
DUL BURNING TREE PLAZA SC2
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-101



A UTILITY PLAN



LA:16590\16590\CAD\Plan\Final\E-101.dwg



CITY OF DULUTH

Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197

Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL 18-064, CUP	Contact	Steven Robertson, 218-730-5295	
Type	Concurrent Use Permit to Place Private Obstructions in Public Right of Way/Public Facilities (Utility Poles)	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 8, 2018		
	Date Extension Letter Mailed	N/A	90 Days* (237.163)	August 6, 2018
Location of Subject	2 Separate Sites (250 Canal Park Drive, 688 West Railroad Street)			
Applicant	Verizon Wireless	Contact		
Agent	Jaymes D Littlejohn	Contact		
Legal Description				
Site Visit Date	May 30, 2018	Sign Notice Date	May 25, 2018	
Neighbor Letter Date	N/A for Concurrent Use	Number of Letters Sent	N/A for Concurrent Use	

Proposal

The applicant is proposing to “own or control two small wireless facilities in the public right-of-way, including the replacement of the existing, city owned poles and foundations to the support the new facilities. The City will continue to own the replacement poles/foundations”.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include 1 exterior mounted panel antenna, 2 power converters, and 2 radio units mounted approximately between at least 26 to 30 feet above the ground. The replacement poles will be 40 feet tall.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	Varies	Public Right of Way	Varies
North	Varies	Public Right of Way	Varies
South	Varies	Public Right of Way	Varies
East	Varies	Public Right of Way	Varies
West	Varies	Public Right of Way	Varies

Summary of Code Requirements

UDC Section 50-37.7.C. The planning commission shall review the application, and council shall approve the application or approve it with modifications, if it determines that:

- 1) The proposed concurrent use will not harm or inconvenience the health, safety and general welfare of the city;
- 2) No portion of a public easement proposed of use is being physically occupied by the public.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Principle #4 - Support emerging economic growth sectors. Emerging economic sectors add economic, cultural and social diversity. These include higher education, medical, value-added manufacturing, commercial outdoor recreation, historic resources interpretation, arts and music, information technology and visitor services.

The installation falls with the provisions of Minnesota Statute 237.162 and 247.1643, as amended in 2017.

This application is one of three being present to the June 12, 2018 Planning Commission. The three applications are for four separate sites (Maple Grove Road, 6th Avenue West, Canal Park Drive, and Railroad Street). In 2016 the city issued a Special Use Permit for 3 small wireless facilities on utility poles on private property owned by St Scholastica, and in 2017 the city issued a concurrent use permit for 3 small wireless facilities on utility poles owned by Minnesota Power in city right of way.

Review and Discussion Items

1) Applicant is proposing to install small wireless facilities on existing city utility poles located within dedicated public rights-of-way. The two proposed locations are located in rights-of-way near Canal Park Drive and West Railroad Street.

The wireless facilities will not be stealthed or camouflaged; the equipment will be visibly attached to the exterior of the pole. The attachments will include 1 exterior mounted panel antenna, 2 power converters, and 2 radio units mounted approximately between at least 26 to 30 feet above the ground. The replacement poles will be 40 feet.

2) Granting a concurrent use permit would give the applicant the ability to use dedicated public rights-of-way, with conditions, while preserving other existing public uses in the same right-of-way corridors. Concurrent use permits require a public hearing and recommendation by the Planning Commission, and is approved by the City Council via ordinance. Unlike street right-of-way vacations, concurrent use permits are not recorded at the County as they are voidable permits issued by the City to applicants who are private users of public rights-of-way.

3) Both small wireless facilities will be similar in general configuration. Ownership of the poles will remain with the City of Duluth, with the poles in dedicated public rights-of-way. Liability, maintenance, and operation of the small wireless facilities will remain the responsibility of the applicant. In the event of an accident, such as a vehicle hitting the utility pole, the city is not responsible for restoring or replacing any of the applicant's equipment.

4) The existing city utility poles will be replaced with new poles, as specified and approved by the City engineer. The new poles will have a structural analysis by the manufacturer to ensure that they can support the weight of the private small cell facilities and required public infrastructure. The poles will be embedded into the ground a distance of 15 feet.

5) Granting the proposed concurrent use permits will not harm or inconvenience the health, safety and general welfare of the city. The area proposed for the concurrent use permit will not take away from the public's ability to use the public right-of-way. The city will own the poles and continue to use them for utility purposes (lighting).

6) The UDC generally requires that new wireless facilities follow a location standard: first they should be collocated on existing towers or other structures on city owned properties first, and then existing towers or other structures on other (private) property, and so forth down the location standard list. As these small wireless facilities would be located on existing infrastructure in public right of way, and as per the recent change in state statute, the city is processing these applications as concurrent use permits and not special use permits, and the UDC's use-specific standards do not apply in this specific situation.

7) The city has the ability to regulate land use, however, the Federal Communications Commission preempts local review on the potential environmental effects of radio frequency (RF) emissions, with the presumption that the applicant and service provider is in compliance with the Commission's RF rules.

8) At the time that this memo was written, no written comments from the public have been received.

Staff Recommendation:

Based on the above findings, Staff recommends that the Planning Commission recommend approval of the two concurrent use permits subject to the following conditions:

- 1) The project be limited to, constructed, and maintained according to construction drawings signed May 3, 2018, and included with this staff report, and as revised per the City Engineer's comments of May 29, 2018, updated June 5, 2018.
- 2) Applicant, or successor, shall remove the proposed obstructions at applicant's expense if directed to do so by the City with appropriate notice, as outlined with other conditions in the concurrent use permit ordinance to be approved by the City Council.
- 3) Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission approval; however, all other changes must be approved by amending the City Council's approved ordinance.

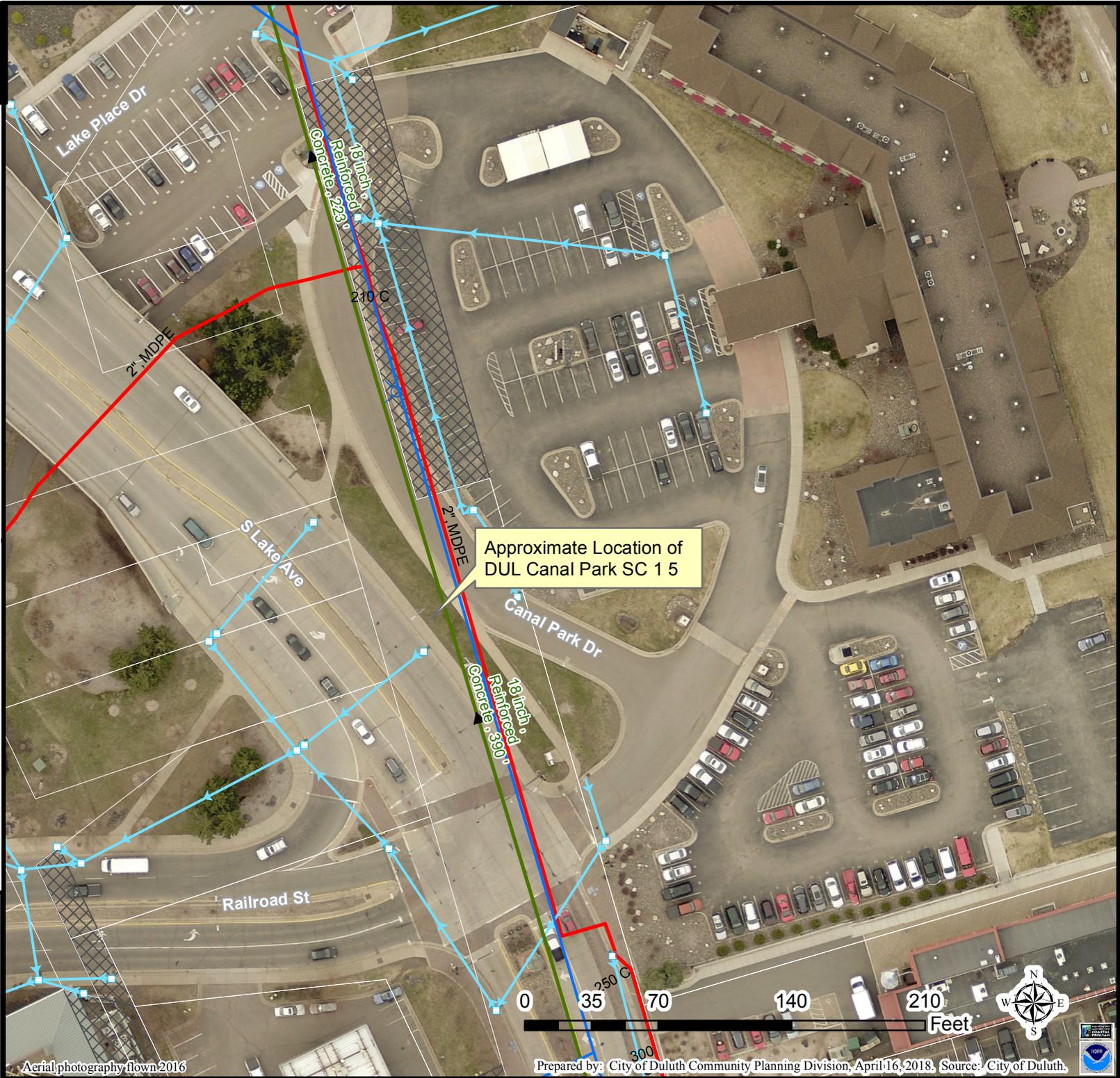


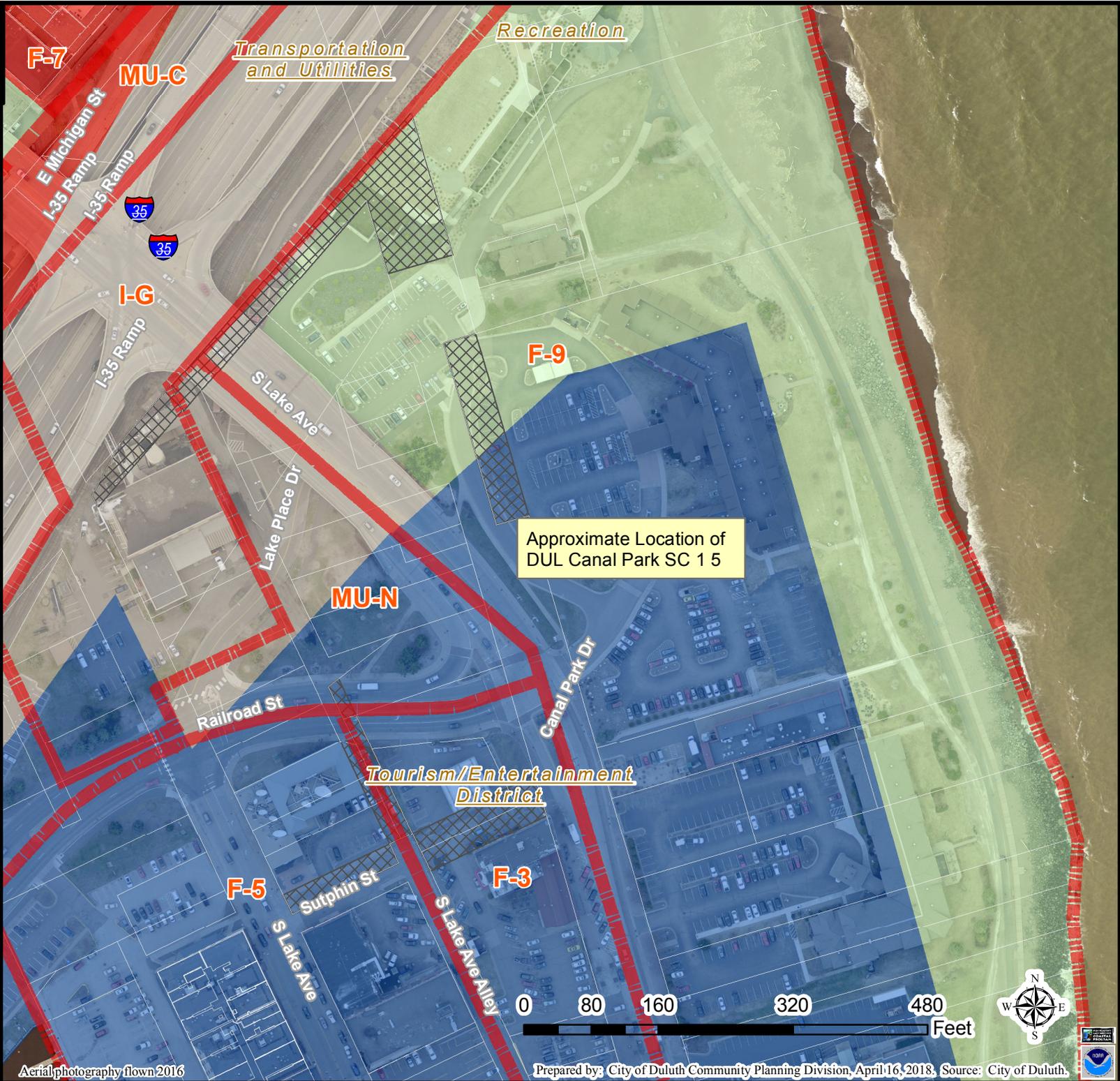
Site Map

Legend

- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains**
- CITY OF DULUTH
- WLSSD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- Pump Station
- Storm Sewer Mains**
- Storm Sewer Pipe
- Storm Sewer Catch Basin
- Vacated ROW

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





Legend

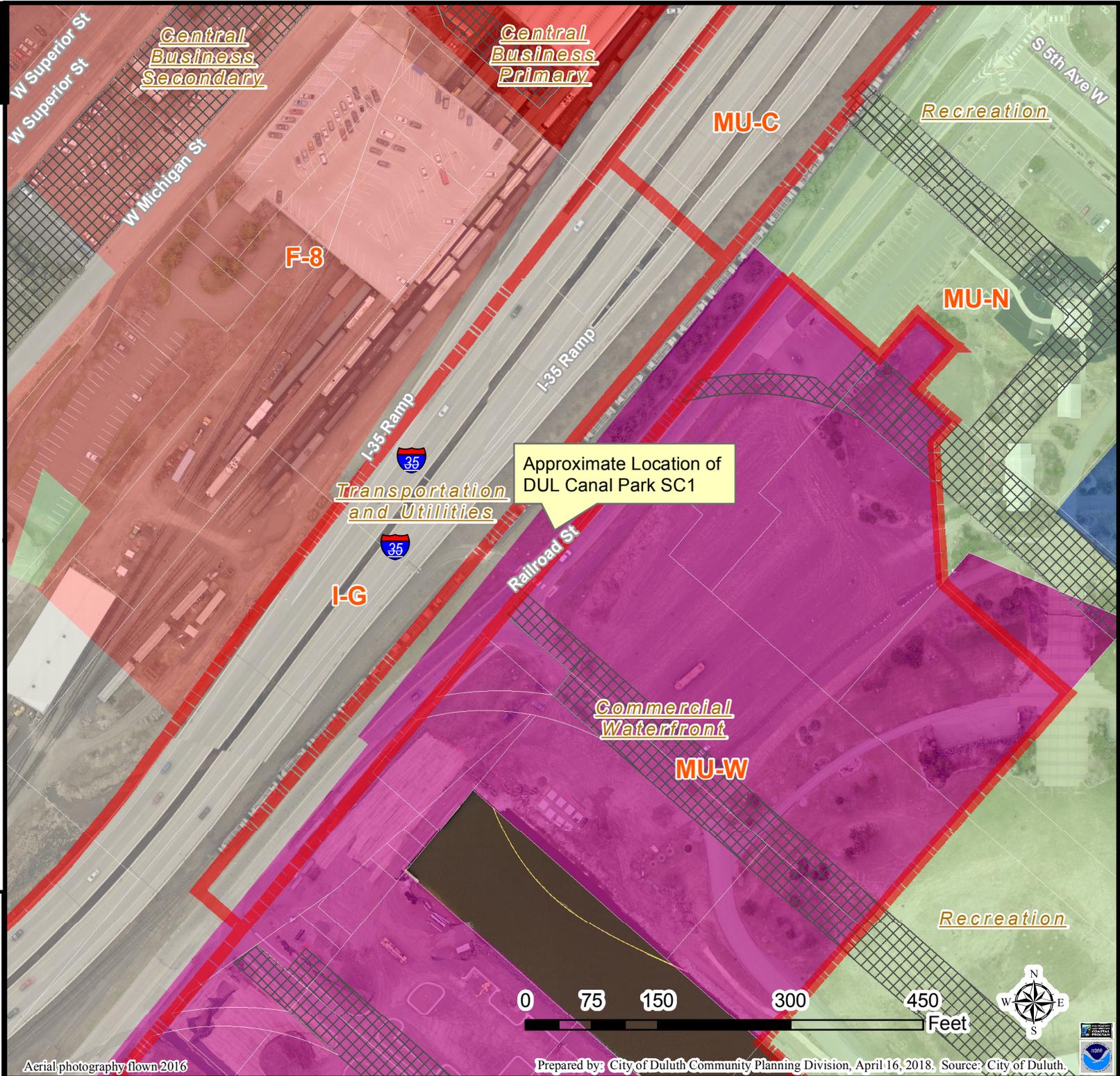
Vacated ROW

Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.







