



**PERFORMANCE
DRIVEN DESIGN.**
LHBcorp.com

Architect’s Supplemental Instruction (ASI)

Date:	November 11, 2021	ASI No.:	1
Project:	The Burnham	LHB Project No.:	180039
Owner:	New Burnham LLC	Architect:	LHB, Inc.
Contractor:	Gardner Builders	Contract For:	General Construction

The following work shall be provided in accordance with the Contract Documents and these Supplemental Instructions. The Contractor acknowledges that by proceeding with the Work, there will be no change to the Contract Sum or the Contract Time.

Reason: **Owner Request** **Unforeseen Condition** **Code** **Contractor / CM** **Other**

1. Replace Sheet G0.00 in its entirety
 - a. **Plan review response** – Code references updated
 - b. Sheet A4.07 added to the sheet index

2. Replace Sheet G0.01 in its entirety
 - a. **Plan review response** – Egress travel/common travel path, travel distances, occupant load calculations, and exit signage have been added to the life safety plan

3. Replace Sheet G0.02 in its entirety
 - a. **Plan review response** - All known incorrect code references have been modified and are either bubbled or indicated with red text.

4. Replace Sheet G0.03 in its entirety
 - a. **Plan review response** - All known incorrect code references have been modified and are either bubbled or indicated with red text. Basement means of egress sizing calculation is provided in the code summary

5. Replace Sheet D1.10 in its entirety.
 - a. New/revised demo notes have been added to several window openings
 - b. Drawing reference modified

6. Replace Sheet D1.20 in its entirety.
 - a. New/revised demo notes have been added to several window openings

7. Replace Sheet D1.40 in its entirety.
 - a. New/revised demo notes have been added to several window openings

8. Replace Sheet A1.10 in its entirety.
 - a. **Plan review response** – An L2-2 type wall with a 2-hour rating has been added to the plan south side of Stair A to provide the 2 hour fire rating
 - b. Clear opening at corridor near mailboxes modified.

9. Replace Sheet A1.20 in its entirety.
 - a. **Plan review response** – Wall type L2-1 has been added at the location between room 209 and the bedroom at unit 201
10. Replace Sheet A1.40 in its entirety.
 - a. Spiral stairs have been removed from the project at the 4th/5th floor 2-story units. 3' wide stairs have been added in their place.
 - b. **Plan review response** – The east and south walls of Unit 402 have been corrected to show the continuity of the 1-hour rating
11. Replace Sheet A1.50 in its entirety.
 - a. Stair changes - see note above at A1.40
12. Replace Sheet A1.70 in its entirety.
 - a. Floor material transitions at unit bathroom doors removed
13. Replace Sheet A1.71 in its entirety.
 - a. Floor material transitions at unit bathroom doors removed
 - b. Detail 1 – Kitchen and kitchen wall location moved plan north to locate new structural column within wall.
14. Replace Sheet A1.72 in its entirety.
 - a. Stair changes - see note above at A1.40
 - b. Kitchen types L and J have been modified to avoid conflict between refrigerator and fin tube radiation
15. Replace Sheet A1.73 in its entirety.
 - a. Stair changes - see note above at A1.40
 - b. Detail 1A – towel bar added to bath
 - c. Detail 3 – additional information added to unit plan
16. Replace Sheet A1.82 in its entirety.
 - a. Detail 1 – Note 'Open to above' removed from corridor area
17. Replace Sheet A2.01 in its entirety
 - a. 4th floor east elevation windows are now to be fixed type instead of casement type
18. Replace Sheet A2.10 in its entirety
 - a. Kitchen type M elevations have been added to sheet
 - b. Kitchen types L and J have been modified to avoid conflict between refrigerator and fin tube radiation
 - c. Kitchen type K has been removed from the project
 - d. Unit 406 now has a type L kitchen
 - e. Detail 21 – Dimension string added
19. Replace Sheet A4.01 in its entirety.
 - a. **Plan review response** – An existing wall at the 5th floor in section 8/A4.01 was not shown correctly and has now been added to further indicate the sealed off shaft
20. Add sheet A4.07 in its entirety
 - a. Unit stair details are added to the project
21. Replace Sheet A4.30 in its entirety.
 - a. **Plan review response** – Detail 7/A4.30 has been removed from the set. All other references to U wall types have been switched to V wall types.

22. Replace Sheet A5.00 in its entirety.
 - a. **Plan review response** – 1st and 4th floor existing corridor wall types have been added to the sheet and show compliance with IEBC 1203.7. Wall type M6 has been added to the wall types.
23. Replace Sheet A5.01 in its entirety
 - a. **Plan review response** - Existing floor/ceiling assemblies 7/A5.01 (basement ceiling) and 11/A5.01 (first floor ceiling) have been changed to 2-hour fire ratings due to this relationship with Stair A. MSBC Table 722.2.2.1 shows compliance that regardless of concrete type, these assemblies have well over a 2 hour fire-resistance rating. In regard to 5 and 9/A5.01 (4th floor ceiling), MSBC Table 722.2.2.1 shows compliance that as Siliceous concrete, the 4" of concrete in these assemblies achieves the 2 hour rating without consideration for the clay tile and steel formwork (which would only add to the fire resistive rating for the assemblies). Item code F/C-HT-13 in Table 3.4 of Resource A of the existing building code also provides support that these assemblies have a minimum of a 2 hour rating.
24. Replace Sheet A5.20 in its entirety
 - a. **Plan review response** - Code reference for door SA1A updated
25. Replace Sheet A5.30 in its entirety
 - a. Note added to window types W1 and W3 to use fixed windows at 4th floor east elevation
 - b. Note regarding WOCD fall protection removed from notes
 - c. Interior window frames have been removed from the project as the 5th floor corridor has been deleted from the project
26. Replace Sheet A5.31 in its entirety
 - a. Window details have been modified related to the treatment of the bars (demo vs. retaining)
27. Replace Sheet A6.02 in its entirety
 - a. Details 1 and 5/A6.02 have been removed from the project
28. Replace Sheet A7.10 in its entirety.
 - a. Modification to the stair signs to indicate appropriate 'roof access' and basement level for both stairs have been made.

Attachments:

- | | | |
|---------|---------|---------|
| • G0.00 | • A1.50 | • A4.30 |
| • G0.01 | • A1.70 | • A5.00 |
| • G0.02 | • A1.71 | • A5.01 |
| • G0.03 | • A1.72 | • A5.20 |
| • D1.10 | • A1.73 | • A5.30 |
| • D1.20 | • A1.82 | • A5.31 |
| • D1.40 | • A2.01 | • A6.02 |
| • A1.10 | • A2.10 | • A7.10 |
| • A1.20 | • A4.01 | |
| • A1.40 | • A4.07 | |

Issued By: Andy Madson, Architect

c: LHB File No. 180039

PROJECT RENDERING



THE BURNHAM - HISTORIC ST. LOUIS COUNTY JAIL

DULUTH, MN 55802



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

PROJECT TEAM

OWNERS
New Burnham, LLC
575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

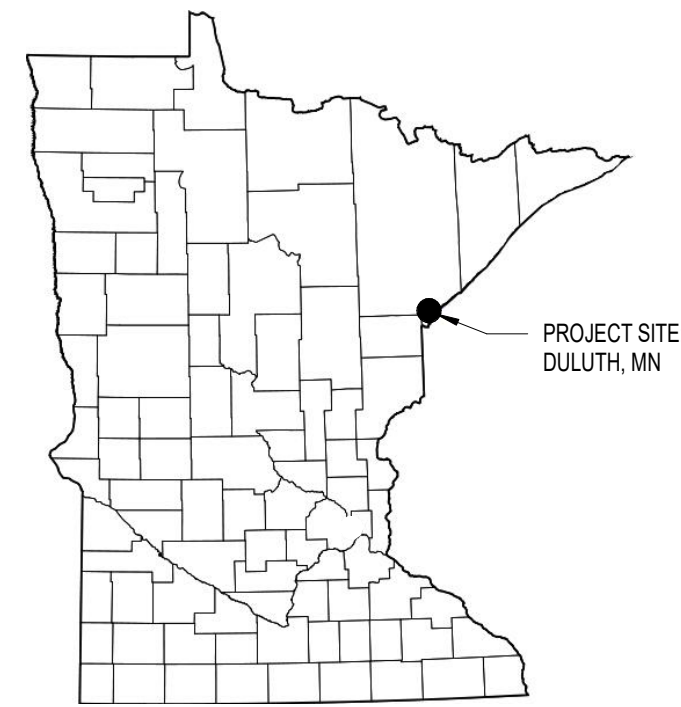
STRUCTURAL ENGINEER
Mattson Macdonald Young, Inc.
901 North 3rd Street, Suite 100
Minneapolis, MN 55401
612.827.7825

ARCHITECT & LANDSCAPE ARCHITECT
LHB
701 Washington Ave N, Suite 200
Minneapolis, MN 55401
612.338.2029

MEP ENGINEER - DESIGN/BUILD
GENERAL CONTRACTOR
Gardner Builders
2 West 1st Street, Suite 133
Duluth, MN 55802