Legend

- Vacated ROW
- Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





Site Map

Legend

- Gas Main
- Water Main
- Hydrant

Sanitary Sewer Mains

- CITY OF DULUTH
- WLSSD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- Pump Station

Storm Sewer Mains

- Storm Sewer Pipe
- Storm Sewer Catch Basin

Boundary Lines

- <all other values>

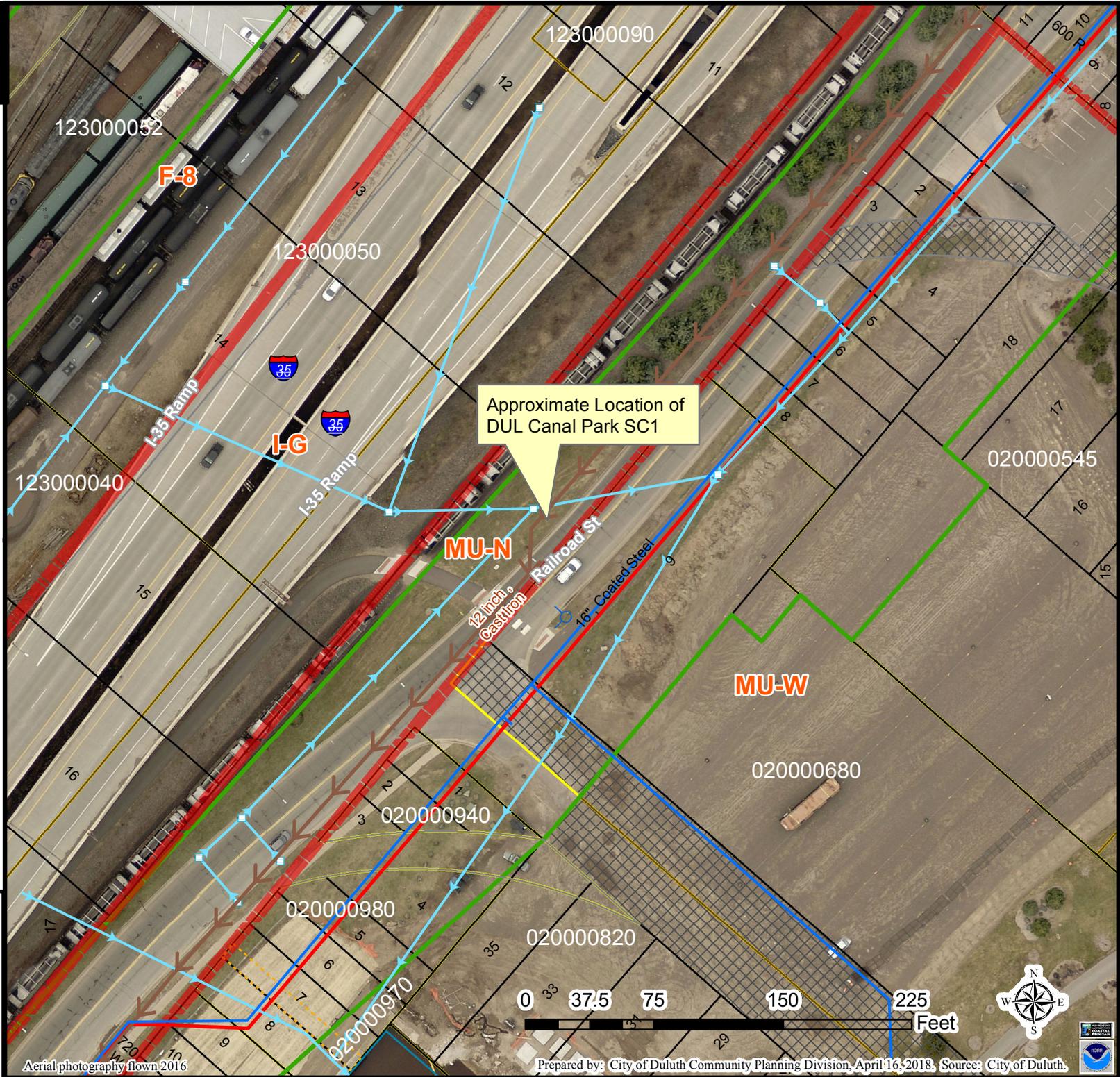
Subtype, ROW_TYPE

- Lot Line
- Parcel Line
- ROW (Road)
- ROW (Not Road)
- Subdivision Line
- Water Line
- Survey Line
- Municipal Boundary

Vacated ROW

Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





© 2016 Pictometry

04/27/2016



SITE NAME: DUL CANAL PARK SC1 5

SITE NUMBER: 20151281310

LOCATION CODE: 393119

SITE TYPE: SMALL CELL

INSTALLATION TYPE: REPLACEMENT LIGHT POLE



Jacobs Engineering Group, Inc.
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com



2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20151281310

LOCATION CODE: 393119

EDGE PROJECT NO: 16592

CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	MTS
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/25/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL CANAL PARK SC1 5
DULUTH, MINNESOTA
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
TITLE SHEET & PROJECT DATA

SHEET NUMBER
G-001

SITE INFORMATION

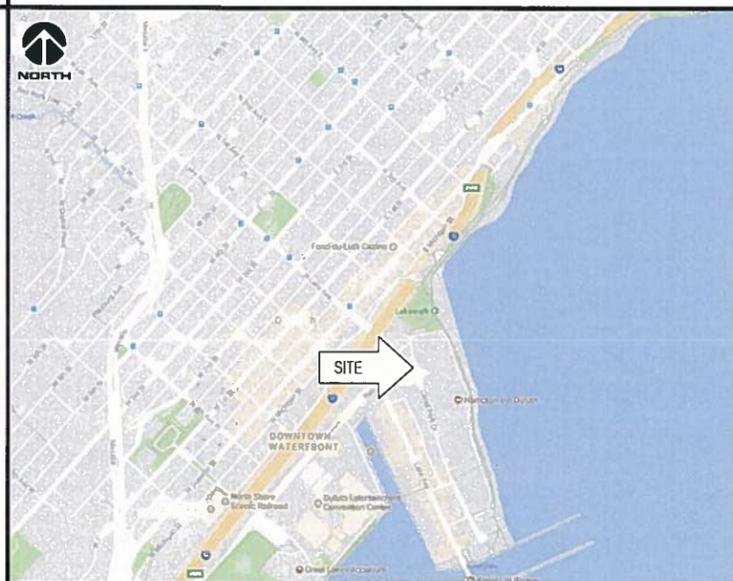
APPROXIMATE ADDRESS:
250 CANAL PARK DRIVE
DULUTH, MN 55802
SAINT LOUIS COUNTY

SITE COORDINATES:
LAT: 46°-47'-07.06"N
LONG: 92°-05'-43.06"W
GROUND ELEVATION: 613.7' AMSL
(PER BOUNDARY SURVEY)

POLE HEIGHT:
40'-0" T.O.C.

MAXIMUM APPURTENANCE HEIGHT:
40'-7" A.G.L.

AREA MAP



PROJECT DESCRIPTION/SOW

- INSTALL (1) REPLACEMENT STEEL LIGHT POLE AND ASSOCIATED CONCRETE FOUNDATION
- INSTALLATION OF PANEL ANTENNA
- INSTALLATION OF ERICSSON RRUS AND POWER CONVERTERS
- INSTALLATION OF LOAD CENTER
- INSTALLATION OF DIPLEXERS
- INSTALLATION OF ELECTRIC METER, BY VERIZON
- INSTALLATION OF HAND HOLE FOR FIBER AT POLE BASE, BY FIBER PROVIDER
- INSTALLATION OF CONDUIT FOR FIBER BETWEEN HAND HOLE AND POLE BASE (APPROX. 2'-0"), TO BE TRENCHED BELOW GRADE, BY VERIZON
- INSTALLATION OF CONDUIT FOR FIBER IN ROW, TO BE TRENCHED BELOW GRADE, BY PROVIDER
- INSTALLATION OF NEW ELECTRIC SERVICE CONDUIT AND CONDUCTORS FROM POLE BASE TO POWER SOURCE, BY VERIZON
- REMOVE EXISTING FOUNDATION, BY VERIZON
- REMOVE EXISTING LIGHT POLE AND DELIVER TO CITY OF DULUTH, BY VERIZON
- INSTALLATION OF GROUND SYSTEM AROUND POLE FOUNDATION
- ALL OTHER CONSTRUCTION RELATED ACTIVITIES TO BE COMPLETED BY OTHERS

SHEET INDEX

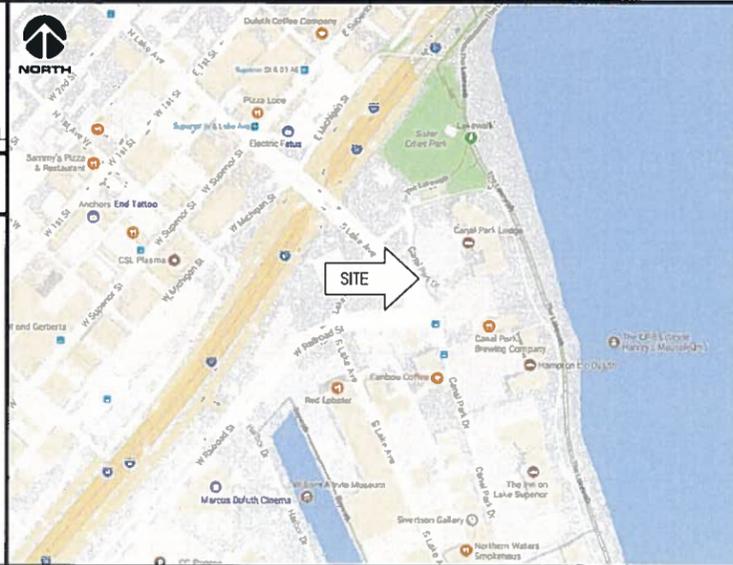
NO:	SHEET TITLE
G-001	TITLE SHEET & PROJECT DATA
G-002	GENERAL SPECIFICATIONS
G-003	GENERAL SPECIFICATIONS
C-101	SITE PLAN
C-601	TRAFFIC CONTROL PLANS
T-201	SITE ELEVATION
T-501	ANTENNA DETAILS
T-502	EQUIPMENT DETAILS
S-001	STRUCTURAL NOTES **
S-601	STRUCTURAL DETAILS **
E-101	UTILITY PLAN
E-102	UTILITY PLAN
E-103	GROUNDING PLAN
E-501	UTILITY DETAILS
E-602	GROUNDING DETAILS

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
- 2012 INTERNATIONAL BUILDING CODE
- 2014 NATIONAL ELECTRIC CODE
- TIA/EIA-222-G OR LATEST EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

LOCATION MAP



PROJECT DIRECTORY

LESSEE:
VERIZON WIRELESS
10801 BUSH LAKE RD
BLOOMINGTON, MN 55438
CONTACT: RICK WENTA
PHONE: 952.946.4690

LESSOR:
CITY OF DULUTH
411 W 1ST ST
DULUTH, MN 55802
PHONE: 218.730.5000

ENGINEERING COMPANY:
EDGE CONSULTING ENGINEERS, INC.
2101 HIGHWAY 13 W
BURNSVILLE, MN 55337
CONTACT: OTTO DINGFELDER III, P.E.
PHONE: 608.644.1449

RE ENGINEER:
VERIZON WIRELESS
10801 BUSH LAKE RD
BLOOMINGTON, MN 55438
CONTACT: MICHAEL KOCH

SITE ACQUISITION:
JACOBS ENGINEERING GROUP, INC.
2727 PATTON ROAD
ROSEVILLE, MN 55113
CONTACT: AMY DRESCH
PHONE: 952.831.1043

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

ENGINEER OF RECORD

EDGE CONSULTING ENGINEERS, INC.
CONTACT: OTTO DINGFELDER III (PE # 49720 (MN))
PHONE: 608.644.1449

STRUCTURAL REVIEW

FOUNDATION DESIGN:
EDGE CONSULTING ENGINEERS
PROJECT #: 16592
DATE: 10/17/2017

POLE DESIGN:
VALMONT
DRAWING #: MN379742P1
DATE: 10/12/2017

CONTRACTOR TO REVIEW STRUCTURAL REPORT IN ITS ENTIRETY. ANY DISCREPANCIES OR DISAGREEMENTS BETWEEN THE REPORT AND THESE PLANS SHOULD BE RESOLVED PRIOR TO CONSTRUCTION.

C:\0600\16592\CAD\Plot\PlotV01.dgn



A AERIAL OVERVIEW



B SITE OVERVIEW [LOOKING SOUTHEAST]



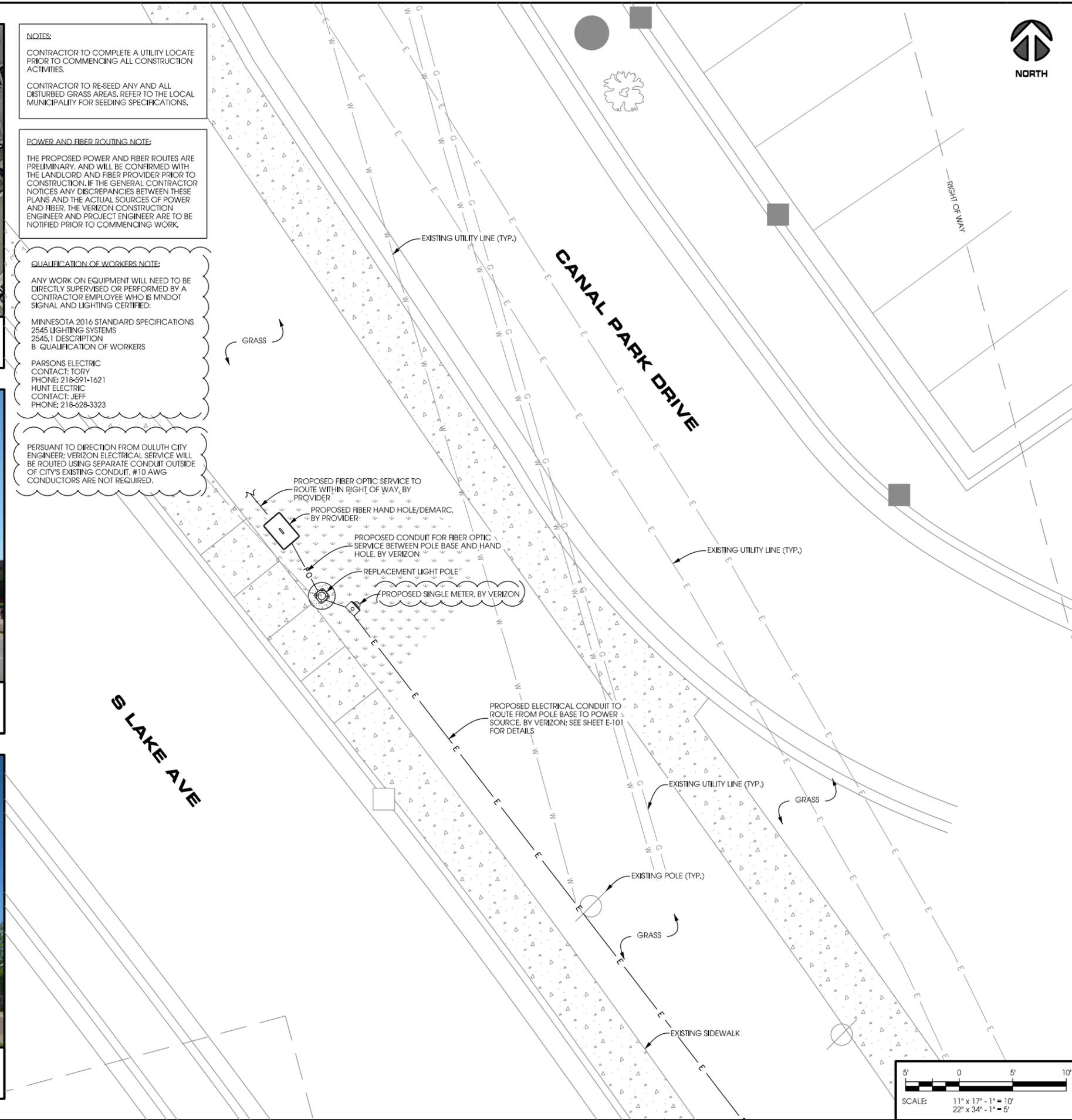
C SITE OVERVIEW [LOOKING NORTHWEST]

NOTES:
 CONTRACTOR TO COMPLETE A UTILITY LOCATE PRIOR TO COMMENCING ALL CONSTRUCTION ACTIVITIES.
 CONTRACTOR TO RE-SEED ANY AND ALL DISTURBED GRASS AREAS. REFER TO THE LOCAL MUNICIPALITY FOR SEEDING SPECIFICATIONS.

POWER AND FIBER ROUTING NOTE:
 THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

QUALIFICATION OF WORKERS NOTE:
 ANY WORK ON EQUIPMENT WILL NEED TO BE DIRECTLY SUPERVISED OR PERFORMED BY A CONTRACTOR EMPLOYEE WHO IS MNDOT SIGNAL AND LIGHTING CERTIFIED.
 MINNESOTA 2016 STANDARD SPECIFICATIONS 2545 LIGHTING SYSTEMS 2545.1 DESCRIPTION B QUALIFICATION OF WORKERS
 PARSONS ELECTRIC
 CONTACT: TORY
 PHONE: 218-591-1621
 HUNT ELECTRIC
 CONTACT: JEFF
 PHONE: 218-528-3323

PERSUANT TO DIRECTION FROM DULUTH CITY ENGINEER, VERIZON ELECTRICAL SERVICE WILL BE ROUTED USING SEPARATE CONDUIT OUTSIDE OF CITY'S EXISTING CONDUIT. #10 AWG CONDUCTORS ARE NOT REQUIRED.



PROJECT NO:	20151281310
LOCATION CODE:	393119
EDGE PROJECT NO:	16592
CHECKED BY:	OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	MTS
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

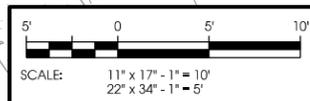
APPROVED - SEE SHEET G-001 FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

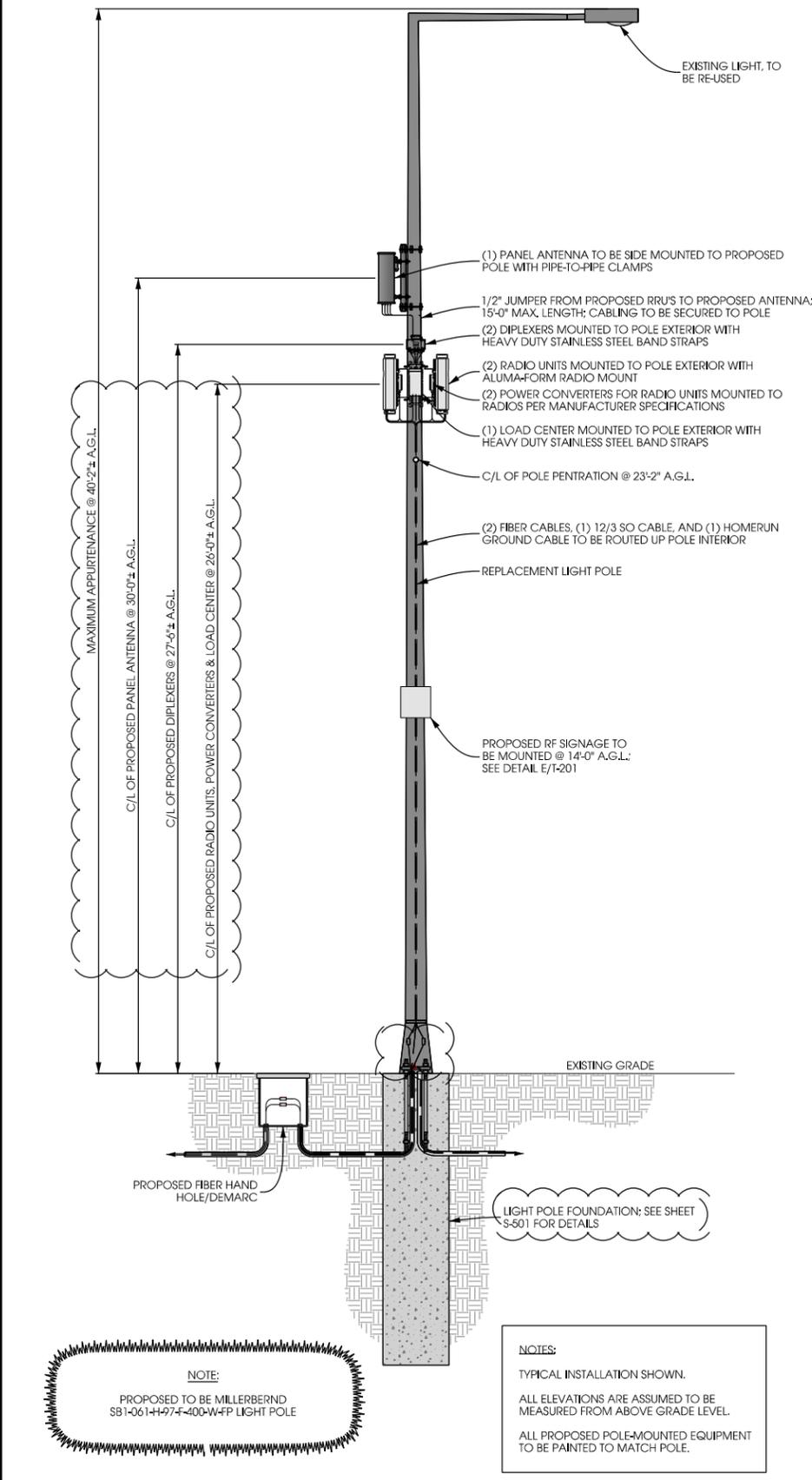
DUL CANAL PARK SC1 5
 DULUTH, MINNESOTA
 REPLACEMENT LIGHT POLE
 SMALL CELL DRAWINGS

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-101



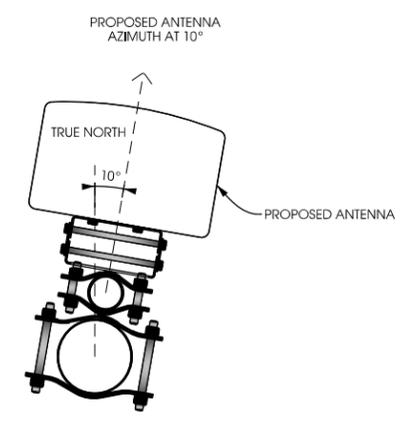
LA:16592\16592\CAD\Plan\Final\C-101.dgn



A POLE ELEVATION
SCALE: 11" x 17" - 1" = 6'-0"
22" x 34" - 1" = 3'-0"



B SITE ELEVATION



C ANTENNA ORIENTATION
SCALE: NTS

ANTENNAS					
QUANTITY	MAKE	MODEL	CENTERLINE	TIP HEIGHT	AZIMUTH
1	COMMSCOPE	HBXX6513DS-A2M	30' AGL	31'-6" AGL	10°

EQUIPMENT			
QUANTITY	TYPE	MAKE	MODEL
1	RRU	ERICSSON	RRUS32 B66
1	RRU	ERICSSON	RRUS32 B2
2	DIPLEXER	COMMSCOPE	CBC1923T-4310 E11F13PO6

CABLING			
QUANTITY	TYPE	MAKE	MODEL
6	COAX	COMMSCOPE	LFD4-50

D ANTENNA AND CABLING
SCALE: NTS

E RF WARNING SIGNS
SCALE: NTS



PROJECT NO: 20151281310
LOCATION CODE: 393119
EDGE PROJECT NO: 16592
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	MTS
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

APPROVED - SEE SHEET G-001 FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

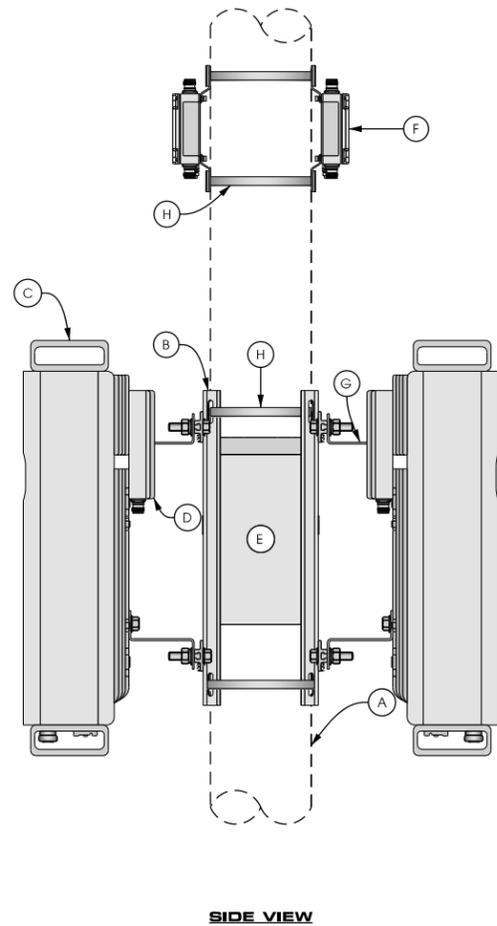
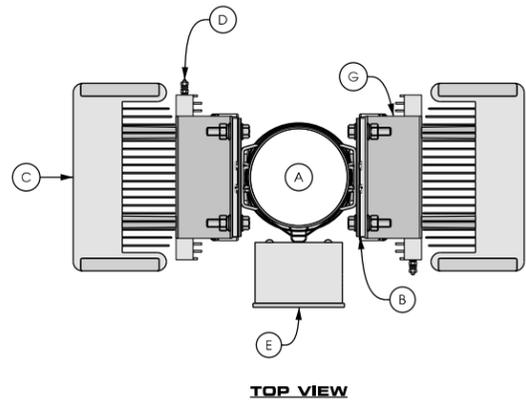
DUL CANAL PARK SC1 5
DULUTH, MINNESOTA
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
SITE ELEVATION