CIVIL ENGINEER
LHB
21 West Superior St., Suite 500
Duluth, MN 55802
218.727.8446

STATE MAP



SHEET INDEX

GENERAL	ARCHITECTURAL CONTINUED...
G0.00 TITLE SHEET	A3.00 BUILDING SECTIONS
G0.01 CODE PLANS	A3.01 BUILDING SECTIONS
G0.02 CODE REVIEW - IBC	A4.00 WEST STAIR SECTIONS AND ENLARGED PLANS
G0.03 CODE REVIEW - IBC	A4.01 EAST STAIR SECTIONS AND ENLARGED PLANS
G0.10 PROJECT NOTES	A4.06 STAIR DETAILS
	A4.07 UNIT STAIR DETAILS
	A4.20 MECHANICAL SHAFTS
LANDSCAPE	A4.30 UNIT SEPARATION WALL SECTIONS AND DETAILS
L1.00 LANDSCAPE PLAN	A5.00 WALL TYPES
L2.00 LANDSCAPE DETAILS	A5.01 FLOOR/CEILING ASSEMBLIES
C1.00 SITE REMOVALS & EROSION CONTROL PLAN	A5.20 DOOR SCHEDULE AND FRAME TYPES
C2.00 SITE PLAN	A5.21 DOOR DETAILS
C3.00 GRADING PLAN	A5.30 WINDOW AND DOOR TYPES
C4.00 CONSTRUCTION DETAILS	A5.31 WINDOW DETAILS
	A5.32 EXISTING WINDOW DETAILS
STRUCTURAL	A6.00 INTERIOR DETAILS
S0.00 STRUCTURAL TITLE SHEET	A6.01 INTERIOR DETAILS
S0.01 STRUCTURAL NOTES	A6.02 INTERIOR DETAILS
S0.02 SPECIAL INSPECTIONS & STRUCTURAL SITE PLAN	A6.03 INTERIOR DETAILS - STANDARD MOUNTING HEIGHTS
S0.03 SCHEDULES	A6.06 STANDARDS FOR TYPE-A AND TYPE-B UNITS
S1.00 FOOTING AND FOUNDATION PLAN	A7.00 ROOM FINISH SCHEDULE
S1.10 FIRST FLOOR FRAMING PLAN	A7.10 SIGNAGE
S1.20 SECOND FLOOR FRAMING PLAN	
S1.30 THIRD FLOOR FRAMING PLAN	
S1.40 FOURTH FLOOR FRAMING PLAN	
S1.50 FIFTH FLOOR FRAMING PLAN	
S1.60 ROOF FRAMING PLAN	
S2.00 FOUNDATION SECTIONS AND DETAILS	
S2.01 FIRST SECOND FLOOR FRAMING SECTIONS AND DETAILS	
S3.10 THIRD FLOOR FRAMING SECTIONS AND DETAILS	
S3.11 THIRD FLOOR FRAMING SECTIONS AND DETAILS	
S3.12 THIRD FLOOR FRAMING SECTIONS AND DETAILS	
S3.20 FOURTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.21 FOURTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.22 FOURTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.23 FOURTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.30 FIFTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.31 FIFTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.32 FIFTH FLOOR FRAMING SECTIONS AND DETAILS	
S3.33 FIFTH FLOOR FRAMING SECTIONS AND DETAILS	
S4.00 ROOF FRAMING SECTIONS AND DETAILS	
S5.00 STAIR A FRAMING PLANS AND SECTION	
S5.01 STAIR A FRAMING SECTIONS AND DETAILS	
S5.02 STAIR FRAMING SECTIONS AND DETAILS	
S6.00 STRUCTURAL VISUALS	

CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

NO	DATE	ISSUED FOR
	1/10/20	100% CONSTRUCTION DOCUMENTS
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

REGIONAL MAP



BUILDING DATA

FLOOR NAME	DESCRIPTION	AREA (GSF)
BASEMENT	APARTMENTS, STORAGE & MECH. (4,090)	6,248
FIRST FLOOR	APARTMENTS & COMMON AREA	6,248
SECOND FLOOR	APARTMENTS	6,248
THIRD FLOOR	APARTMENTS	6,248
FOURTH FLOOR	APARTMENTS	6,248
FIFTH FL.	APARTMENTS (2,080') & MOTH BALLED/MECH. (3,129)	5,209
TOTAL		36,449

*1,039SF OF VAULTED SPACE NOT INCLUDED IN AREA

UNIT TYPES AND DATA

ITEMIZED UNIT TYPE	DESCRIPTION	FLOOR					TOTAL TYPE
		BR	BA	ACC	B	1	
EFF A	465	0	1	B			8
EFF A2	476	0	1	B	2	4	2
EFF B	423	0	1	B		1	2
EFF B2	388	0	1	B	1		1
EFF C	303	0	1	B	1		1
EFF D	389	0	1	B	1		1
1BR A	564	1	1	B*			3
1BR B	542	1	1	B*			1
1BR C	648	1	1	B		1	2
1BR D	585	1	1	B	1	1	1
1BR E	529	1	1	B	1	1	1
1BR F	694	1	2	B*	1		1
1BR G	617	1	1	B*			1
1BR+DEN A	616	1	1	A	1		1
2BR B	807	2	1	B*			1
2BR C	709	2	1	B		1	3
TOTALS					1	7	8

TOTAL UNIT TYPE	TOTAL TYPE
EFF	15
1 BR	12
1 BR + DEN	1
2 BR	4
TOTAL	32

*NOTE: UNIT AREAS INCLUDE THE MECH. SHAFT AREA
*MULTI STORY UNITS THAT ARE PROVIDED WITH EXTERNAL ELEVATOR SERVICE TO ONLY ONE FLOOR - THE FLOOR PROVIDED WITH ELEVATOR SERVICE SHALL BE THE PRIMARY ENTRY TO THE UNIT, SHALL COMPLY WITH THE REQUIREMENTS FOR A TYPE B UNIT AND A TOILET FACILITY SHALL BE PROVIDED ON THAT FLOOR. (IBC 1107.7.2)

UNIT ACCESSIBILITY DATA

Units are designed to the following Accessibility Standards:
ACC. Type Accessibility Standard
A ICC/ANSI 117.1 - Type 'A' Accessible Unit
B ICC/ANSI 117.1 - Type 'B' Accessible Unit
NUMBER OF ACCESSIBLE UNITS REQUIRED
1 (MN 1107.6.2.2) requires 2% of dwelling units be Type 'A' Accessible: 32 Units x 2% = 1
NUMBER OF ACCESSIBLE UNITS PROVIDED
1 - Type 'A' Accessible Unit is provided.

DEMOLITION	DESCRIPTION
D1.00	BASEMENT DEMO PLAN
D1.10	FIRST FLOOR DEMO PLAN
D1.20	SECOND AND THIRD FLOOR DEMO PLANS
D1.40	FOURTH FLOOR DEMO PLAN
D1.50	FIFTH FLOOR DEMO PLAN
D1.90	DEMOLITION DETAILS
D2.00	EXTERIOR DEMOLITION ELEVATIONS
D2.01	EXTERIOR DEMOLITION ELEVATIONS

ARCHITECTURAL	DESCRIPTION
A0.10	ARCHITECTURAL SITE PLAN
A1.00	BASEMENT PLAN
A1.10	FIRST FLOOR PLAN
A1.20	SECOND AND THIRD FLOOR PLANS
A1.40	FOURTH FLOOR PLAN
A1.50	FIFTH FLOOR PLAN
A1.60	ROOF PLAN
A1.61	ENLARGED COMMON AREA FLOOR PLANS
A1.70	UNIT PLANS
A1.71	UNIT PLANS
A1.72	UNIT PLANS
A1.73	UNIT PLANS
A1.80	REFLECTED CEILING PLANS - BASEMENT & FIRST FLOOR
A1.81	REFLECTED CEILING PLANS - SECOND AND THIRD FLOOR
A1.82	REFLECTED CEILING PLANS - FOURTH AND FIFTH FLOOR
A1.90	NEW CONSTRUCTION DETAILS
A2.00	BUILDING ELEVATIONS
A2.01	BUILDING ELEVATIONS
A2.10	INTERIOR ELEVATIONS - UNIT KITCHENS & BATHS
A2.20	INTERIOR ELEVATIONS - COMMON AREAS
A2.21	INTERIOR ELEVATIONS - COMMON AREAS - EXISTING CONDITION PHOTOS
A2.22	INTERIOR ELEVATIONS - COMMON AREAS
A2.23	INTERIOR ELEVATIONS - COMMON AREAS
A2.24	INTERIOR ELEVATIONS - COMMON AREAS - EXISTING CONDITION PHOTOS

ABBREVIATIONS

AHJ	AUTHORITY HAVING JURISDICTION
CLR	CLEAR DIMENSION
IBC	INTERNATIONAL BUILDING CODE (2018 INTERNATIONAL BUILDING CODE W/ MN AMENDMENTS)
IBC	2020 MINNESOTA STATE BUILDING CODE (2018 INTERNATIONAL BUILDING CODE W/ MN AMENDMENTS)
IEBC	2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS (2018 INTERNATIONAL EXISTING BUILDING CODE W/ MN AMENDMENTS)
INTL	INTERNATIONAL
NIC	'WORK' NOT IN CONTRACT
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*

Typed or Printed Name: ANDREW MADSON

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
TITLE SHEET

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO.: 180039

DRAWING NO.:

GO.00



PERFORMANCE
DRIVEN DESIGN.