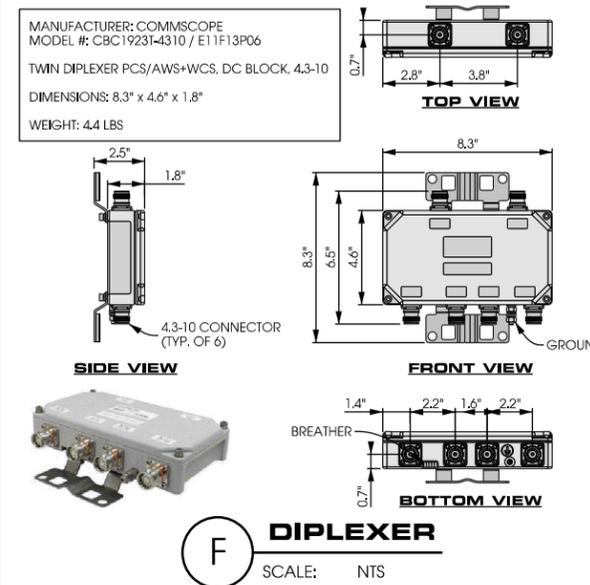
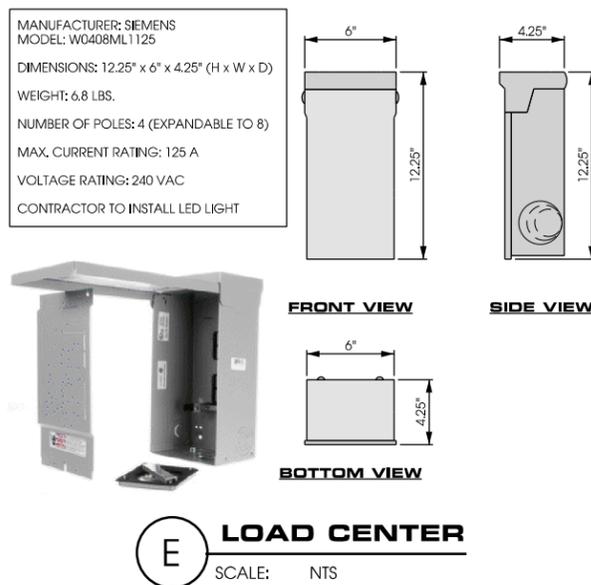
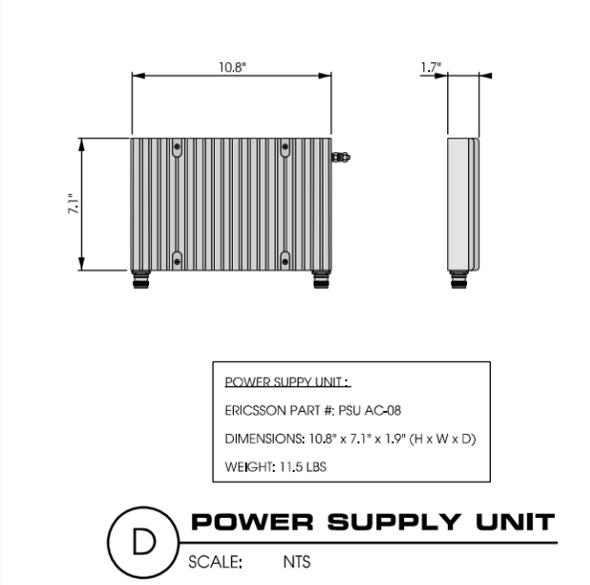
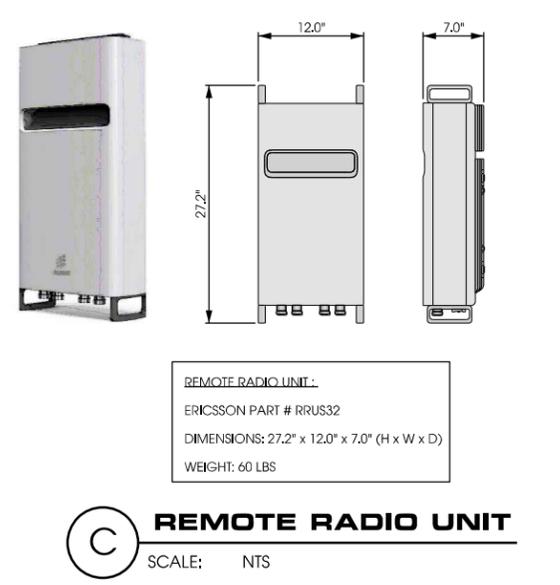
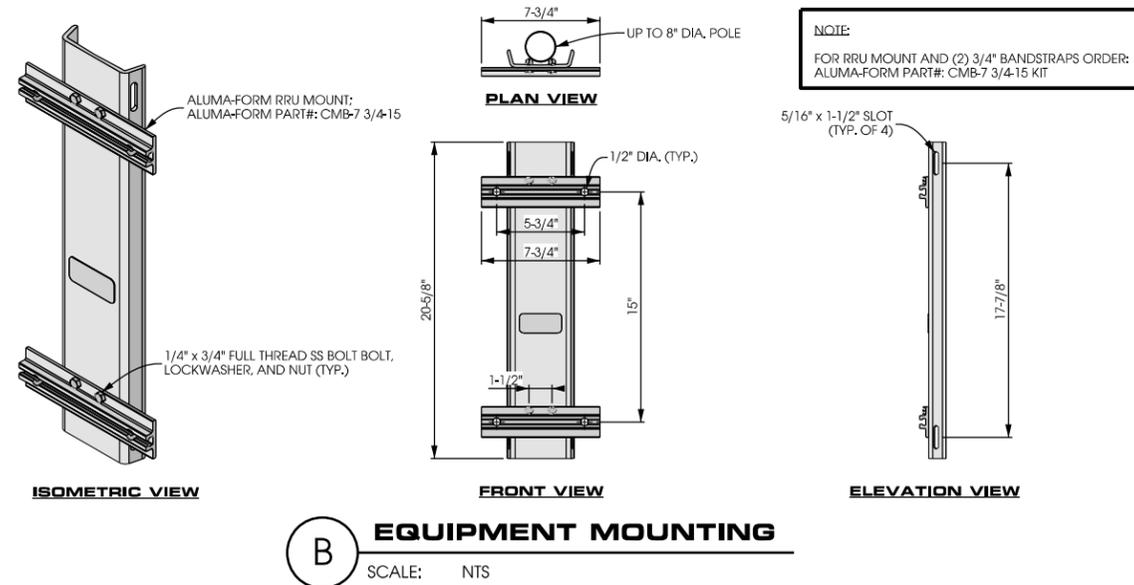
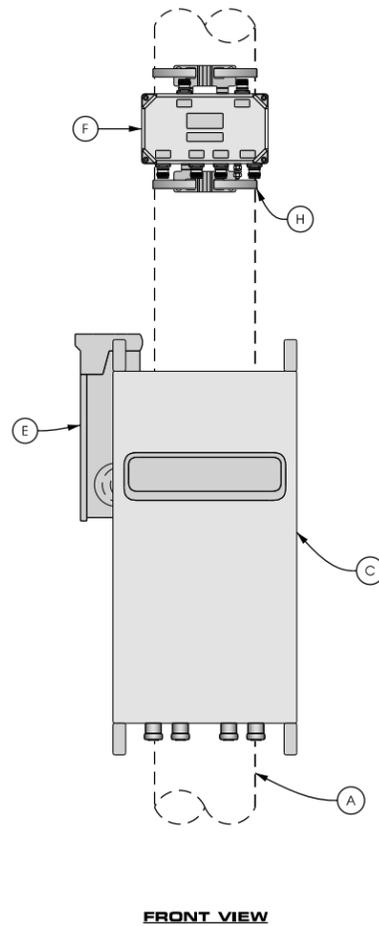
SHEET NUMBER
T-201

NOTE:
PAINT ALL ANTENNAS, OUTDOOR EQUIPMENT, CABLING, AND MOUNTING HARDWARE TO MATCH THE POLE.

- KEYED NOTES:**
- A. UP TO 8" DIA. POLE
 - B. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL B THIS SHEET
 - C. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL C THIS SHEET
 - D. POWER SUPPLY UNIT SECURED TO BACK OF REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL D THIS SHEET
 - E. LOAD CENTER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP; SEE DETAIL E THIS SHEET
 - F. DIPLEXER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP. OF 2); SEE DETAIL F THIS SHEET
 - G. ANGLE ADAPTER MOUNTED TO BACK OF REMOTE RADIO UNIT PER MANUFACTURER'S SPECIFICATIONS (TYP.)
 - H. HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP.)



A POLE ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



verizon

JACOBS
Jacobs Engineering Group, Inc
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com

Edge
Consulting Engineers, Inc.
2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20151281310
LOCATION CODE: 393119
EDGE PROJECT NO: 16592
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	MTS
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

APPROVED - SEE SHEET G-001 FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL CANAL PARK SC1 5
DULUTH, MINNESOTA
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
T-502

POWER AND FIBER ROUTING NOTE:

THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

NOTES:

- CONTRACTOR TO COMPLETE UTILITY LOCATE PRIOR TO COMPLETING ANY CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO MAINTAIN A MINIMUM 48" OF COVER BETWEEN DIRECTIONAL CORE AND ROADWAY PAVEMENT TO THE EXTENT PRACTICAL.
- CONTRACTOR TO PROVIDE A MINIMUM OF 12" OF CLEARANCE BETWEEN PROPOSED CONDUIT AND EXISTING UTILITIES.
- ALL CONCRETE DAMAGED AS PART OF THIS WORK TO BE REPAIRED/REPLACED TO ITS ORIGINAL CONDITION.
- ALL ASPHALT REMOVED DURING CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO ITS ORIGINAL CONDITION.
- NOTIFY CITY OF DULUTH 730-9130 2 WORKING DAYS PRIOR TO EXCAVATION OR DIRECTIONAL DRILLING WITHIN 6FT OF GAS MAINS.



verizon

JACOBS

Jacobs Engineering Group, Inc
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com

Edge

Consulting Engineers, Inc.

2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO: 20151281310

LOCATION CODE: 393119

EDGE PROJECT NO: 16592

CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	MTS
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL DRAWINGS	RJK

APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

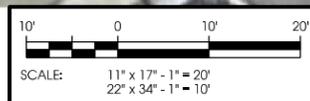
DUL CANAL PARK SC1 5
DULUTH, MINNESOTA
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-101



A UTILITY PLAN



L:\16592\CAD\Plan\Final\E-101.dwg



SITE NAME: DUL CANAL PARK SC1

SITE NUMBER: 20130998150

LOCATION CODE: 2440128

SITE TYPE: SMALL CELL

INSTALLATION TYPE: REPLACEMENT LIGHT POLE



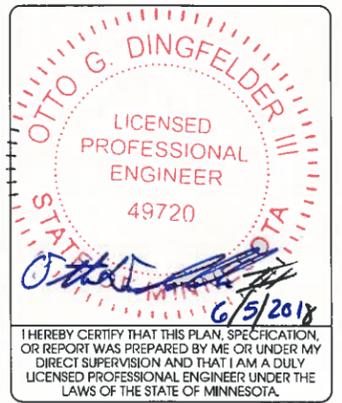
Jacobs Engineering Group, Inc.
2727 Patton Road
Roseville, Minnesota 55113
www.jacobs.com



2101 Highway 13 W
Burnsville, MN 55337
608.644.1449 voice
608.644.1549 fax
www.edgeconsult.com

PROJECT NO:	20131998150
LOCATION CODE:	2440128
EDGE PROJECT NO:	16591
CHECKED BY:	OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL SMALL CELL DWGS	RJK



DUL CANAL PARK SC1
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
TITLE SHEET & PROJECT DATA

SHEET NUMBER
G-001

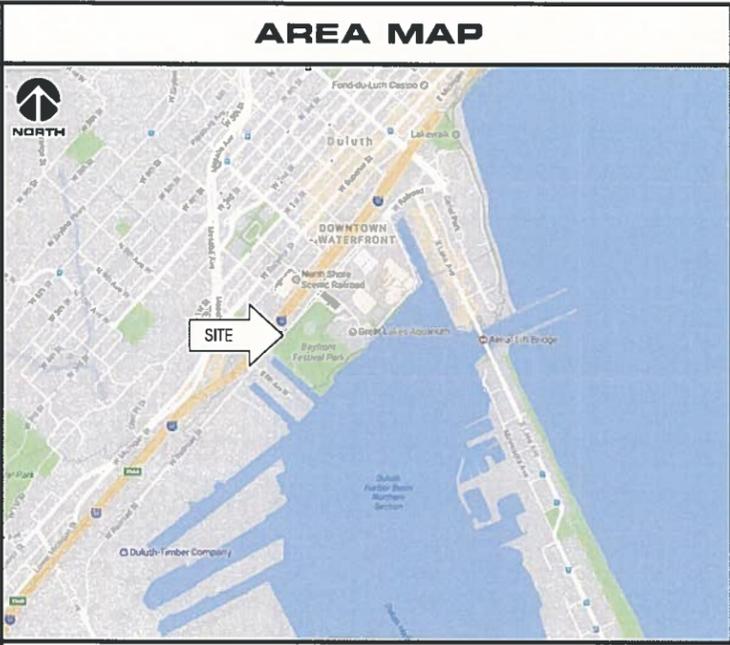
SITE INFORMATION

APPROXIMATE ADDRESS:
688 W RAILROAD ST
DULUTH, MN 55802
SAINT LOUIS COUNTY

SITE COORDINATES:
LAT: 46°-46'-44.62"N
LONG: 92°-06'-15.92"W
GROUND ELEVATION: 608.1' AMSL
(PER 1A CERTIFICATE)

POLE HEIGHT:
40'-0" T.O.C.

MAXIMUM APPURTENANCE HEIGHT:
40'-7" A.G.L.



- PROJECT DESCRIPTION/SOW**
- INSTALL (1) REPLACEMENT STEEL LIGHT POLE AND ASSOCIATED CONCRETE FOUNDATION
 - INSTALLATION OF PANEL ANTENNA
 - INSTALLATION OF ERICSSON RRUS AND POWER CONVERTERS
 - INSTALLATION OF LOAD CENTER
 - INSTALLATION OF DIPLEXERS
 - INSTALLATION OF ELECTRIC METER, BY VERIZON
 - INSTALLATION OF HAND HOLE FOR FIBER AT POLE BASE, BY FIBER PROVIDER
 - INSTALLATION OF CONDUIT FOR FIBER BETWEEN HAND HOLE AND POLE BASE (APPROX. 2'-0"), TO BE TRENCHED BELOW GRADE, BY VERIZON
 - INSTALLATION OF CONDUIT FOR FIBER IN ROW, TO BE TRENCHED BELOW GRADE, BY PROVIDER
 - INSTALLATION OF NEW ELECTRIC SERVICE CONDUIT AND CONDUCTORS FROM POLE BASE TO POWER SOURCE, BY VERIZON
 - REMOVE EXISTING FOUNDATION, BY VERIZON
 - REMOVE EXISTING LIGHT POLE AND DELIVER TO CITY OF DULUTH, BY VERIZON
 - INSTALLATION OF GROUND SYSTEM AROUND POLE FOUNDATION
 - ALL OTHER CONSTRUCTION RELATED ACTIVITIES TO BE COMPLETED BY OTHERS

SHEET INDEX

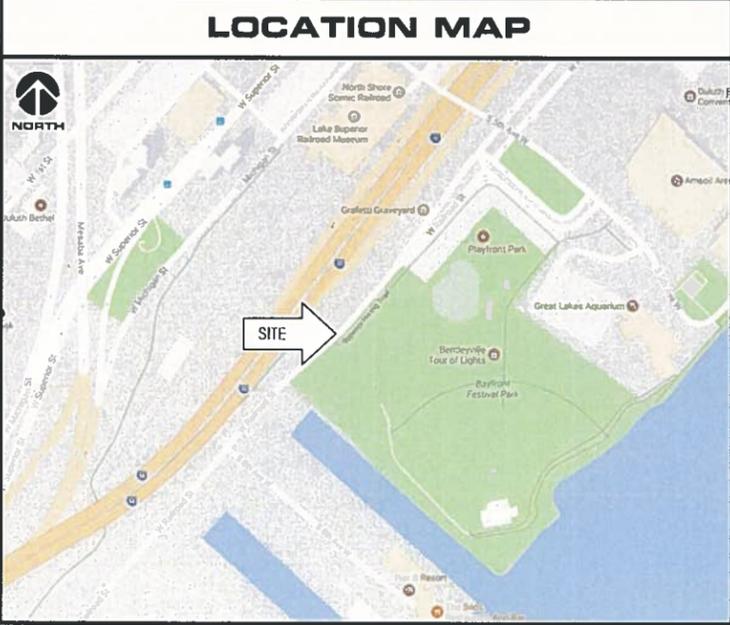
NO:	SHEET TITLE
G-001	TITLE SHEET & PROJECT DATA
G-002	GENERAL SPECIFICATIONS
G-003	GENERAL SPECIFICATIONS
C-101	SITE PLAN
C-501	TRAFFIC CONTROL PLANS
T-201	SITE ELEVATION
T-501	ANTENNA DETAILS
T-502	EQUIPMENT DETAILS
S-001	STRUCTURAL NOTES **
S-501	STRUCTURAL DETAILS **
E-101	UTILITY PLAN
E-102	UTILITY PLAN
E-103	GROUNDING PLAN
E-501	UTILITY DETAILS
E-502	GROUNDING DETAILS

* COMPLETED BY OTHERS
** REVIEWED AND APPROVED BY STRUCTURAL ENGINEER

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
- 2012 INTERNATIONAL BUILDING CODE
- 2014 NATIONAL ELECTRIC CODE
- TIA/EIA-222-G OR LATEST EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL



PROJECT DIRECTORY

LESSEE:
VERIZON WIRELESS
10801 BUSH LAKE RD
BLOOMINGTON, MN 55438
CONTACT: RICK WENTA
PHONE: 952.946.4690

LESSOR:
CITY OF DULUTH
411 W 1ST ST
DULUTH, MN 55802
PHONE: 218.730.5000

ENGINEERING COMPANY:
EDGE CONSULTING ENGINEERS, INC.
2101 HIGHWAY 13 W
BURNSVILLE, MN 55337
CONTACT: OTTO DINGFELDER III, P.E.
PHONE: 608.644.1449

RF ENGINEER:
VERIZON WIRELESS
10801 BUSH LAKE RD
BLOOMINGTON, MN 55438
CONTACT: MICHAEL KOCH

SITE ACQUISITION:
JACOBS ENGINEERING GROUP, INC.
2727 PATTON ROAD
ROSEVILLE, MN 55113
CONTACT: AMY DRESCH
PHONE: 952.831.1043

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

ENGINEER OF RECORD

EDGE CONSULTING ENGINEERS, INC.
CONTACT: OTTO DINGFELDER III (PE # 49720 (MN))
PHONE: 608.644.1449

STRUCTURAL REVIEW

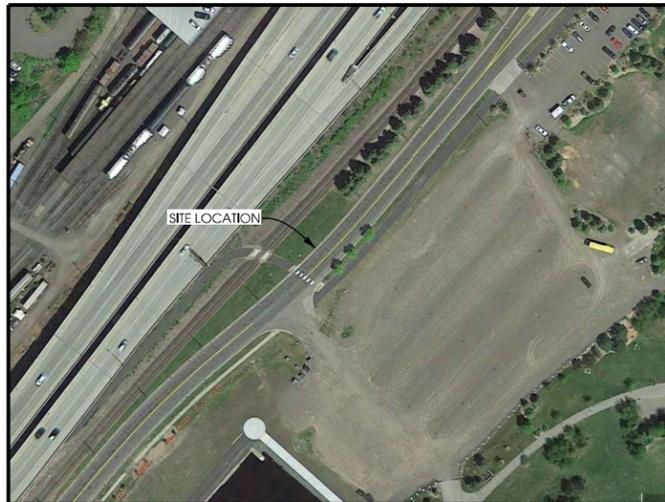
FOUNDATION DESIGN:
EDGE CONSULTING ENGINEERS
PROJECT #: 16591
DATE: 10/17/2017

POLE DESIGN:
VALMONT
DRAWING #: MN379742P1
DATE: 10/12/2017

CONTRACTOR TO REVIEW STRUCTURAL REPORT IN ITS ENTIRETY. ANY DISCREPANCIES OR DISAGREEMENTS BETWEEN THE REPORT AND THESE PLANS SHOULD BE RESOLVED PRIOR TO CONSTRUCTION.