LHBcorp.com

01 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

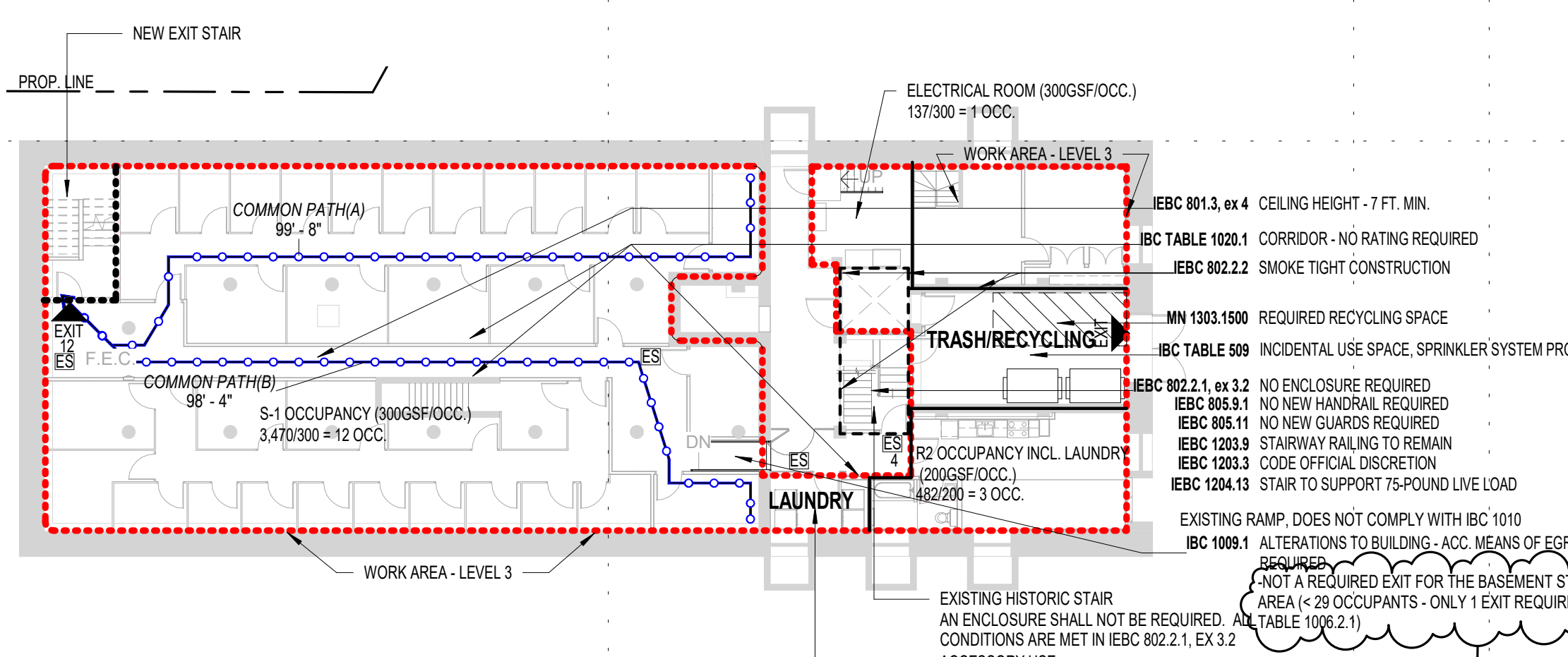
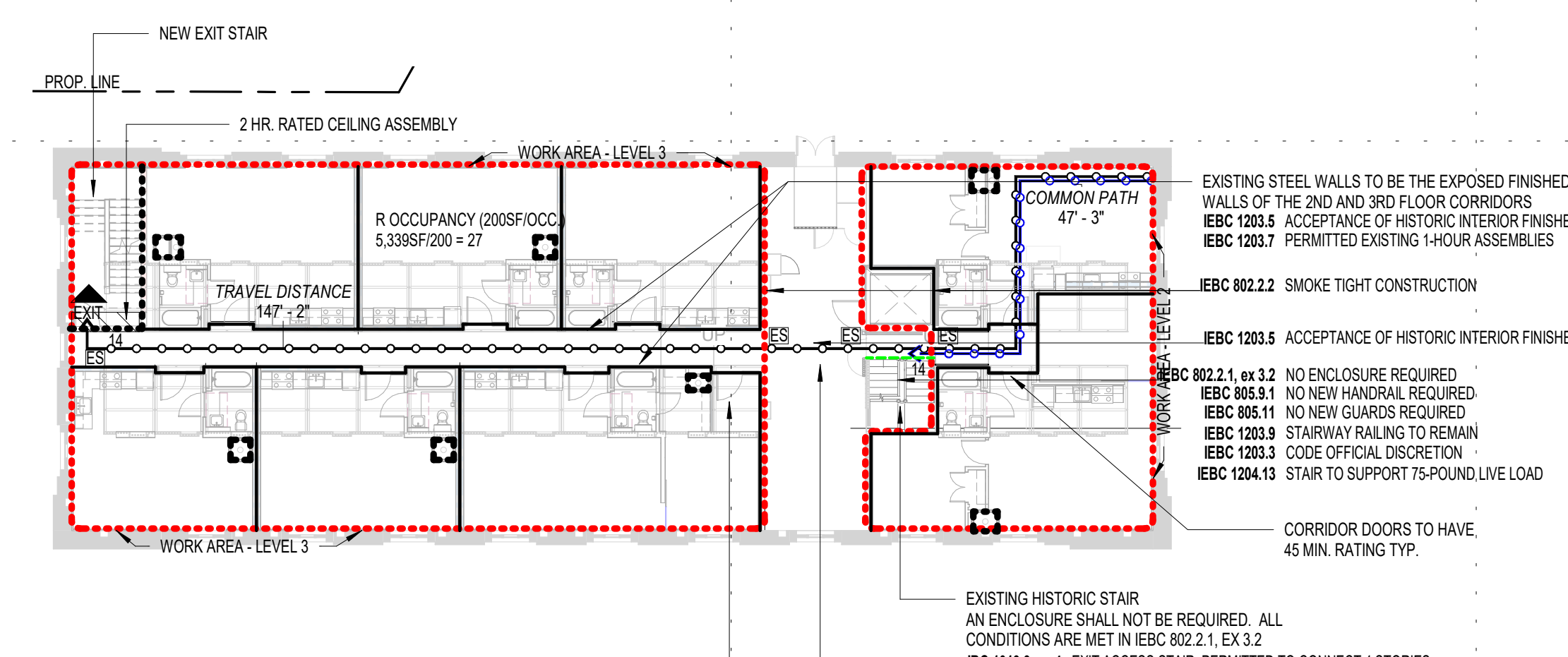