L:\16591\CAD\Plot\PlotV001.dgn



A AERIAL OVERVIEW



B SITE OVERVIEW [LOOKING NORTH]



C SITE OVERVIEW [LOOKING SOUTHWEST]

NOTES:
 CONTRACTOR TO COMPLETE A UTILITY LOCATE PRIOR TO COMMENCING ALL CONSTRUCTION ACTIVITIES.
 CONTRACTOR TO RE-SEED ANY AND ALL DISTURBED GRASS AREAS. REFER TO THE LOCAL MUNICIPALITY FOR SEEDING SPECIFICATIONS.
 MAKE NECESSARY PRECAUTIONS TO PROTECT NEW FACILITIES FROM EXISTING STEAM LINE.

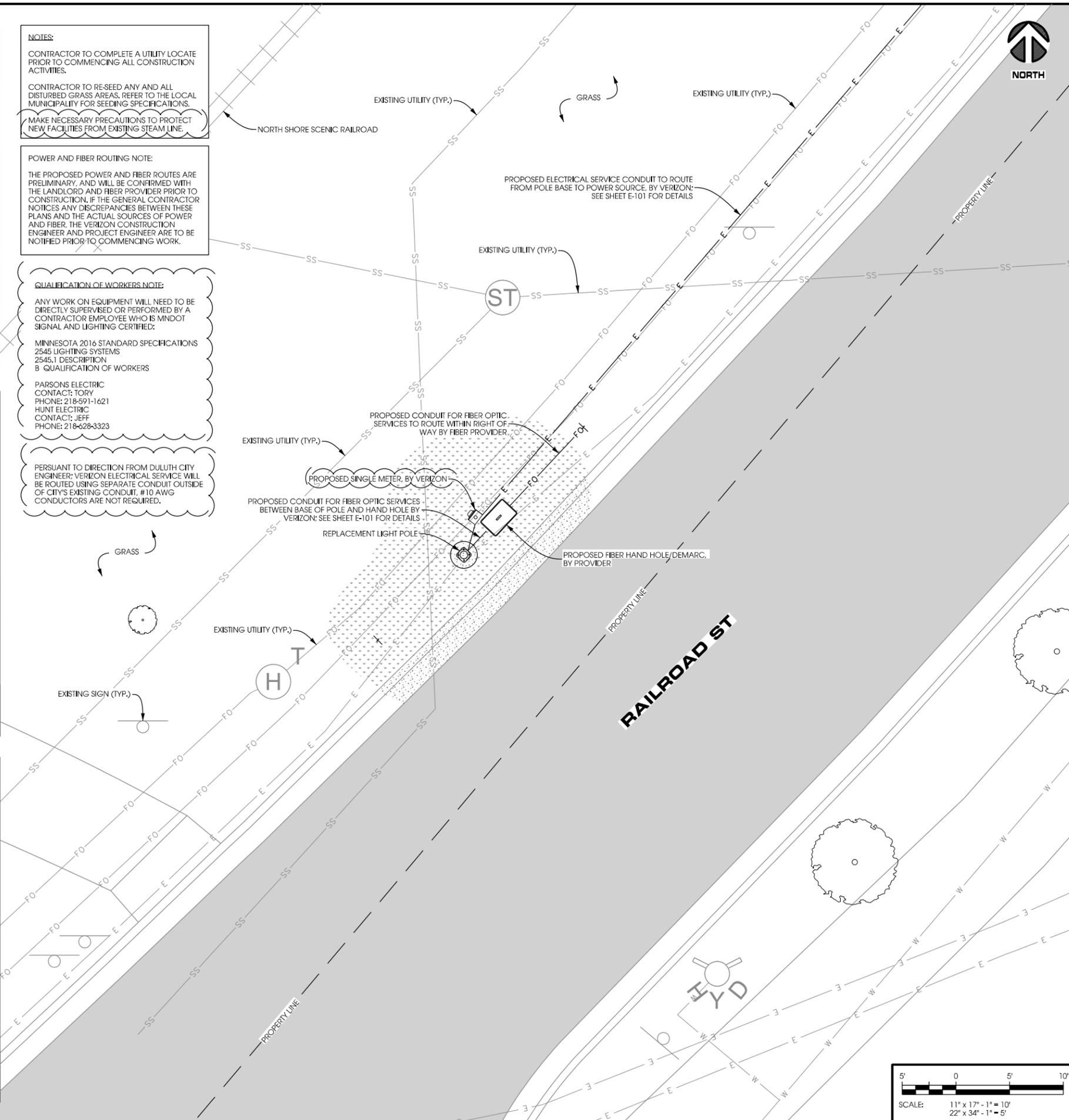
POWER AND FIBER ROUTING NOTE:
 THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

QUALIFICATION OF WORKERS NOTE:
 ANY WORK ON EQUIPMENT WILL NEED TO BE DIRECTLY SUPERVISED OR PERFORMED BY A CONTRACTOR EMPLOYEE WHO IS MNDOT SIGNAL AND LIGHTING CERTIFIED.

MINNESOTA 2016 STANDARD SPECIFICATIONS
 2545 LIGHTING SYSTEMS
 2545.1 DESCRIPTION
 B QUALIFICATION OF WORKERS

PARSONS ELECTRIC
 CONTACT: TORY
 PHONE: 218-591-1621
 HUNT ELECTRIC
 CONTACT: JEFF
 PHONE: 218-628-3323

PERSUANT TO DIRECTION FROM DULUTH CITY ENGINEER, VERIZON ELECTRICAL SERVICE WILL BE ROUTED USING SEPARATE CONDUIT OUTSIDE OF CITY'S EXISTING CONDUIT. #10 AWG CONDUCTORS ARE NOT REQUIRED.



PROJECT NO: 20131998150
 LOCATION CODE: 2440128
 EDGE PROJECT NO: 16591
 CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL SMALL CELL DWGS	RJK

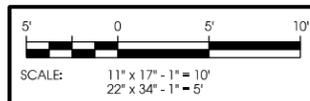
APPROVED - SEE SHEET G-001 FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

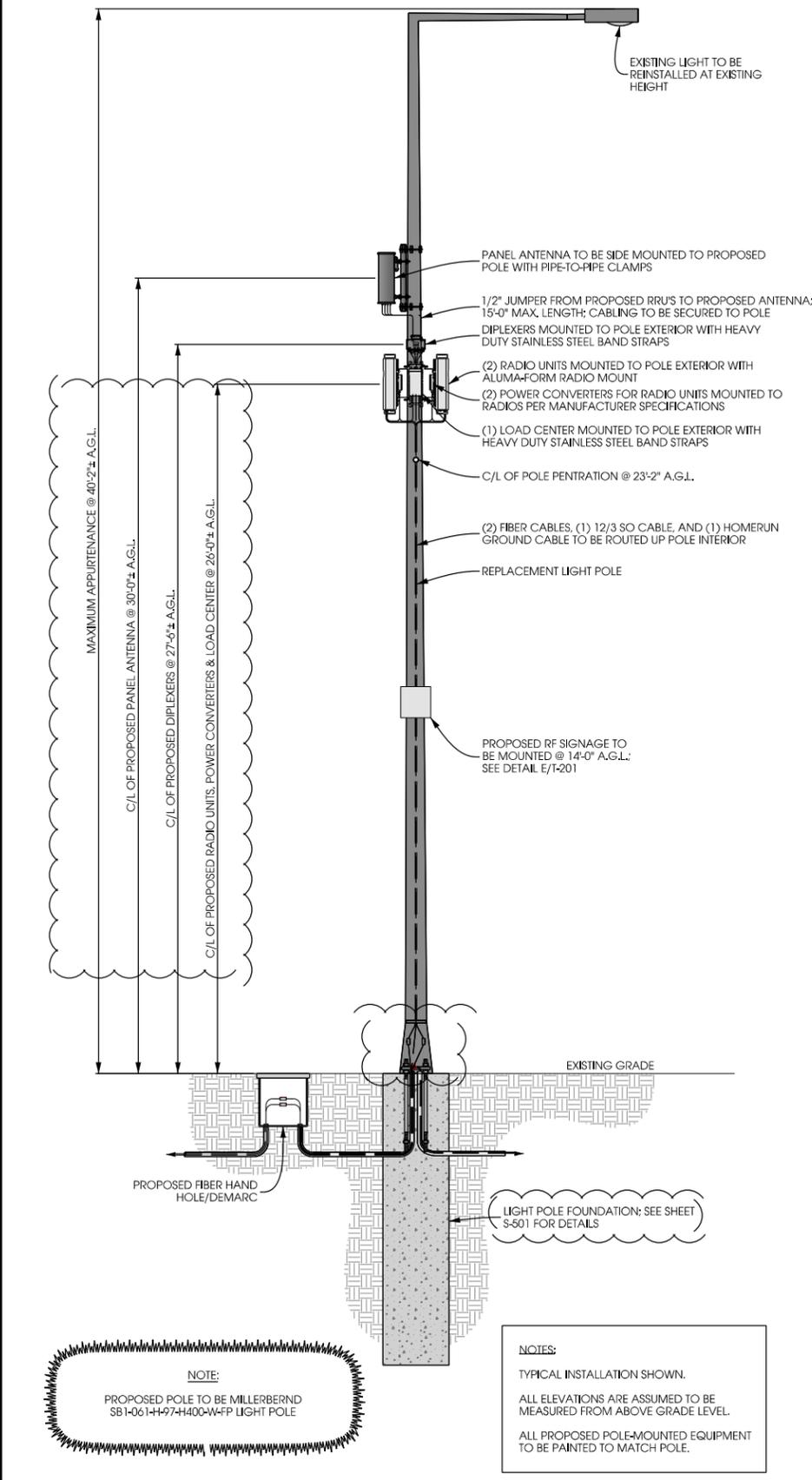
DUL CANAL PARK SC1
 DULUTH, MN
 REPLACEMENT LIGHT POLE
 SMALL CELL DRAWINGS

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-101



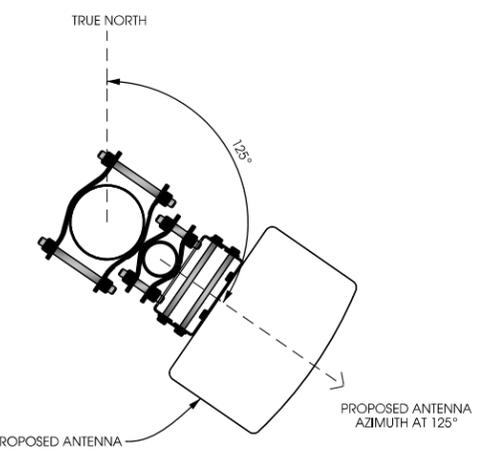
LA:16590\16591\CAD\Plan\Plan\VC-101.dgn



A POLE ELEVATION
SCALE: 11" x 17" - 1" = 6'-0"
22" x 34" - 1" = 3'-0"



B SITE ELEVATION



C ANTENNA ORIENTATION
SCALE: NTS

ANTENNAS					
QUANTITY	MAKE	MODEL	CENTERLINE	TIP HEIGHT	AZIMUTH
1	COMMSCOPE	HBXX-6513DS-A2M	30' AGL	31'-6" AGL	125°

EQUIPMENT			
QUANTITY	TYPE	MAKE	MODEL
1	RRU	ERICSSON	RRUS32 B66
1	RRU	ERICSSON	RRUS32 B2
2	DIPLEXER	COMMSCOPE	CBC1923T-4310 E11F13PO6

CABLING			
QUANTITY	TYPE	MAKE	MODEL
10	COAX	COMMSCOPE	LFD4-50

D ANTENNA AND CABLING
SCALE: NTS



E RF WARNING SIGNS
SCALE: NTS



PROJECT NO: 20131998150
LOCATION CODE: 2440128
EDGE PROJECT NO: 16591
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL SMALL CELL DWGS	RJK

APPROVED - SEE SHEET G-001 FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

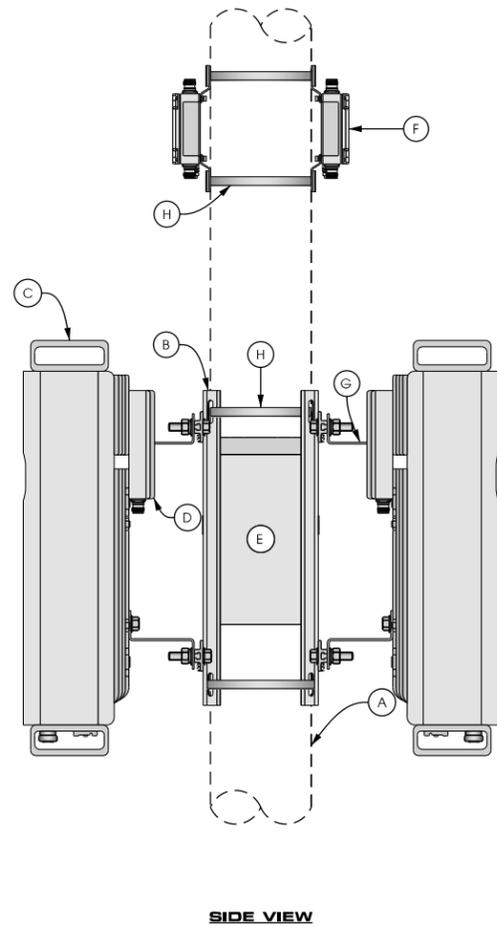
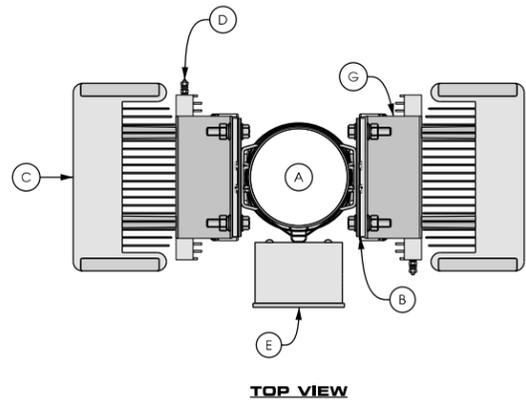
DUL CANAL PARK SC1
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
SITE ELEVATION