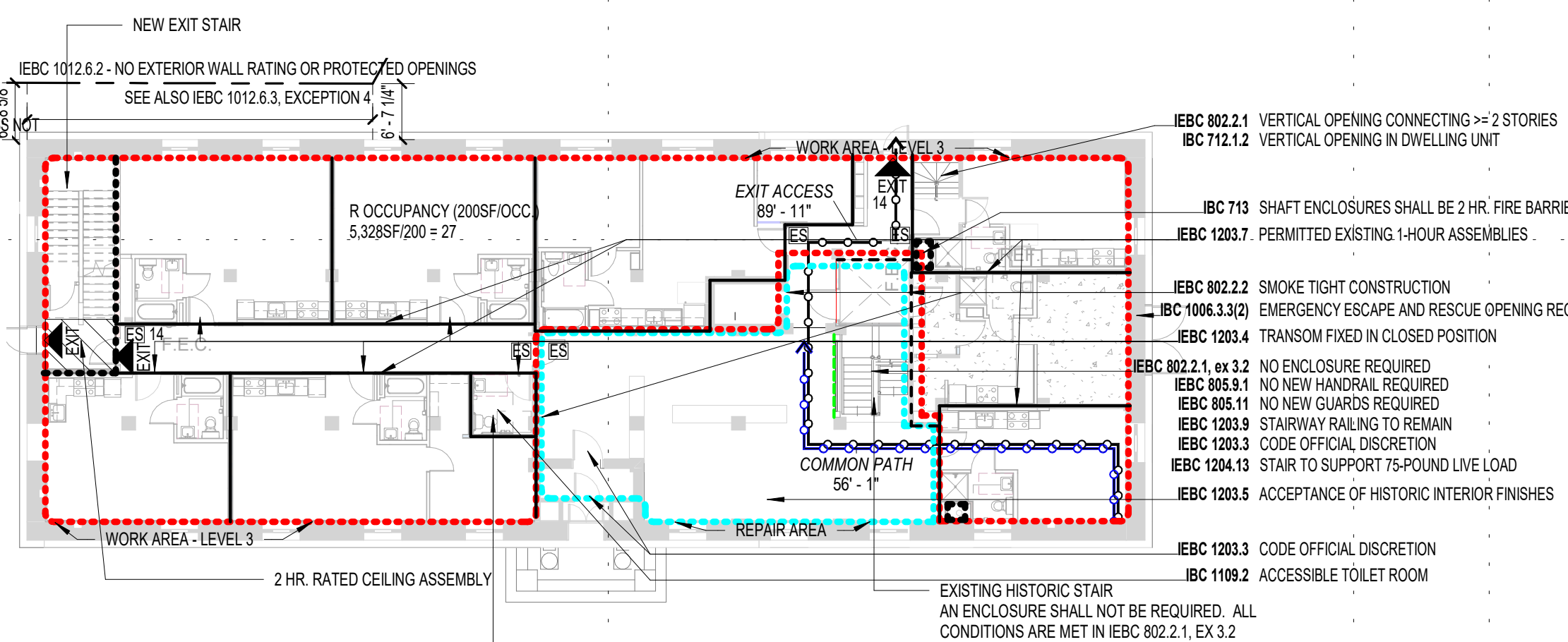
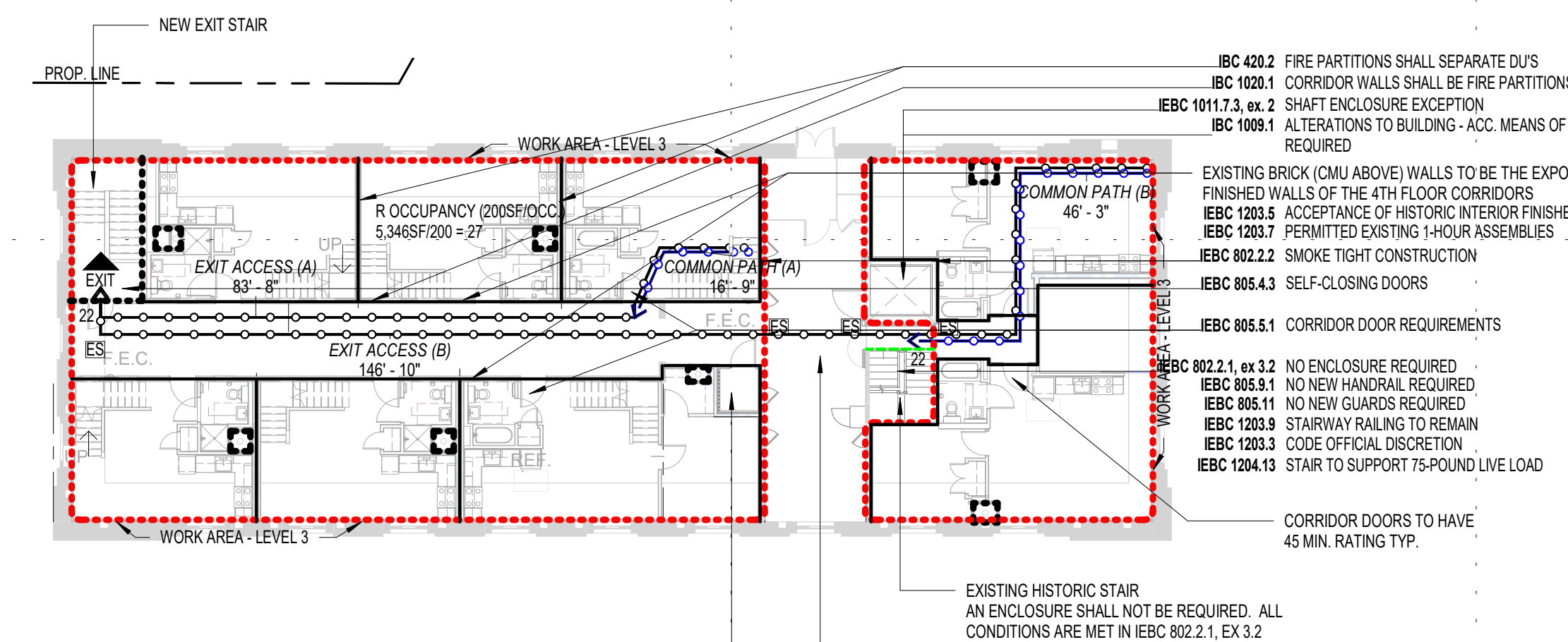
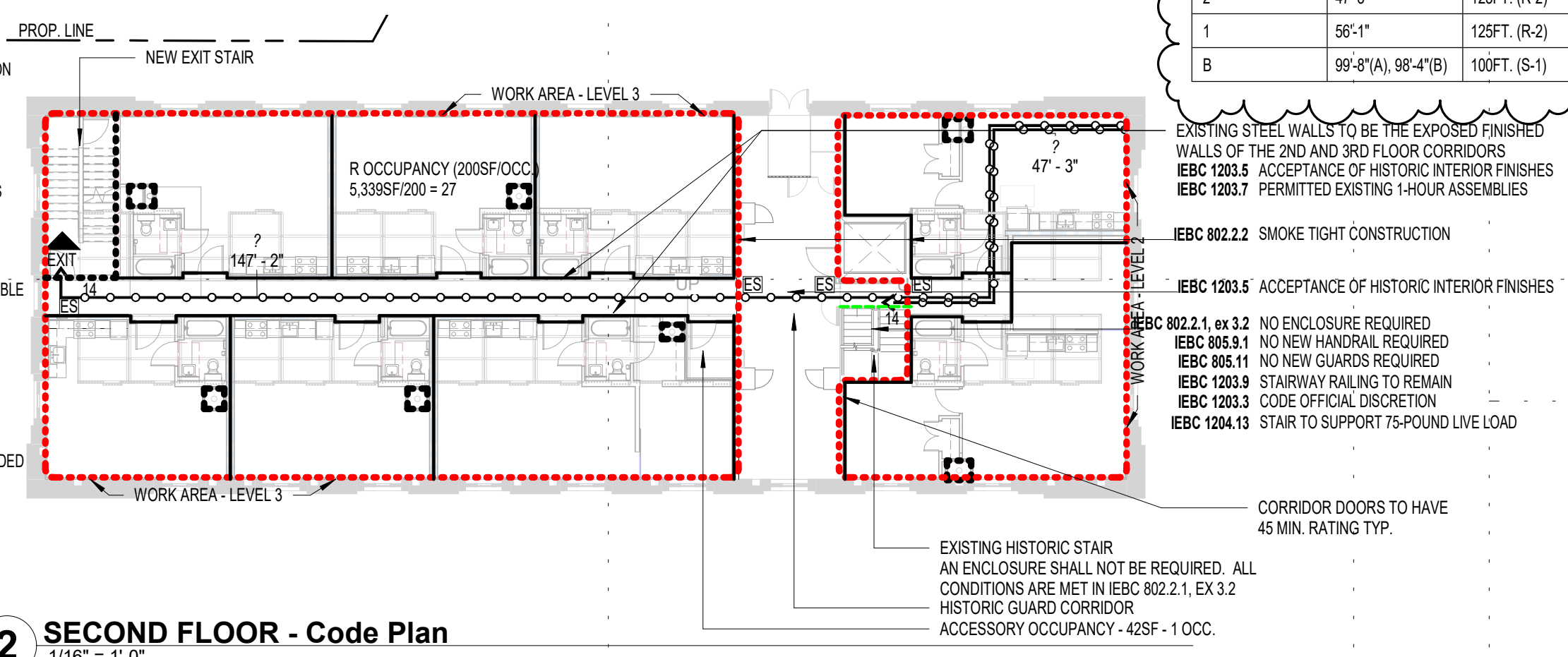
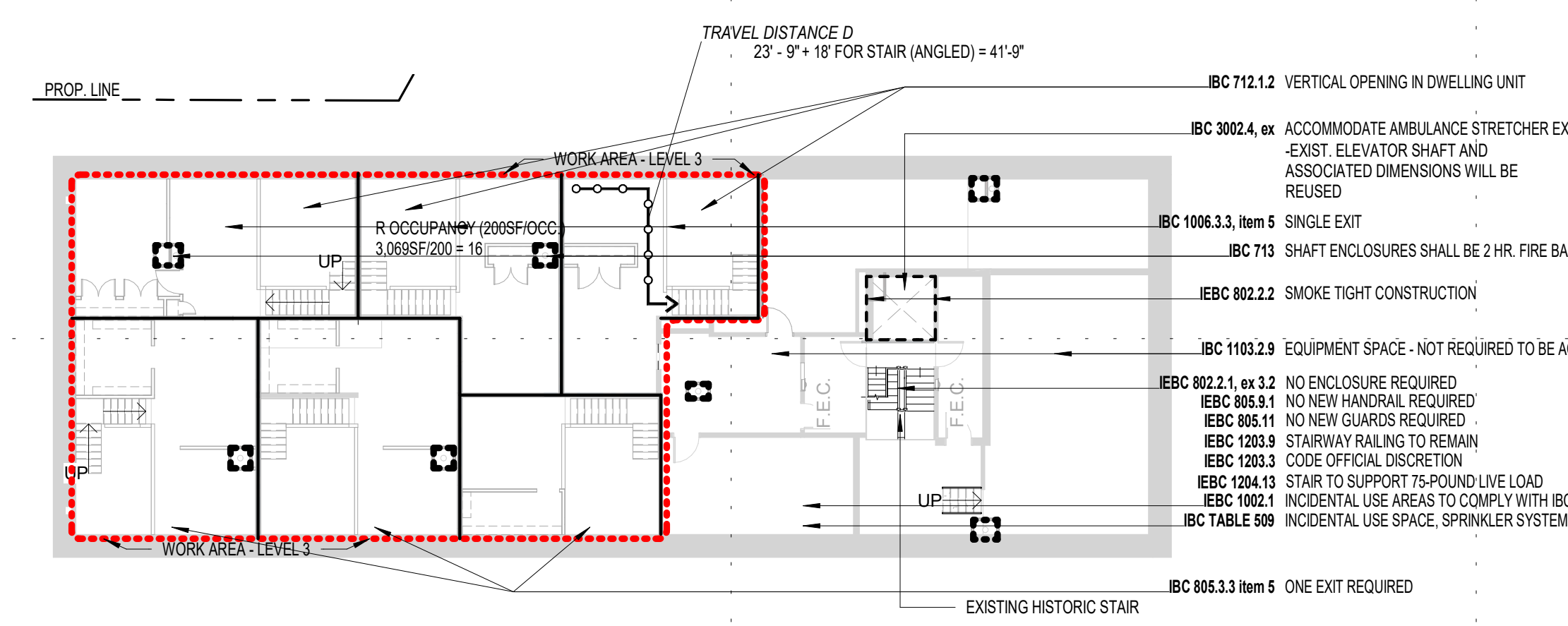
CODE PLAN GENERAL NOTES:

- A. ALL CODE REFERENCES SHOWN HERE HAVE FURTHER DESCRIPTION/EXPLANATION ON SHEET G0.02 AND G0.03
- B. THE COMBINED AREAS OF ALL LEVEL 2 WORK AREAS > 50% OF THE AGGREGATE AREA OF THE BUILDING, THEREFORE ALL FLOORS ARE CONSIDERED LEVEL 3 WORK AREAS (PER IBC 604.1)
- C. BUILDING IS TO BE SPRINKLERED W/ AN NFPA 13 SYSTEM (IBC 903.3.1.1)

COMMON PATH/EXIT ACCESS:

FLOOR	COMMON PATH	CODE MAX.*	COMPLIANT (Y/N)	EXIT TRAVEL	CODE MAX.**	COMPLIANT (Y/N)
4/5	16'-9"(A), 44'-11"(B)	125FT. (R-2)	Y	125'-5"(A), 146'-10"(B)	250FT. (R-2)	Y
3	47'-3"	125FT. (R-2)	Y	147'-2"	250FT. (R-2)	Y
2	47'-3"	125FT. (R-2)	Y	147'-2"	250FT. (R-2)	Y
1	56'-1"	125FT. (R-2)	Y	89'-11"	250FT. (R-2)	Y
B	99'-8"(A), 98'-4"(B)	100FT. (S-1)	Y	99'-8"(A), 98'-4"(B)	250FT. (S-1)	Y

*PER IBC TABLE 1006.2.1
**PER IBC TABLE 1017.2

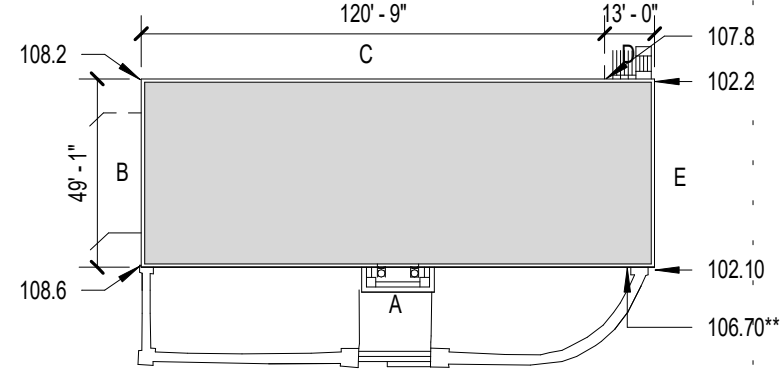


WORK AREA LEGEND

- WORK AREA - LEVEL 3, WORK AREA EXCEEDS 50 PERCENT OF THE AGGREGATE AREA OF THE BUILDING (IEBC 604.1)
- REPAIR AREA

LIFE SAFETY LEGEND

- EXIT SIGN LOCATION
- EXIT
- 2-HR FIRE BARRIER
- 1-HR FIRE PARTITION
- 1-HR FIRE BARRIER
- 1/2-HR FIRE PARTITION
- SMOKE BARRIER
- DRAFT CURTAIN WITH TIGHTLY SPACED SPRINKLER HEADS
- 2-HR RATED CEILING ASSEMBLY



CIVIL - ARCHITECTURE ELEVATION LEGEND

LEVEL NAME	CIVIL ELEV.	ARCH ELEV.
FIFTH FLOOR (UPPER)	146'-2"	
FIFTH FLOOR	143'-2"	
FOURTH FLOOR	133'-10"	
THIRD FLOOR	123'-7"	
SECOND FLOOR	114'-3"	
WARDEN'S ROOM	104'-1 3/8"	
FIRST FLOOR	100'-0"	
GRADE PLANE	107.33	98'-8 1/2"
GARAGE	101.80*	93'-2 1/8"
UPPER BASEMENT	92'-1 3/8"	
LOWER BASEMENT	90'-1 3/4"	

* = TO BE VERIFIED, NOT FROM SURVEY
** = EXTRAPOLATED FROM SURVEY
NOTE: GRADE PLANE DETERMINATION HERE IS ALSO SHOWN ON THE BUILDING ELEVATIONS

CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"X1/2"
ON FULL SIZE SHEETS

NOTE: THIS SHEET IS TO BE PRINTED IN COLOR TO READ CORRECTLY

NO	DATE	ISSUED FOR
1/10/20	100% CONSTRUCTION DOCUMENTS	
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*

Typed or Printed Name: ANDREW MADSON

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
CODE PLANS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO:

G0.01

MN Conservation Code for Existing Buildings (referenced as the IEBC in the construction documents)
ALL UNDERLINED TEXT IS PROJECT SPECIFIC COMMENTARY

Chapter 3: Provisions for all Compliance Methods

SECTION 301 ADMINISTRATION

301.1 General – The repair, alteration, change of occupancy, of all existing buildings shall comply with Section 301.2, 301.3 or 301.4

301.2 Repairs – Repairs shall comply with the requirements of Chapter 4

301.3 Alterations, additions or change of occupancy – The alterations, addition or change of occupancy of all existing buildings shall comply with one of the methods listed in Sections 301.3.1, 301.3.2, 301.3.3. Sections 301.3.1 through 301.3.3 shall not be applied in combination with each other.

301.3.2 Work area compliance method - This project will follow this method... Must comply with the applicable requirements of Chapters 6 through 12 of this coded

SECTION 302 GENERAL PROVISIONS

302.1 Applicability – The provisions of Section 302 apply to all alterations, repairs and change of occupancy regardless of compliance method.

302.3 Additional codes – This project must comply with other codes including the following:
Minnesota Energy Code (International Energy Conservation Code)
Minnesota State Fire Code (International Fire Code)
Minnesota Mechanical Code (International Fuel Gas Code & International Mechanical Code)
Minnesota Plumbing Code (International Plumbing Code)
MPCA minimum standards and criteria for individual sewage treatment systems (International Private Sewage Disposal Code)
NFPA 70

302.3.1 Window Cleaning Anchors – Shall comply with the Minnesota Building Code. Window Cleaning anchors are not provided on this project as we are not exposing the main structural components of the roof. We are tapping into the structural members for the installation of the rooftop mechanicals and installing skylights

302.4 Existing materials – Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the building official to be unsafe.

302.5 New and Replacement materials – Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for repairs and alterations, provided that unsafe conditions are not created.

SECTION 305 ACCESSIBILITY FOR EXISTING BUILDINGS

General – Existing buildings or portions of existing buildings undergoing change of occupancy, alterations due to substantial improvements shall be made accessible to persons with disabilities as required by MN rules, Chapter 1341

Chapter 4: Repairs

Section 401 General

401.1 Scope – Repairs to historic buildings need only comply with Chapter 12 Building has an area designated as a repair area at the historic lobby

Chapter 6: Classification of Work

Section 601 General

601.1 Scope – The provisions of this chapter shall be used in conjunction with Chapters 7 through 12. The work performed on an existing building shall be classified in accordance with this chapter

601.2 Work Area – The work area shall be identified on the construction documents

Section 603 Alteration – Level 2

603.1 Scope – Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

603.2 Application – Level 2 alterations shall comply with the provisions of Chapter 7 for Level 1 alterations as well as the provisions of Chapter 8.

Section 604 Alteration – Level 3

604.1 Scope – Level 3 alterations apply where the work area exceeds 50 percent of the aggregate area of the building. Work area > 50% for this project, therefore all alterations are considered level 3

604.2 Application – Level 3 alterations shall comply with the provisions of Chapters 7 and 8 for Level 1 and 2 alterations, respectively, as well as provisions of Chapter 9

Section 605 Change of Occupancy

605.1 Scope – Building is changing occupancy type from I-3 condition 5 (Jail) to R-2 (Apartment House)

605.2 Application – Changes of occupancy shall comply with the provisions of Chapter 10.

Section 607 Historic Buildings

607.1 Scope – This building fits the definition of historic building

607.2 Application – Except as specifically provided for in Chapter 12, historic buildings shall comply with the applicable provisions of this code for the type of the work being performed

Chapter 7: Alterations – Level 1 - No level 1 alterations are being proposed on this project, but compliance with chapter 7 is required of Level 2 alterations per 801.2

Section 701 General

701.1 Scope – Level 1 alterations to historic buildings shall comply with this chapter, except as modified in Chapter 12.

Section 702 Building Elements and Materials

702.1 Interior Finishes – All newly installed interior wall and ceiling finishes shall comply with IBC Chapter 8.

702.2 Interior Floor Finish – New interior floor finish, including new carpeting used as an interior floor finish material, shall comply with 804 of the IBC.

702.3 Interior Trim – All newly installed interior trim materials shall comply Section 806 of the IBC.

702.4 Window opening control devices on replacement windows – WOCDS shall be installed on replacement windows

702.5 Replacement window emergency escape and rescue openings – Window opening control devices shall be permitted for use on windows required to provide emergency escape and rescue openings

702.6 Materials and Methods – All new work shall comply with the materials and methods requirements in the IBC, IECC, IMC, IPC, or applicable, that specify material standards, detail of installation and connection, joints, penetrations, and continuity of any element, component, or system in the building.

Chapter 8: Alterations – Level 2

Section 801 General

801.1 Scope – Level 2 alterations as described in IEBC Section 603 shall comply with the requirements of this chapter

801.2 Alteration Level 2 Compliance – In addition to the requirements of this chapter, all work shall comply with the requirements of Chapter 7

801.3 Compliance – All new construction elements, components, systems, and spaces shall comply with the requirements of the IBC.

Exceptions:

2. Newly installed electrical equipment shall comply with the requirements of Section 807.

4. The minimum ceiling height of the newly created habitable and occupiable spaces and corridors shall be 7 feet.

Section 802 Building elements and materials

802.2.1 Existing vertical openings (referenced by 903.1) – All existing interior vertical openings connecting 2 or more floors shall be enclosed with approved assemblies having a fire-resistance rating of not less than 1 hour with approved opening protectives.

Exception 1 – Where vertical enclosure is not required by the IBC or IFC. The historic stair within the building will be considered an exit access stair and subject to the requirements of the IBC

Exception 3.2 – The enclosure shall not be required where all of the following conditions are met

3.2.1 – low hazard occupancy and protected throughout by a sprinkler system

3.2.2 – the next to lowest level is a street floor

3.2.3 – Area is open and unobstructed

3.2.4 – exit capacity is sufficient to provide egress simultaneously for all occupants as if the building was a single floor

Total stair width in inches (sprinklered): Total Occupant load/2 x 0.2'
Total Occupant Load = from IBC Section 1004
159/2 x 0.2' = 23'
Total other egress width in inches (sprinklered): Occupant load/2 x 0.15'
156/2 x 0.2' = 15.6'

3.2.5 – Each floor has at least one-half of its exit capacity provided by an exit leading directly out of that level. The project meets all 5 of these conditions, but the exist existing stair within the building is adhering to the more restrictive compliance of the exit access stair per the IBC, see IBC 1019.3, exception 4.