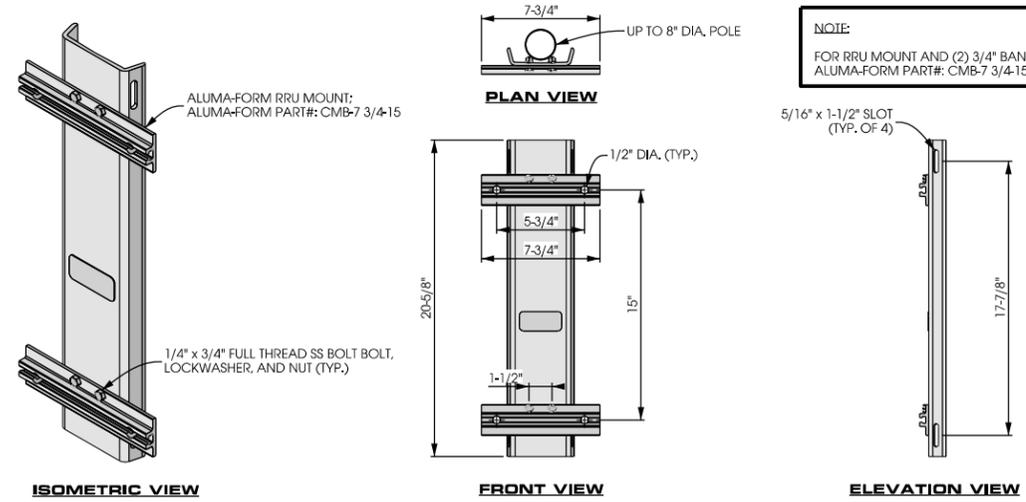
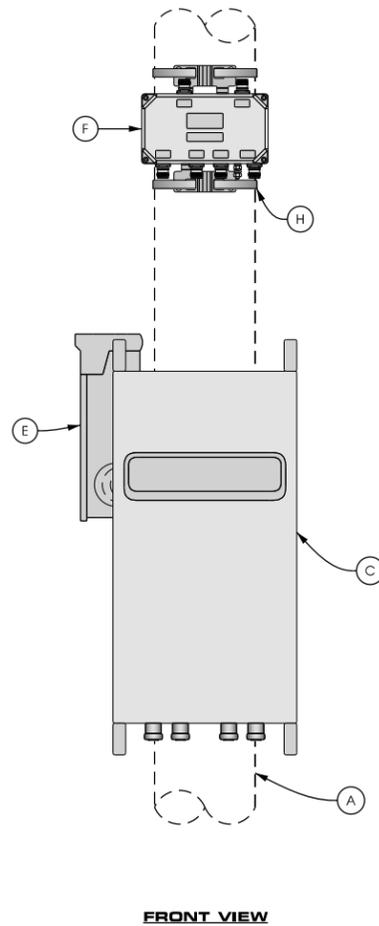
SHEET NUMBER
T-201

NOTE:
PAINT ALL ANTENNAS, OUTDOOR EQUIPMENT, CABLING, AND MOUNTING HARDWARE TO MATCH THE POLE.

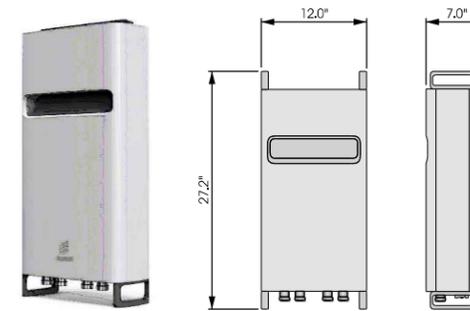
- KEYED NOTES:**
- A. UP TO 8" DIA. POLE
 - B. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL B THIS SHEET
 - C. REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL C THIS SHEET
 - D. POWER SUPPLY UNIT SECURED TO BACK OF REMOTE RADIO UNIT (TYP. OF 2); SEE DETAIL D THIS SHEET
 - E. LOAD CENTER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP; SEE DETAIL E THIS SHEET
 - F. DIPLEXER SECURED WITH HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP. OF 2); SEE DETAIL F THIS SHEET
 - G. ANGLE ADAPTER MOUNTED TO BACK OF REMOTE RADIO UNIT PER MANUFACTURER'S SPECIFICATIONS (TYP.)
 - H. HEAVY DUTY STAINLESS STEEL BAND STRAP (TYP.)



A POLE ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

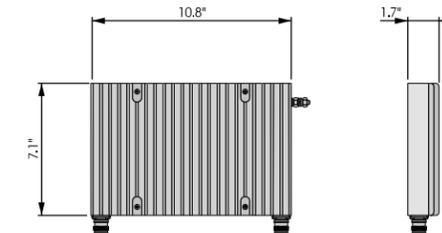


B EQUIPMENT MOUNTING
SCALE: NTS



REMOTE RADIO UNIT:
ERICSSON PART # RRU32
DIMENSIONS: 27.2" x 12.0" x 7.0" (H x W x D)
WEIGHT: 60 LBS

C REMOTE RADIO UNIT
SCALE: NTS



POWER SUPPLY UNIT:
ERICSSON PART # PSU AC-08
DIMENSIONS: 10.8" x 7.1" x 1.9" (H x W x D)
WEIGHT: 11.5 LBS

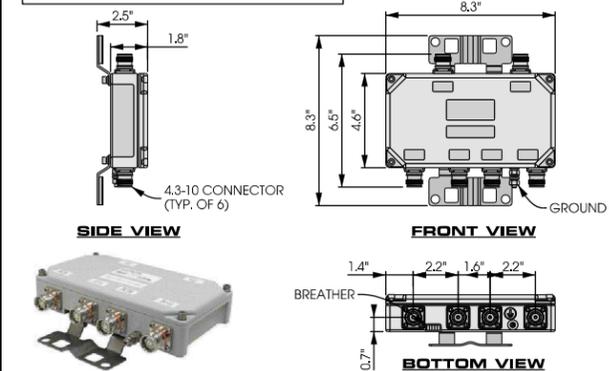
D POWER SUPPLY UNIT
SCALE: NTS

MANUFACTURER: SIEMENS
MODEL: W0408ML1125
DIMENSIONS: 12.25" x 6" x 4.25" (H x W x D)
WEIGHT: 6.8 LBS.
NUMBER OF POLES: 4 (EXPANDABLE TO 8)
MAX. CURRENT RATING: 125 A
VOLTAGE RATING: 240 VAC
CONTRACTOR TO INSTALL LED LIGHT



E LOAD CENTER
SCALE: NTS

MANUFACTURER: COMMSCOPE
MODEL #: CBC19231-4310 / E11F13P06
TWIN DIPLEXER PCS/AWS+WCS, DC BLOCK, 4.3-10
DIMENSIONS: 8.3" x 4.6" x 1.8"
WEIGHT: 4.4 LBS



F DIPLEXER
SCALE: NTS



PROJECT NO: 20131998150
LOCATION CODE: 2440128
EDGE PROJECT NO: 16591
CHECKED BY: OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL SMALL CELL DWGS	RJK

APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DUL CANAL PARK SC1
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
**EQUIPMENT
DETAILS**

SHEET NUMBER
T-502

POWER AND FIBER ROUTING NOTE:

THE PROPOSED POWER AND FIBER ROUTES ARE PRELIMINARY, AND WILL BE CONFIRMED WITH THE LANDLORD AND FIBER PROVIDER PRIOR TO CONSTRUCTION. IF THE GENERAL CONTRACTOR NOTICES ANY DISCREPANCIES BETWEEN THESE PLANS AND THE ACTUAL SOURCES OF POWER AND FIBER, THE VERIZON CONSTRUCTION ENGINEER AND PROJECT ENGINEER ARE TO BE NOTIFIED PRIOR TO COMMENCING WORK.

NOTES:

- CONTRACTOR TO COMPLETE UTILITY LOCATE PRIOR TO COMPLETING ANY CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO MAINTAIN A MINIMUM 48" OF COVER BETWEEN DIRECTIONAL CORE AND ROADWAY PAVEMENT TO THE EXTENT PRACTICAL.
- CONTRACTOR TO PROVIDE A MINIMUM OF 12" OF CLEARANCE BETWEEN PROPOSED CONDUIT AND EXISTING UTILITIES.
- ALL CONCRETE DAMAGED AS PART OF THIS WORK TO BE REPAIRED/REPLACED TO ITS ORIGINAL CONDITION.
- ALL ASPHALT REMOVED DURING CONSTRUCTION IS TO BE PATCHED AND REPAIRED TO ITS ORIGINAL CONDITION.
- TEMPORARY HARD SURFACE TO BE PROVIDED IMMEDIATELY UPON BACKFILL, UNTIL PERMANENT REPAIR IS MADE
- NOTIFY CITY OF DULUTH 730-9310 2 WORKING DAYS PRIOR TO EXCAVATION OR DIRECTIONAL DRILLING WITHIN 6FT OF NATURAL GAS MAINS.



PROJECT NO:	20131998150
LOCATION CODE:	2440128
EDGE PROJECT NO:	16591
CHECKED BY:	OGD

REV.	DATE	DESCRIPTION	INT.
A	08/29/2017	PRELIM SMALL CELL DWGS	KJM
0	09/13/2017	FINAL DRAWINGS	MTS
1	10/27/2017	FINAL DRAWINGS	DGS
2	04/25/2018	FINAL DRAWINGS	MWH
3	04/26/2018	FINAL DRAWINGS	MWH
4	05/03/2018	FINAL DRAWINGS	MWH
5	06/05/2018	FINAL SMALL CELL DWGS	RJK

APPROVED - SEE SHEET G-001
FOR ENGINEER SEAL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

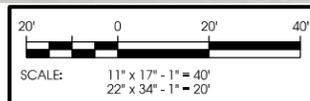
DUL CANAL PARK SC1
DULUTH, MN
REPLACEMENT LIGHT POLE
SMALL CELL DRAWINGS

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
E-101



A UTILITY PLAN



LA:16591\16591\CAD\Plan\Final\E-101.dgn



CITY OF DULUTH
Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197
Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL 18-070	Contact	Steven Robertson, 730-5295	
Type	Minor Subdivision-RLS	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 14, 2018	60 Days	July 13, 2018
	Date Extension Letter Mailed	June 4, 2018	120 Days	September 11, 2018
Location of Subject	2226 and 2230 Minnesota Avenue			
Applicant	Gregory A Peterson	Contact		
Agent	Robert R. Canuit	Contact	Fryberger, Buchanan, Smith, & Frederick	
Legal Description	See attached			
Site Visit Date	June 2, 2018	Sign Notice Date	N/A	
Neighbor Letter Date	N/A	Number of Letters Sent	N/A	

Proposal

Applicant is requesting a Minor Subdivision to separate two residences currently on the same parcel. No new structures are planned.

	Current Zoning	Existing Land Use	Future Land Use Map Designation
Subject	R-1	Residential	Traditional Neighborhood
North	R-1	Residential	Traditional Neighborhood
South	R-1	Residential	Traditional Neighborhood
East	R-1	Residential	Traditional Neighborhood
West	R-1	Residential	Traditional Neighborhood

Summary of Code Requirements

50-33.1 General: All subdivision plats and replats, and all registered land surveys, shall create lots, streets and walkways and open spaces consistent with the requirements of the zone district within which the land is located.

50-37.5, D 1. The planning commission shall approve the application if it determines that the application:

- (a) The lot or lots to be subdivided or combined have frontage on an improved public street;
- (b) Each proposed lot meets the minimum zoning requirements of the district that it is in.
- (c) If an existing structure on a lot complies with the requirements of this Chapter, then after the minor subdivision structures on each of the resulting lots will still comply with the requirements of this Chapter; and
- (d) If one or more of the existing lots, or a structure on one or more of those lots, does not comply with the requirements of this Chapter, the proposed relocation will not create any new nonconformity or increase any existing nonconformity between the requirements of this Chapter.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Future Land Use – Traditional Neighborhood - Characterized by grid or connected street pattern, houses oriented with shorter dimension to the street and detached garages, some with alleys. Limited commercial, schools, churches, and home-businesses. Parks and open space areas are scattered through or adjacent to the neighborhood. Includes many of Duluth’s older neighborhoods, infill projects and neighborhood extensions, and new traditional neighborhood areas.

History: This single tax parcel contains two separate residences, which were combined into one parcel several years ago.

Review and Discussion Items

1. Applicant is requesting a Minor Subdivision to separate two residences currently on the same tax parcel. No new structures are planned.
2. Parcel A will be 4,151 square feet with 41.51 feet of frontage. Parcel B will be 11,853 square feet with 78.52 square feet of frontage. Both parcels meet the minimum standards for the R-1 zone district.
3. The existing structure on Parcel A does not meet the side yard setback of 6’ on the northwest side of the property but is “grandfathered” and allowed to remain. The boundary line between the two parcels allows both structures to meet the side yard setback along the newly created boundary line. No new nonconforming lots will be created as a result of this subdivision.
4. The attached exhibit demonstrates compliance with Minnesota statutes 462.358 and 505 or 508, as applicable.
5. Approval of this Minor Subdivision signifies that City of Duluth UDC standards are met. St. Louis County may have additional requirements. This subdivision approval lapses if deeds are not recorded with St. Louis County within 180 days. Applicant must provide the City with proof of recording.

Staff Recommendation

Based on the above findings, Staff recommends that Planning Commission approve the Minor Subdivision subject to the following conditions:

1. Appropriate deeds be filed with St. Louis County within 180 days. Prior to recording the deed that results from this adjustment, the Planning Division will need to stamp the deed, indicating compliance with the local zoning code.
2. Any alterations to the approved plans that do not alter major elements of the plan may be approved by the Land Use Supervisor without further Planning Commission approval; however, no such administrative approval shall constitute a variance from the provisions of Chapter 50.



Legend

 Zoning Boundaries

The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.





CITY OF DULUTH

Community Planning Division

411 W 1st St, Rm 208 * Duluth, Minnesota 55802-1197

Phone: 218/730.5580 Fax: 218/723-3559

File Number	PL 18-069	Contact	Kyle Deming, kdeming@duluthmn.gov	
Type	Rezone to MU-P (Mixed Use-Planned)	Planning Commission Date	June 12, 2018	
Deadline for Action	Application Date	May 11, 2018	60 Days	July 10, 2018
	Date Extension Letter Mailed	May 31, 2018	120 Days	September 8, 2018
Location of Subject	South side of Arrowhead Rd. ¼ mile west of Arlington Ave.			
Applicant	Duluth Gospel Tabernacle	Contact		
Agent	LHB	Contact	Heidi Bringman, Heidi.bringman@lhbcorp.com	
Legal Description	See Attached			
Site Visit Date	May 28, 2018	Sign Notice Date	June 1, 2018	
Neighbor Letter Date	May 31, 2018	Number of Letters Sent	15	

Proposal

The applicant is proposing to rezone the north 18 acres of the Harbor Light plat to Mixed Use-Planned (MU-P) to accommodate 3.9 acres of mixed-use/commercial uses on Lots 1 and 2 near Arrowhead Rd., 5.0 acres of community/civic space in Lot 3, 1 acre of street infrastructure, and 7 acres of open space to be preserved on the balance of the 18 acres.