802.2.2 Supplemental shaft and floor opening enclosure requirements – Where the work area on any floor exceeds 50 percent of that floor area, the enclosure requirements of Section 802.2 shall apply to vertical openings other than stairways throughout the floor. This building has other vertical openings including an elevator shaft and an existing dumbwaiter.

802.2.3 Supplemental stairway enclosure requirements – Where the work area on any floor exceeds 50 percent of that floor area, stairways that are part of the means of egress serving the work area shall, at a minimum, be enclosed with smoke-tight construction on the highest work area floor and all floors below. The stairway is open to the corridor on floors 1, 2, 3, and 4. The corridor walls act as the smoke tight construction enclosing the stair. The door will also have a draft curtain installed in line with the top risers of the stair per the requirements for an exit access stair, see IBC 1019.3, exception 4.

802.4 Interior finish – The interior finish of walls and ceilings in exits and corridors in any work area shall comply with the requirements of the IBC

Exception – Existing interior finish materials that do not comply with the interior finish requirements of the IBC shall be permitted to be treated with an approved fire retardant coating in accordance with the manufacturer's instruction to achieve the rating.

802.4.1 Supplemental interior finish requirements – Where the work area on any floor exceeds 50 percent of the floor area, Section 802.4 shall also apply to the interior finish in exits and corridors serving the work area throughout the floor.

Section 803 Fire Protection

803.1 Scope – The requirements of this section shall be limited to work areas in which Level 2 alterations are being performed, and where specified they shall apply throughout the floor on which the work areas are located or otherwise beyond the work area

803.1.1 Corridor ratings – Where an approved sprinkler system is installed throughout the story, the required fire-resistance rating for any corridor located on the story shall be permitted to be reduced in accordance with the IBC (IBC table 1023.1). In order to be considered for a corridor rating reduction, such system shall provide coverage for the stairwell landings serving the floor and the intermediate landings immediately below. Project is declining this reduction of rating to not trigger enhanced sprinkling. Clearances within the existing historic staircase are tight.

803.2 Automatic sprinkler systems – NFPA 13 Sprinkler system shall be installed.

803.2.3 Windowless stories – Work located in a windowless story, as determined in accordance with the IBC, shall be sprinklered where the work area is required to be sprinklered under the provisions of the IBC for newly constructed buildings.

803.3 Standpipes – Shall be installed where the work area is located 50 feet above the lowest level of fire dept. access. The lowest access point on the project is the garage (elev. 93'-2 1/8") and the highest level of work area is the 5th floor (elev. 143'-2"). The elevation difference is 49'-11 7/8". The Duluth fire marshal has indicated that they want to have standpipes installed at both stairs on the project (existing and new)

803.4.3 Smoke alarms – Dwelling units an any work area shall be provided with smoke alarms in accordance with the International Fire Code.

Section 805 Means of Egress

805.1 Scope – The requirements of this section shall be limited to work areas that include exits or corridors within the work area in which Level 2 alterations are being performed, and where specified they shall apply throughout the floor on which the work areas are located or otherwise beyond the work area.

805.3 Number of exits – the number of exits shall be in accordance with Sections 805.3.1 through 805.3.3

805.3.1 Minimum number – Every story utilized for human occupancy on which there is a work area that includes exits or corridors shared by more than one tenant within the work area shall be provided with the minimum number of exits based on the occupancy and the occupant load in accordance with the IBC. In addition, the exits shall comply with Sections 805.3.1.1 and 805.3.1.2.

805.4.3 Door closing – In any work area, all doors opening onto an exit passageway at grade or an exit stair shall be self-closing or automatic-closing by listed closing devices.

1. Where exit enclosure is not required by the IBC

2. Means of egress within or serving only a tenant space that is entirely outside the work area

805.4.3.1 Supplemental requirements for door closing – Where the work area exceeds 50% of the floor area, doors shall comply with Section 805.4.3 throughout the work area, and including, the level of exit discharge.

805.5 Openings in corridor walls – Openings in corridor walls in any work area shall comply with Sections 805.5.1 through 805.5.4

805.5.1 Corridor doors – Corridor doors in the work area shall not be hollow core, or contain louvers. For R-2, they shall be at least 1 3/8" solid core wood and shall not have any glass panels, other than approved wired glass or other approved glazing material in metal frames. They shall be equipped with door closers. All replacement doors shall be 1 1/2" solid bonded wood core or approved equivalent, unless the existing frame will accommodate only a 1 3/8" door.

Exceptions:

1. Corridor doors within a dwelling unit

3. If sprinkler system, doors required only to resist smoke, be tight fitting and no louvers

5. Door assemblies having a fire protection rating of not less than 20 minutes

805.5.2 Transoms – See sections 1203.4 and 1204.6

805.5.3 Other corridor openings – In any work area, any other sash, grille, or opening in a corridor and any window in a corridor not opening to the outside air shall be sealed with materials consistent with the corridor construction.

805.5.3.1 Supplemental requirements for other corridor opening – Where the work area exceeds 50 percent of the floor area, Section 805.5.3 shall be applicable to all corridor windows, grills, sashes, and other opening on the floor.

Exception: Means of egress within or serving only a tenant space that is entirely outside the work area

805.5.4 Supplemental requirements for corridor openings – Where the work area on any floor exceeds 50 percent of the floor area, the requirements of Sections 805.5.3 shall apply throughout the floor.

805.7 Means-of-egress lighting – Means of egress lighting shall be in accordance with this section, as applicable

805.7.1 Artificial lighting required – In work areas, artificial lighting shall be per the IBC

805.7.2 Supplemental requirements for means-of-egress lighting – Where work area on a floor > 50 percent of the floor area, means of egress throughout the floor shall comply with Section 805.7.1

805.8 Exit Signs – Exit signs shall be in accordance with this section, as applicable. See also Section 1204.12

805.8.1 Work Areas – Means of egress in all work areas shall be provided with exit signs in accordance with the IBC

805.8.2 Supplemental requirements for exit signs - Where work area on a floor > 50 percent of the floor area, means of egress throughout the floor shall comply with Section 805.8.1

805.9 Handrails – The requirements of Sections 805.9.1 and 805.9.2 shall apply to handrails from the work area floor to, and including, the level of exit discharge

805.9.1 Minimum requirement – Handrail is existing on East Stair, no new handrails will be provided

805.11 Guards – The requirements of Sections 805.11.1 and 805.11.2 shall apply to guards from the work area floor to, and including, the level of exit discharge but shall be confined to the egress path of any work area.

805.11.1 Minimum requirement – At East Stair, there are no open portions of stair or landing that is more than 30 inches above the floor or grade below

Section 806 Structural

Section 807 Electrical

Section 808 Mechanical

Section 809 Plumbing

Section 810 Energy Conservation
See ASHRAE 90.1 2016, 4.2.1.3, Exception a: This project is exempt from compliance with the energy code due to its historic designation.

Chapter 9: Alterations – Level 3

Section 901 General

901.1 Scope – Level 3 alterations as described in Section 604 shall comply with the requirements of this chapter.

901.2 Compliance – In addition to the provisions of this chapter, work shall comply with all of the requirements of Chapters 7 and 6. The requirements of Sections 802 through 805 shall apply within all work areas whether or not they include exits and corridors shared by more than one tenant and regardless of the occupant load.

Section 902 Special Use and Occupancy

902.2 Boiler and furnace equipment rooms – Boiler and furnace rooms within multi-dwelling facilities shall be enclosed by a 1 hr. fire resistance rated construction

Exception 4 – Furnace rooms protected with automatic sprinkler protection

Section 903 Building Elements and Materials

903.1 Exit shafts and vertical openings – Existing stairways that are part of the means of egress shall be enclosed in accordance with Section 802.2.1 from the highest work area floor to, and including, the level of exit discharge and all floors below.

Section 905 Means of Egress

905.1 General - The means of egress shall comply with the requirements of Section 805 except as specifically required in Sections 905.2 and 905.3

905.2 Means-of-egress lighting – Means of egress from the highest work area floor to the floor of exit discharge shall be provided with artificial lighting within the exit enclosure in accordance with the requirements of the IBC.

905.3 Exit signs – Means of egress from the highest work area floor to the floor of exit discharge shall be provided with exit signs in accordance with the requirements of the IBC.