	<i>Current Zoning</i>	<i>Existing Land Use</i>	<i>Future Land Use Map Designation</i>
Subject	R-2	Forested undeveloped	Urban Residential
North	R-2 and MU-C	Wetland and Undeveloped	Neighborhood Mixed Use
South	R-1	Forested undeveloped	Low-Density Neighborhood
East	MU-N	Undeveloped former farmland	Neighborhood Mixed Use
West	R-1	1-family subdivision, vacant	Low-Density Neighborhood/Preservation

Summary of Code Requirements

- UDC Sec. 50-37.3.B: Planning Commission shall review the application, conduct a public hearing ... with public notice ... and make a written recommendation to council.
- UDC Sec. 50-37.3.C: The Planning Commission shall review the application, and Council shall approve the application or approve it with modifications, if it determines that the application:
 1. Is consistent with the Comprehensive Land Use Plan;
 2. Is reasonably related to the overall needs of the community, to existing land use, or to a plan for future land use;
 3. Is required by public necessity, convenience, or general welfare, or good zoning practice;
 4. Will not create material adverse impacts on nearby properties, or if material adverse impacts may be created they will be mitigated to the extent reasonably possible.
- Sec. 50-15.7.E. Mixed Use-Planned rezoning approval and regulating plan required.

The establishment of an MU-P district requires rezoning the property [by City Council] per Section 50-37.3 from a current zone district to MU-P and the approval of an MU-P plan [by the Land Use Supervisor] per Section 50-37.11, that governs the uses, location, density, dimensional standards and character of the proposed project.

- The purpose of the Mixed Use-Planned (MU-P) district [per Sec. 50-15.7.A] is to provide a flexible development option for mixed use projects that integrate creative site design, provide a variety of building types, provide unique on-site amenities, conserve natural features, increase pedestrian connectivity, or otherwise result in a final product that provides a greater level of public benefit than would be required under the existing zone district.

Each MU-P district requires approval of an MU-P regulating plan that includes the location, type, and intensity of proposed development and a description of public amenities or benefits included. A variety of residential and commercial uses are permitted provided projects are compatible in scale and character with the surrounding neighborhood and are included in the approved MU-P plan.

- The Minnesota Planning Act provides that zoning (an "official control") should implement the general objectives of the Comprehensive Plan and appellate courts have issued decisions that zoning must comply with the Comprehensive Plan or else be considered arbitrary and capricious.

Comprehensive Plan Governing Principle and/or Policies and Current History (if applicable):

Governing Principle Principal #1 - Reuse previously developed lands,
 Principle #2 - Declare the necessity and secure the future of undeveloped places,
 Principle #5 - Strengthen neighborhoods,
 Principle #7 - Create and maintain connectivity,
 Principle #8 - Encourage mix of activities, uses and densities,
 Principle #10 - Take sustainable actions,
 Principle #12 - Create efficiencies in delivery of public services

Future Land Use – Urban Residential. Greatest variety of building types, medium to high densities. Applicable to larger infill areas close to downtown, entertainment or activity centers, and waterfront residential areas. May include student housing areas, live/work units, and limited neighborhood retail. Connected or adjacent to parks and open space. 8 units/acre and up, Form standards ensure pedestrian orientation and mix of housing, commercial uses that serve neighborhood market.

History:

1. Duluth Gospel Tabernacle Church purchased the property from ISD 709 in 2011.
2. April 12, 2016: Planning Commission approved the Arrowhead Road Land Use Study that considered higher intensity land uses along Arrowhead Rd. from Arlington Ave. to Swan Lake Rd. (PL16-030).
3. April 25, 2017: City Council approved Comprehensive Plan Future Land Use Map amendments to implement the land use study, which resulted in changing the north half of the subject site to Urban Residential from Low-Density Residential and leaving the south half of the subject site Low-Density Residential (Res. #16-0305, PL16-030). See attached map, subject site is labeled "H."
4. May 16, 2016: City Forester gave approval to preliminary Tree Inventory of the site based on 4 one-acre sample plots (see attached map of sample plots and tree inventory).
5. May 19, 2016: Wetland Delineation approved for the site identifying 8.7 acres of mostly Type 7 Hardwood Swamp scattered throughout the 39.2-acre site (PL15-173). See attached map showing wetlands.
6. December 12, 2016: City Council rezoned the north half of the subject site from RR-1 Rural Residential to R-2 Urban Residential and the south half of the site from RR-1 to R-1 Traditional Residential (Ord. 16-074-O, #10486, PL16-127).
7. November 2, 2016: Wetland Replacement Plan approved to allow 0.9 acres of wetland impact on the site for a new church and commercial use of the property. Wetland credits to be purchased in Cook Co. (PL16-132). See attached map showing in blue where impacted wetlands are.
8. March 13, 2017: Staff reviewed the Concept Plan for the Harbor Light Division plat and provided comments to the applicant (PL17-029). See attached comments from Engineering, Fire, and Planning Staff and concept plat.

9. October 10, 2017: Planning Commission approved PL 17-170, Final Plat, with conditions (Planning Commission vote 5-2).
10. March 13, 2018 Planning Commission approved a Final Replat of Harbor Light, subject to the following conditions:
1. Developer shall relocate Mission Drive and associated right-of-way to an alignment approved by the City Engineer and Director of Planning and Construction Services; the relocated alignment shall be finalized prior to further development approvals within the platted area;
 2. Developer shall enter into a development agreement with the City of Duluth, which shall be recorded with the property for each lot within the Plat of Harbor Light, prior to issuance of any land development permits to establish parameters related to applicable conditions of this approval, and specifically related to access management to allow for the following:
 - a. Developer and City of Duluth understanding related to installation of access points from each of the lots within the Plat of Harbor Light and adjacent parcels onto West Arrowhead Road;
 - b. Future construction of Stanford Avenue and ownership thereof;
 - c. Developer requirements for internal access between the lots within the Plat of Harbor Light to the future Stanford Avenue;
 - d. Conversion of any access points from lots within the Plat of Harbor Light from full access to right-in, right-out;
 3. That a north-south public pedestrian way be dedicated by easement from the end of Evergreen Circle to Marble Street at the time of application for building permit for the principle structure on Lot 1 and that a trail (with a surface of at least compacted gravel) be constructed from the end of the sidewalk in Evergreen Circle to Marble St. prior to the issuance of the Certificate of Occupancy for this principle structure and that signs be installed at both ends of the trail identifying it as being available for public use, and that the trail be paved before a Certificate of Occupancy is issued for the principle structure on Lot 3;
 4. That an east-west public trail be dedicated by easement from Outlot A in the Crystal Village plat to the end of Evergreen Circle at the time of application for building permit for the principle structure on Lot 3 and that the trail (finished in compacted gravel at a minimum) be constructed the entire length before a certificate of occupancy is granted for the principle structure on Lot 3;
 5. That the City Council resolution and exhibit vacating existing public easements be recorded concurrent with recording of the final plat, if the Examiner of Titles determines this step is necessary;
 6. That a revised wetland replacement plan be approved before roadway impacts to wetlands;
 7. That the tree inventory be finalized and a tree impact/preservation plan completed before grading any lot.

Review and Discussion Items

Staff finds that:

- 1) The applicant is proposing to rezone to property to a Mixed Use-Plan (MU-P) zone district, which allows for more flexibility for development than traditional zone districts. Following the approval of a rezoning ordinance by the City Council, MU-P districts must submit a detailed Regulating Plan for approval by the Land Use Supervisor. A draft of that Regulating Plan has been attached to this report. Requirements of the Regulating Plan are listed in UDC Section 50-15.7.E and 50-15.7.F. The Regulating Plan must be consistent with the Concept Plan and must be approved before any building permits can be issued for the property.
- 2) The Minnesota Planning Act provides that zoning (an "official control") should implement the general objectives of the Comprehensive Plan and appellate courts have issued decisions that zoning must comply with the Comprehensive Plan or else be considered arbitrary and capricious. The future land use of the site supports urban residential development, and the current R-2 zoning makes this area eligible for rezoning to MU-P.
- 3) The Concept Plan identifies three parcels that include a mixture of 10 acres to be developed and 7 acres to be preserved (with an additional 1 acre for streets).

- 4) The Concept Plan identifies 7 acres to be preserved throughout the MU-P zone. This amounts to 39% of the MU-P zoned area, exceeding the 20% required by MU-P zone standards in Sec. 50-15.7.F. However, the plan provides no details for how the land will be permanently preserved and who will maintain it. Staff recommends that a condition of approval be that these details be specified in the regulating plan.
- 5) The Concept Plan also shows a public pathway leading from/to the residential neighborhoods south of Marble St. through Harbor Light Lot 3 the south and east as well as a branch extending to the west property boundary. The Final Plat approved in March of this year requires this path to ultimately be paved between Marble St. and the end of Evergreen Circle. To provide a greater public benefit as is required by the MU-P purpose statement, the applicant is proposing a paved pathway extend down the east side of Evergreen Circle to Mission Drive and then to Stanford Avenue. The City Engineer has been consulted and is willing to accept the entire length of this paved pathway if it is constructed to City standards (min. 8' wide) and staff recommends that this construction standard be a condition of approval of this plan.
- 6) The purpose of the Mixed Use-Planned (MU-P) district [per Sec. 50-15.7.A] is to provide a flexible development option for mixed use projects that integrate creative site design, provide a variety of building types, provide unique on-site amenities, conserve natural features, increase pedestrian connectivity, or otherwise result in a final product that provides a greater level of public benefit than would be required under the existing zone district. In evaluating the applicant's plans we find that they have set aside 39% of the MU-P district as undeveloped, which achieves well one of the purposes above ("conserve natural features"). If they include the paved multi-use path from Marble St. to Evergreen Circle and continuing on Mission Dr. to Stanford Ave, this would achieve the purpose of "increasing pedestrian connectivity." However, the applicant's plan is not as strong as we'd like to see on providing a greater level of public benefit than would otherwise be required by the UDC. Staff recommends that it be a condition of approval that the applicant identify additional public benefits to be accomplished with this project.
- 7) The land uses proposed as part of the Concept Plan are not anticipated to result in material adverse impacts if the following measures are taken:
- Prior to vegetation removal and site grading wetland boundaries are marked by a surveyor and barriers installed to prevent impacts
 - The site developer identify means to prevent impacts to wetlands due to steeply sloping grades adjacent to wetlands (ie. Evergreen Cir.).
- Wetland and open space areas on the south and west side of the site will provide buffers to the adjacent residential neighborhoods. Land to the east are zone for mixed use development which will access Arrowhead Rd. at Stanford Avenue, to be shared with the proposed development. No additional roadway access points are intended at this time beyond the platted Evergreen Circle and Stanford Ave. intersections. St. Louis County and the City of Duluth will establish agreements with the site developer concerning access controls onto Arrowhead Rd.
- 8) A neighborhood meeting was held on May 31, 2018 at 5:00 pm, with approximately 3 people in attendance. Please see attached meeting notes in a June 1, 2018 email from Brad Johnson.
- 9) No other public, or private, agency/organizations comments have been received at this time.
- 10) If the zoning change is approved by the City Council, the property owner will need an approved regulating plan with the Land Use Supervisor.

Staff Recommendation

Staff recommend that the proposed concept plan be amended to:

- 1) The regulating plan identify who will maintain the open space area and what mechanisms will be used to permanently preserve these open space areas, and
- 2) The north-south paved pathway be constructed to City standards, and
- 3) Additional public benefits be specified in the regulating plan to be verified by the Land Use Supervisor, and
- 4) Wetland boundaries be marked by a surveyor and barriers installed prior to vegetation removal and site grading, and
- 5) The site developer identify means to prevent impacts to wetlands due to steeply sloping grades adjacent to wetlands (ie. Evergreen Cir. downslope from wetlands to the east).

Based on the above findings, staff recommends that the Planning Commission recommend approval to the City Council of the rezoning to Mixed Use-Planned (MU-P) because:

- 1) The proposed rezoning is able to implement the objectives of the Comprehensive Plan related to the proposed land use for this area.
- 2) The rezoning is consistent with the Comprehensive-Plan Future Land Use Map changes as recommended by the 2016 Arrowhead Road Land Use Plan.
- 3) Material adverse impacts on nearby properties are not anticipated if recommendations above are incorporated.



PL 18-069

Rezoning to Mixed Use-Planned Duluth Gospel Tabernacle

PC Packet 6-12-18

Legend

- Gas Main
- Water Main
- Hydrant
- Sanitary Sewer Mains
 - CITY OF DULUTH
 - WLSSD; PRIVATE
- Sanitary Sewer Forced Main
- Storage Basin
- Pump Station
- Storm Sewer Pipe
- Storm Sewer Catch Basin
- Lots
- Parcels
- 1 Ft contour
- 10 Ft contour
- Subdivision Boundaries

Boundary Lines

<all other values>

Subtype, ROW, TYPE

- Lot Line
- Parcel Line
- ROW (Road)
- ROW (Not Road)
- Subdivision Line
- Water Line
- Survey Line
- Municipal Boundary

Vacated ROW

Easement Type

- Utility Easement
- Other Easement
- Zoning Boundaries
- Trout Stream (GPS)
- Other Stream (GPS)
- Wetlands (NRR1)



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.