Chapter 10: Change of Occupancy

Section 1001 General

1001.1 Scope – The provisions of this chapter shall apply where a change of occupancy occurs, as defined in Section 202

1001.2 Compliance with the building code – Incidental use areas must comply with the IBC

Section 1003 Building Elements and Materials

1003.1 General – Building elements and materials in portions of building undergoing a change of occupancy classifications shall comply with Section 1001

Section 1004 Fire Protection

1004.1 General – Fire protection requirements of Section 1011 shall apply where a building or portions thereof undergo a change of occupancy classification

Section 1005 Means of Egress

1005.1 General – Means of egress in portions of buildings undergoing a change of occupancy classification shall comply with Section 1011

Section 1007 Service Upgrade

1007.3 Service upgrade – Where the occupancy of an existing building or part of an existing building is change, electrical service shall be upgraded to meet the requirements of NFPA 70 for the new occupancy

1007.4 Number of electrical outlets – Where the occupancy of an existing building or part of an existing building is changed, the number of electrical outlets shall comply with NFPA 70 for the new occupancy

Section 1008 Mechanical

1008.1 Mechanical requirements - If the new occupancy is subject to different kitchen exhaust or mechanical ventilation requirements in accordance with the International Mechanical Code, the new occupancy shall comply with the intent of the respective International Mechanical Code provisions

Section 1009 Plumbing

1009.1 Increased demand – If the new occupancy is subject to increased plumbing fixture requirements in accordance with MN rules, Chapter 1305, or to increased water supply requirements in accordance with MN rules, Chapter 4714, the new occupancy shall comply with MN rules, Chapter 4714

Section 1010 Other requirements

1010.1 Light and ventilation – Light and ventilation shall comply with the requirements for the IBC for the new occupancy

Section 1011 Change of occupancy classification

1011.1.1 Compliance with Chapter 9 – The requirements of Chapter 9 shall be applicable throughout the building for the new occupancy classification based on the separation conditions set forth in Sections 1011.1.1.1 and 1011.1.1.2

1011.1.1.1 Change of occupancy classification without separation – Building will not have any separations in the building. Chapter 9 shall be applied throughout the building for an R-2 use and the requirements of this chapter

1011.1.2 Fire protection and interior finish – The provisions of Sections 1011.2 and 1011.3 for fire protection and interior finish shall apply to all buildings undergoing a change of occupancy classification

1011.3 Change of occupancy classification based on hazard category – Degree of hazard between different occupancy classifications shall be determined in accordance with the categories specified in Tables 1011.4, 1011.5, 1011.6. Such a determination shall be the basis for the application of Sections 1011.2 and 1011.3

1011.2 Fire protection systems – Fire protection systems shall be provided in accordance with Sections 1011.2.1 and 1011.2.2

1011.2.1 Fire sprinkler system – Sprinkler system shall be installed throughout the area where the change of occupancy occurs. Building shall have an NFPA 13 system installed

1011.2.2 Fire alarm and detection system – fire alarm and detection system to be provided based on the new occupancy in accordance with Chapter 9 of the IBC, such system shall be provided throughout the area where the change of occupancy occurs. Existing alarm notification appliances shall be automatically activated throughout the building. Where the building is not equipped with a fire alarm system, alarm notification appliances shall be provided throughout the area where the change of occupancy occurs and shall be automatically activated.

1011.3 Interior finish – Areas of the building undergoing the change of occupancy classification, the interior finish of walls and ceilings shall comply with the requirements of the IBC for the new occupancy classification

1011.4 Means of egress, general – Hazard category from table 1011.4

I-3 = 2, R-2 = 3, relative hazard is lower than previous occupancy

1011.4.2 Means of egress for change of occupancy to equal or lower hazard category – Existing elements of the means of egress shall comply with the requirements of Section 905 for the new occupancy classification. Newly constructed or configured means of egress shall comply with IBC chapter 10. Stair @ NW will comply w/ IBC chapter 10

1011.4.3 Egress capacity – Egress capacity shall meet or exceed the occupant load as specified in the IBC for the new occupancy. See also Section 1005.1

1011.4.4 Handrails – See Section 805.9

1011.4.5 Handrails – See Section 805.11

1011.5 Heights and Areas – Hazard category from table 1011.5

I = 2, R-2 = 2, relative hazard is equal to previous occupancy

1011.5.2 Height and area for change to equal or lesser hazard category – When a change of occupancy classification is made to an equal or lesser hazard category as shown in Table 1011.5, the height and area of the existing building shall be deemed acceptable.

1011.6 Exterior wall fire-resistance ratings – Hazard categories in regard to fire-resistance ratings of exterior walls shall be in accordance with Table 1011.6. Condition of plaster walls at exterior are in bad shape typically. Most exterior wall locations will receive furred walls for new finish surface and routing of electrical. All historic areas within the building will receive plaster repair at the exterior walls.

I = 3, R = 3, relative hazard is equal to previous occupancy

1011.6.2 Exterior wall rating for change of occupancy classification to an equal or lesser hazard category – When a change of occupancy classification is made to an equal or lesser hazard category as shown in Table 1011.6, existing exterior walls, including openings, shall be accepted

1011.6.3 Opening protectives – Per IBC

Exception 4 – Exterior opening protectives are not required when the change of occupancy group is to an equal or lower hazard classification in accordance with Table 1011.6

1011.7 Enclosure of vertical shafts – Enclosure of vertical shafts shall be in accordance with Sections 1011.7.1 through 1011.7.4

1011.7.1 Minimum requirements – Vertical shafts shall be designed to meet the IBC requirements for atriums or the requirements of this section. Even though this project has a lesser relative hazard classification per Table 1011.4, project will adhere to the stricter path designated for occupancy classification that is made to a higher hazard category per 1011.7.2

1011.7.2 Stairways – When a change of occupancy classification is made to a higher hazard category as shown in Table 1011.4, interior stair

MN Building Code (referenced as the IBC in the construction documents)
ALL UNDERLINED TEXT IS PROJECT SPECIFIC COMMENTARY

Codes and Standards Utilized:

- 2020 Minnesota State Building Code (2018 International Building Code w/ MN amendments)
- 2020 Minnesota Accessibility Code
- 2020 Minnesota Energy Code (2018 International Energy Conservation Code (IECC) with MN amendments) -Commercial Energy Code
- 2020 Minnesota Fire Code
- 2020 Minnesota Conservation Code for Existing Buildings (2018 International Existing Building Code w/ MN amendments)

2020 Minnesota Provisions

1303.1500 Recycling Space
Apartment, office and storage area – 38,464 gsf x .0025 = 96SF
Mechanical/Electrical rooms 2633 gsf x .001 = 2.6SF
Total required recycling area = 98.6SF This area is shown on the code plan in the trash room

1303.2400 Radon

This building is exempt from the radon requirements as it is an existing structure

Chapter 3: Occupancy Classification and Use – This building will have a change in use from I-3, condition 5 jail to R-2 apartment house
302 Occupancy Classification and Use Designation
303 Assembly Group A

303.1.2 Small assembly spaces – The following spaces shall not be classified as Assembly occupancies:
A room or space used for assembly purposes with an occupant load of less than 50 person and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy This project is identifying the lobby and guard corridors as accessory to the R-2 occupancy and classifying it as R-2 space

310.3 – Group R-2 – Residential, Apartment House
304 – Group B – Business Office (accessory to R-2 per 508.2)
303.1.2 – Group B – a space used for assembly purposes with an occupant load of less than 50 person and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy

Chapter 4: Special Detailed Requirements Based on Occupancy and Use

420.2 Separation Walls
Fire partitions (see Section 708) shall separate dwelling units from other dwelling units as well as other occupancies within the building. All dwelling units are separated by 1 hour fire partitions.

420.3 Horizontal Separation
Horizontal assemblies (see Section 711) shall separate dwelling and sleeping units from other dwelling and sleeping units as well as other occupancies within the building. All dwelling units are separated by 1 hour horizontal assemblies

420.4 Automatic Sprinkler System
Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8 and 903.3.2. Note: The requirements of this section are exceeded by the use of a NFPA 13 system per 903.3.1.1

420.5 Fire Alarm Systems and smoke alarms
Fire alarm systems and smoke alarms shall be provided in group R-2 occupancies in accordance with Sections 907.2.6, 907.2.8, 907.2.9 and 907.2.10.

Chapter 5: General Building Heights and Areas

Section 503 General Building Height and Area Limitations
NOTE: Height and Area determined per IBC 1011.5.2
508.2 Accessory occupancies
Laundry (509), Toilet (509) on first floor, Storage (110) on first floor, Electrical (209, 309), Storage (409), Janitor (410) are all considered accessory spaces. The lobby at first floor and guard corridors on 2nd, 3rd and 4th serve assembly purposes but are less than 50 occupants and less than 750sf and therefore can be classified as the R-2 occupancy per IBC 303.1.2, items 1&2
Allowable area = 10% of floor area (625 sf) or per table 506.2 (18,000 sf) whichever is less.
Allowable height = in accordance to Section 504 for the main occupancy of the building

508.2.4 Separation
No separation required between accessory occupancies and the main occupancy, exception 2 – R-2 dwelling units shall be separated from other dwelling units and from accessory occupancies contiguous to them in accordance with IBC 420 (1 hour fire partition)

508.3 Non-separated occupancies – Not applicable

509 Incidental Uses – Project has 2 incidental use spaces
0 hour* – Rooms with boilers where equipment is over 15 psi & 10 horsepower shall have a smoke separation
0 hour* – Waste collection rooms over 100 square feet shall have a smoke separation

Chapter 6: Types of Construction

Table 601 Fire-Resistance Rating Requirements for Building Elements	
Type IIB:	0 hour
Primary structural frame:	2 hour (Criteria satisfied per IBC 1011.6)
Exterior bearing walls:	0 hour - or as required by other parts of the code, noted below
Interior bearing walls:	0 hour (Criteria satisfied per IBC 1011.6)
Exterior non-bearing walls:	0 hour - or as required by other parts of the code, noted below
Interior non-bearing walls:	0 hour - or as required by other parts of the code, noted below
Floor construction:	0 hour
Roof construction:	0 hour
Dwelling separation:	1 hour (Sections 420.2 & 708), fire partition
Horizontal separation:	1 hour (Sections 420.3 & 711)
Shafts & vertical exit enclosures:	2 hour (connecting 4 stories – Section 713.4), fire barrier
Interior Exit stairways:	2 hour (connecting 4 stories – Section 1023.2), fire barrier
Corridors:	1 hour Declining 30 minute rating per (Table 1020.1 – for sprinklered building) and IBC 803.1.1
Trash rooms:	0 hour* with smoke separation if over 100 sf (Section 509)
Boiler rooms:	0 hour* with smoke separation if over 100 sf (Section 509)
Laundry rooms:	0 hour* with smoke separation if over 100 sf (Section 509)
Elevator equipment room:	0 hour if abutting hoistway it serves (Section 3005.4)

Chapter 7: Fire-Resistance-Rated Construction

SECTION 705 EXTERIOR WALLS
Table 705.3 Openings –
Opening protectives are not required when the change of occupancy group is to an equal or lower hazard classification in accordance with IBC Table 1011.6

SECTION 707 FIRE BARRIERS

707.3.1 Shaft enclosures – 2 hour where connecting 4 stories or more (713.4)
707.3.2 Interior exit stairway – 2 hour (1023.1)

707.5 Continuity – Fire barriers shall extend from the top of the foundation or floor/ceiling assembly below to the underside of the floor or roof sheathing, slab or deck above.