PL 18-069

Rezoning to Mixed Use-Planned
Duluth Gospel Tabernacle
Future Land Use

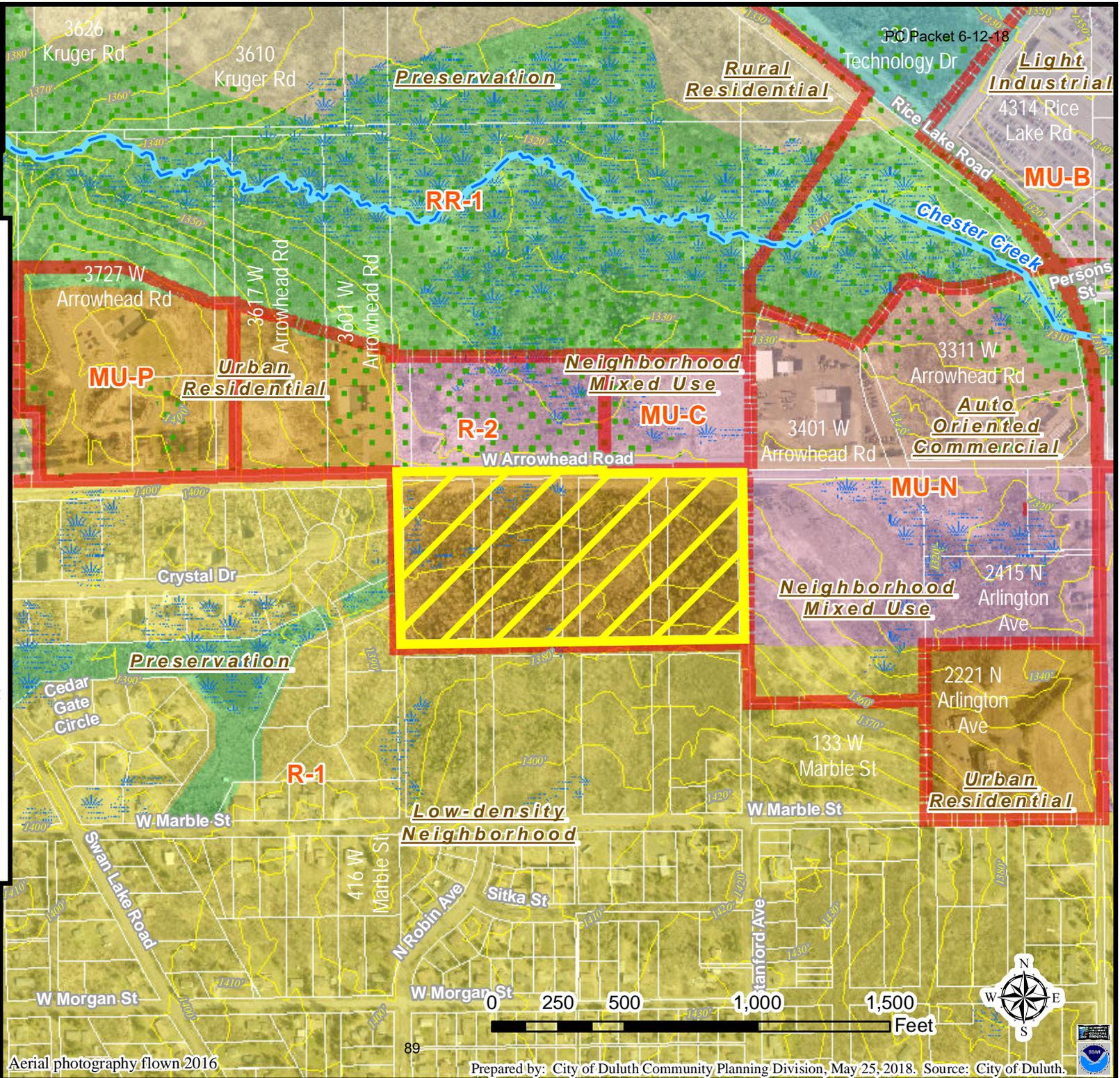
PC Packet 6-12-18

Legend

- 10' Contour (elev. change)
- Zoning Boundaries
- Trout Stream (GPS)
- Other Stream (GPS)
- Wetlands (NRR1)

Future Land Use - Plus

- Preservation
- Recreation
- Rural Residential
- Low-density Neighborhood
- Traditional Neighborhood
- Urban Residential
- Neighborhood Commercial
- Neighborhood Mixed Use
- General Mixed Use
- Central Business Secondary
- Central Business Primary
- Auto Oriented Commercial
- Large-scale Commercial
- Business Park
- Tourism/Entertainment District
- Medical District
- Institutional
- Commercial Waterfront
- Industrial Waterfront
- Light Industrial
- General Industrial
- Transportation and Utilities
- Sensitive Lands Overlay



The City of Duluth has tried to ensure that the information contained in this map or electronic document is accurate. The City of Duluth makes no warranty or guarantee concerning the accuracy or reliability. This drawing/data is neither a legally recorded map nor a survey and is not intended to be used as one. The drawing/data is a compilation of records, information and data located in various City, County and State offices and other sources affecting the area shown and is to be used for reference purposes only. The City of Duluth shall not be liable for errors contained within this data provided or for any damages in connection with the use of this information contained within.

Aerial photography flown 2016

Prepared by: City of Duluth Community Planning Division, May 25, 2018. Source: City of Duluth.





© 2016 Pictometry

Harbor Light Development

Zoning Map Amendment

MU-P District Application

This application is for a Mixed Use-Planned (MU-P) District for the Harbor Light Development, located on Arrowhead Road in Duluth, MN. The attached MU – P Concept Plan is intended to maximize the natural beauty and ecological features of the site while also providing new public amenities to the Duluth Heights and nearby neighborhoods. In particular, the project will provide the following public benefits:

1. Provide an Inclusive Publicly Accessible Mixed-Use Space
2. Celebrate & Maintain the Natural Setting with Sustainable Development
3. Enhance Connectivity with New Public Pathway
4. Increase Public Retail Convenience
5. Use Innovative Stormwater Management Design Principles

1. Provide an Inclusive Publicly Accessible Mixed-Use Space

The Harbor Light Development mission is built around a welcoming community. On Parcel 3 (the largest of the lots), a new church will be constructed and will be an inclusive space, inviting the public to gather, be active, and enjoy association and fellowship with others. The new church building will feature a sanctuary space, but will also include indoor classrooms, and passive outdoor recreational spaces for people of all ages. Retail convenience is planned for the two smaller parcels which will add variety to the mixed-use development and will be interconnected via public road and a new pathway system. The entire MU-P zone will be publicly accessible to visitors as well as residents in adjacent neighborhoods.

2. Celebrate & Maintain the Natural Setting with Sustainable Development

The MU-P proposed zone contains over 20± acres directly adjacent to Arrowhead Road while the remaining south 20 acres of the property which abuts Marble Street, will remain an R1 zone. Approximately 10± acres of the MU-P property are planned for a new public roadway and mixed-use development. The balance of the site (10± acres) will remain in its natural condition, which consists of mature wooded vegetation on varied topography. The majority of the naturally occurring wetlands will also be undisturbed, allowing the diverse landscape to continue to act as a rich ecological feature benefiting local wildlife, and the surrounding environment.

The overall site concept plan has been designed with sustainability in mind; not only have wetlands been avoided to the best extent possible, but preserving mature trees and natural drainage ways have also been taken into consideration. The placement of buildings have been sited to minimize earth-moving activities and take advantage of certain viewsheds, and climatic conditions (like western exposures for daylighting and

heat gain). As each parcel goes through the detailed site plan process, additional sustainable measures will be considered.

3. Enhance Connectivity with a New Public Pathway

The public pathway system currently serving the Duluth Heights neighborhood is poor and not very well connected. The MU-P zone will enhance local connectivity by featuring a new pedestrian pathway system, linking together adjacent neighborhoods while also providing enhanced access to Arrowhead Road and surrounding amenities. The proposed pathway along Evergreen Circle and Mission Drive will consist of a paved surface, while the new pathway connecting to the west will feature a natural surface material. This new network of pedestrian paths will create additional outdoor recreational opportunities, as well as provide alternative transportation throughout the area by encouraging healthy outdoor activities, while increasing public access to nature.

4. Public Retail Convenience

People of all ages enjoy the opportunity to be serviced by a convenience retail provider. The site will provide access to quick conveniences on the commercial parcels that can be employed to serve the community in a variety of ways. A convenience store is planned for Parcel 1, which will sell concessions, light groceries and gas. Additionally, a dental clinic and/or a medical office building may be built on Parcel 2, providing additional health services to the community. These offerings are in short supply in and around this neighborhood.

5. Use Innovative Stormwater Management Design Principles

The Harbor Light Development Concept Plan will meet and endeavor to exceed minimum stormwater requirements on site, through the use of best management practices. Because the project site is in the Chester Creek watershed, (a protected trout stream) the stormwater design will be required to achieve a certain rate, water quality and temperature control. Specifically, storm water will drain to new catch basins and be routed via storm sewer to biofiltration basins located near the low areas of the site. The basins will then treat and cool the storm water by filtering it through a sand and compost filter prior to discharging the storm water to existing culverts underneath Arrowhead Road. The storm controls will provide mitigation of increased developed runoff by providing enhanced water quality, rate and volume control, TSS and TP removal, and thermal reduction to the maximum extent practical. The site is sloped with bedrock near the surface, preventing natural infiltration to occur. This project will use both aboveground storage as well as non-structural controls to treat the runoff as efficiently as possible, as it relates to the site grades and local geology.

In addition, the site has natural occurring wetlands which will be protected and avoided as much possible as well as celebrated for their ecological value. The site will encourage diversity of species and wildlife within the green space, offering not only exclusive habitat, but opportunities for birders and other wildlife watchers.

Mixed-Use Planned (MU-P) Parcel Allocation

Parcel 1	Use: Convenience/Gas	Bldg Height: 1 story	Footprint: ±8,000 sf bldg
Parcel 2	Use: Dental Clinic/Medical Office	Bldg Height: 1-3 story	Footprint: ±12,000 sf bldg
Parcel 3	Use: Church/Office	Bldg Height: 3 story	Footprint: ±35,000 sf bldg

MU-P Concept Plan (Potential Development)



Legend

- Parcel 1 = Mixed-use/Commercial, 3.00 Acres**
Commercial = 2.22 ac
Undisturbed Green Space = 0.78 ac

- Parcel 2 = Mixed Use/Commercial, 5.05 Acres**
Mixed Use Development = 1.65 ac
Undisturbed Green Space = 3.40 ac

- Parcel 3 = Mixed Use/Commercial, 17.79 Acres (8.02 Acres in MU-P)**
Commercial/Civic = 5.00 ac
Undisturbed Green Space = 12.63 ac
Trail Easement = 0.16 ac

- Parcel 4 = Existing R-1 Zoning to Remain, 4.86 Acres**
This parcel not included in the MU-P District.

- Outlot A, 0.8 Acres**
Common open space, with City maintained storm pond.

- Public R.O.W. (public streets include; Evergreen Circle, Mission Drive, and Stanford Ave)**
Public R.O.W. 0.95 acres anticipated

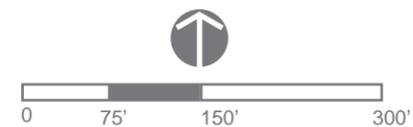
- Building Footprint**

- Stormwater Pond Location**

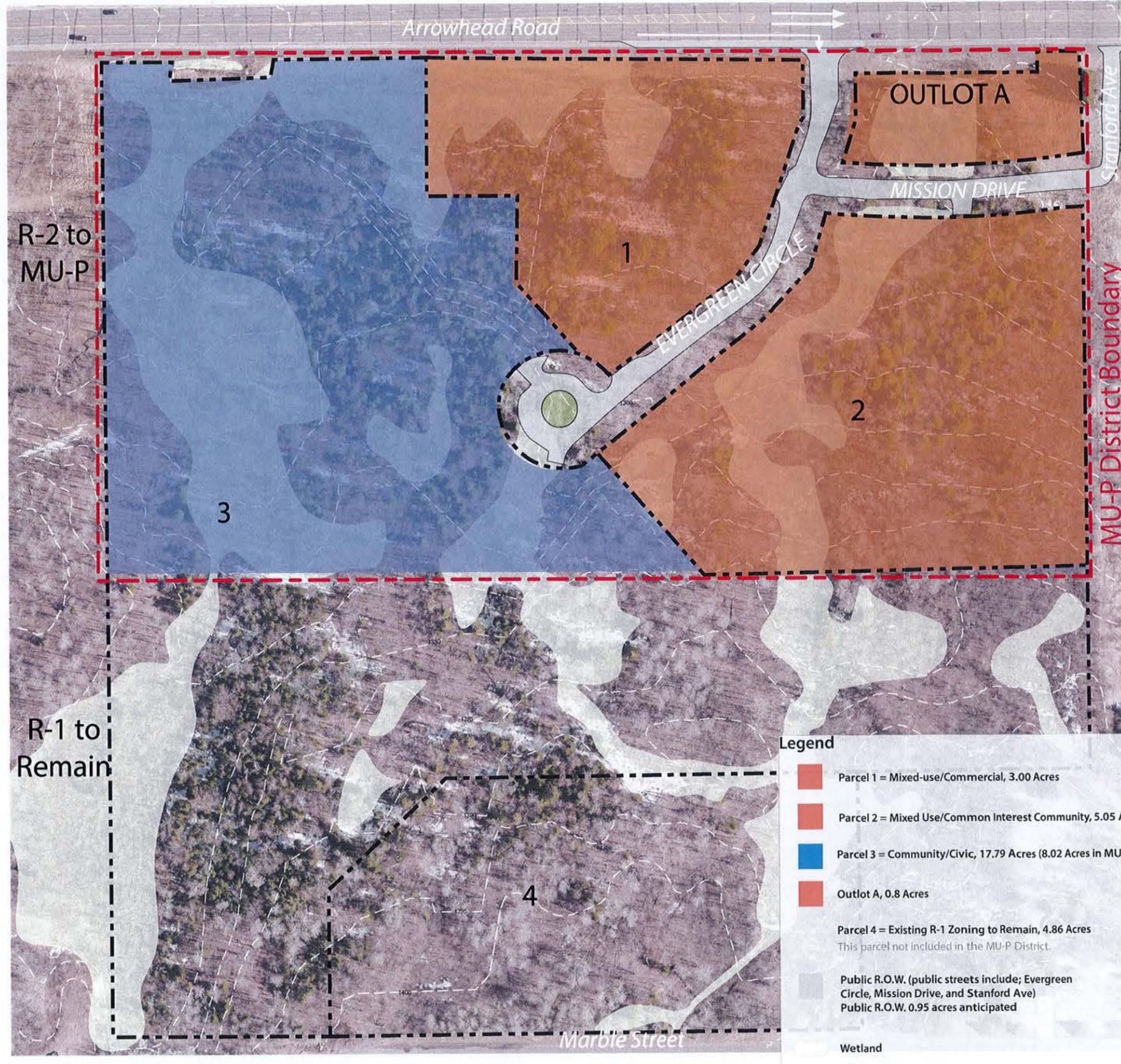
- New Public Pathway**

- Wetland**

- Groupings of Large Trees to Remain (approximation)**



MU-P Regulating Plan



Parcel Allocation						
Parcel	Gross Acres	Open Space/ Green Space	Net Devel- oped Acres	Permitted Uses	Maximum Density	Max. Height
1	3.00 ac	0.78 ac	2.22 ac	Mixed Use/ Commercial	25,000 sf	45'
2	5.05 ac	3.40 ac	1.65 ac	Mixed Use/ Commercial	25,000 sf	66'
3	17.79 ac	12.43 ac	5.20 ac	Community/ Civic	35,000 sf	45'
Outlot A	0.80 ac	0.80 ac	n/a			
R/W	0.95 ac	n/a	0.95 ac	Public Right- of-Way	n/a	n/a
Total	27.59ac	7.41 ac	10.02 ac	n/a	n/a	n/a

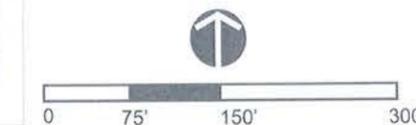
Permitted Uses in Harbor Light MU-P district:

Parcels 1 & 2 (Mixed Use/Commercial)

- Dwelling, townhouse
- Dwelling, multi-family
- Dwelling, live-work
- Bank
- Office
- Medical or Dental Clinic
- Lodging (Hotel or Motel)
- Restaurant (less than 5,000 sf)
- Restaurant (5,000 sf or more)
- Retail store less than 10,000 sf
- Convenience Store
- Filling Station
- Garden Material Sales
- Personal Service or Repair
- Event Center
- Preschool
- Parking Lot (primary use)

Parcel 3 (Community/Civic)

- Club or lodge (private)
- Park, playground or forest reserve
- Religious assembly, small (less than 50,000 sq. ft.)
- Religious assembly, large (50,000 sq. ft. or more)
- Agriculture, community garden
- Agriculture, farmers market
- Agriculture, urban



From: Brad Johnson
To: [Kyle Deming](#); [Steven Robertson](#)
Cc: [Keith Hamre](#); [Adam Fulton](#); [Heidi Bringman](#)
Subject: Harbor neighbor meeting
Date: Friday, June 01, 2018 9:09:49 AM

Kyle and Steve, the meeting went very well. Marble Street representatives, Ischen/Johnston's, Follmer and one other landowner attended.

All really like the modified site plan and the zoning change to encourage adding additional business's in Duluth along Arrowhead.

Heidi will be in contact with you later today.

Brad

Sent from my BlackBerry - the most secure mobile device