SECTION 708 FIRE PARTITIONS

708.3 Shall have a fire resistance rating of not less than 1 hour.
Exception 1: Corridor walls are permitted to have a ½ hour* fire-resistance rating per Table 1020.1 Project is declining this reduction of rating to not trigger enhanced sprinkling per IBC 903.1.1
Exception 2: DU's in buildings of Types IIB construction shall have fire-resistance ratings of not less than ½ hour in buildings equipped throughout with an NFPA 13 sprinkler system in accordance with 903.3.1.1

SECTION 711 FLOOR AND ROOF ASSEMBLIES

Shall have a fire resistance rating of not less than 1 hour. Almost all horizontal assemblies are existing on the project and are confirmed by use of table 722 to be 1 hour rated min.

SECTION 713 SHAFT ENCLOSURES

713.4 Fire-resistance rating - Shall have a fire resistance rating of not less than 2 hours (connecting 4 stories or more)

713.7 Openings – Protect per section 716 as required for fire barriers. Doors shall be self- or automatic-closing by smoke detection in accordance with Section 716.2.6.6

SECTION 716 OPENING PROTECTIVES

716.1.2 Glazing - Glazing used in fire door and fire window assemblies shall comply with this section in addition to the requirements of Section 716.2 and 716.3 respectively.
716.1.2.2 Marking fire-rated glazing assemblies – Fire-rated glazing assemblies shall be marked in accordance with Tables 716.1(1), 716.1(2) and 716.1(3)

716.2.3 Fire Doors

Fire doors installed within a fire door assembly shall meet the fire rating indicated in Table 716.1(2)

716.2.6.6 Smoke-activated doors

Automatic closing doors installed in the following locations shall be permitted to have hold-open devices. Doors shall automatically close by the actuation of smoke detectors installed in accordance with Section 907.3 or by loss of power to the smoke detector or hold-open device. Fire barriers (Section 707.6), fire partitions (Section 708.6) Shaft enclosures (Section 713.7)

Chapter 8: Interior Finishes

Table 803.13, Group R-2, Sprinklered	
Interior exit stairways	C
Corridors	C
Rooms & enclosed spaces	C

Chapter 9: Fire Protection and Life Safety Systems

SECTION 903 AUTOMATIC SPRINKLER SYSTEMS

An automatic sprinkler system shall be provided throughout all stories per the requirements of Chapter 9 as required
903.2.8 Group R – Building area (work area) is larger than 4,500sf, requires an automatic sprinkler system.
903.3.1.1 NFPA 13 sprinkler system - to be provided as building is more than 4 stories in height

SECTION 905 STANDPIPE SYSTEMS See IBC 803.3

SECTION 906 PORTABLE FIRE EXTINGUISHERS

906.1 – Shall be provided in occupancies and locations as required by the Minnesota State Fire Code
Table 906.3(1) – Size and distribution
2-A rating
4 extinguishers required minimum (1 per 11,250 sf)
Maximum travel distance of 75'

Chapter 10: Means of Egress

SECTION 1004 OCCUPANT LOAD

Fourth floor =	44
Third floor =	28
Second floor =	28
First floor =	28
Basement =	16
Total Occupant Load =	156

SECTION 1005 MEANS OF EGRESS SIZING

1005.2 Minimum width based on component – shall be not less than that specified for such component elsewhere in this code.
1005.3.1 Stairways – Total stair width in inches (sprinklered): Occupant load/2 x 0.3 NFPA 13 system installed but no emergency voice/alarm communication system

Fourth floor (each stair) =	(22 occupants x 0.3) = 6.6*
Third floor (each stair) =	(14 occupants x 0.3) = 4.2*
Second floor (each stair) =	(14 occupants x 0.3) = 4.2*
First floor =	(14 occupants x 0.3) = 4.2*
Basement (plan west stair) =	(12 occupants x 0.3) = 3.6*
Basement (plan east stair) =	(4 occupants x 0.3) = 1.2*

1005.3.2 Other egress components - Total other egress width in inches (sprinklered): Occupant load/2 x 0.2* NFPA 13 system installed but no emergency voice/alarm communication system

Fourth floor =	(22 occupants x 0.2) = 4.4*
Third floor =	(14 occupants x 0.2) = 2.8*
Second floor =	(14 occupants x 0.2) = 2.8*
First floor =	(14 occupants x 0.2) = 2.8*
Basement (plan west stair) =	(12 occupants x 0.2) = 2.4*
Basement (plan east stair) =	(4 occupants x 0.2) = .8*

SECTION 1006 NUMBER OF EXITS AND EXIT ACCESS DOORWAYS

Table 1006.2.1 – Maximum common path of egress travel distance – 125* (R-2)
1006.2.2.1 Boiler, incinerator and furnace rooms
Two exits are required if the area of the room exceeds 500 sf and any fuel-fired equipment exceeds 400,000 Btus input capacity. NOTE: Mech. room is > 500sf, but every piece of equipment is < 400,000 Btus input capacity

Table 1006.3(1) Up to 4 dwelling units can be located on the basement, first, second or third floor with access to one exit.* The dwelling unit on the Warden's Office level only has access to 1 exit. This unit must be provided with emergency escape and rescue openings in accordance with Section 1030

SECTION 1007 EXIT AND EXIT ACCESS DOORWAY CONFIGURATION

1007.1.1 Two exits or exit access doorways – exception 2* the separation distance between exit doors or exit access doorways shall not be less than one-third of the length of maximum overall diagonal distance of the area served

SECTION 1009 ACCESSIBLE MEANS OF EGRESS

1009.1 Accessible means of egress required - Exception 3 Accessible means of egress are not required in alterations to existing buildings **NOTE:** This is a five story building with an existing elevator that only rose to the 4th floor. The new elevator is proposed to only reach the fourth floor. No emergency power is required for the elevator to be an accessible means of egress since this project is a building alteration and the 5th floor is not an accessible floor as it is mothballed mechanical space (per IBC 1103.2.9). No generator will be provided on this project.
1009.8 Two-way communication - A two-way communication system shall be provided at the elevator landing on each accessible floor that is one or more stories above the story of exit discharge.

SECTION 1010 DOORS, GATES AND TURNSTILES

1010.1 Doors - Means of egress doors shall meet the requirements of Section 1010.

SECTION 1011 STAIRWAYS Applies to the new stair

1011.2 Width – 44" min. Exception 1 – 36" when serving an occupant load of less than 50
1011.3 Headroom – 80"
1011.5 Stair treads and risers – 4"-7" risers, 11" treads
1011.5.4 Dimensional uniformity – 3/8" variance max. between largest and smallest tread/riser

1011.12 Stairway to roof
In buildings four or more stories above grade plane, one stairway shall extend to the roof surface. The east exit access stair extends to the roof.

SECTION 1012 RAMPS

1012.2 Slope - Ramp shall be a slope of 1:12 with no vertical rise exceeding 30" max. **NOTE:** Basement ramp exceeds this max. slope. Accessible means of egress are not required in alterations to existing buildings (IBC 1009.1, ex.3)

SECTION 1014 HANDRAILS Applies to the new stair

1014.1 Where required - Handrails required for flights of stairs shall comply with section 1011.11, handrails required for ramps shall comply with section 1012.8
1014.2 Height – 34"-38"

SECTION 1016 EXIT ACCESS

1016.2 Egress through intervening spaces – Item 2 Egress from a room or space can pass through adjoining or intervening rooms or areas if they are accessory to one another and provide a discernible path of egress travel to an exit

SECTION 1017 EXIT ACCESS TRAVEL DISTANCE

1017.3 Measurement – Exit access travel distance shall be measured from the most remote point of each room along the natural and unobstructed path of horizontal and vertical egress travel to the entrance to an exit. Interior exit stairways (excluded as part of the total path of travel)

Table 1017.2: R occupancy* = 250' max.

SECTION 1019 EXIT ACCESS STAIRWAYS AND RAMPS

1019.3 Exit access stairways (included as part of the total path of travel) Floor openings between stories created by exit access stairways shall be enclosed.
Exception 4 – In R2 occupancy, the exit access stairway are not required to be enclosed provided that the building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1, the floor opening does not connect more than four stories, the area of the floor opening between stories does not exceed twice the horizontal projected area of the exit access stairway, and the opening is protected by a draft curtain and closely spaced sprinklers in accordance with NFPA 13.

SECTION 1020 CORRIDORS

Table 1020.1 Corridor Fire-Resistance Rating.
R Occupancy = 1 hour/30 minute* if occupancy is > 10, 0 hours if occupancy is < 10; see also IBC 803.1.1
S Occupancy = 1 hour/minutes* if occupancy load is >=30.
The basement corridor is not rated due to the small occupancy count.

Table 1020.2 Minimum Corridor Width = 44" min **NOTE:** 2nd and 3rd floor Corridors are 4' clear from steel cell wall to steel cell wall.

1020.6 Corridor continuity

Fire-resistance-rated corridors shall be continuous from the point of entry to an exit and shall not be interrupted by intervening rooms
Exception 1 – Foyers, lobbies or reception rooms less than 1,000 sf per floor aggregate area shall not be construed as intervening rooms if the rooms meet the requirements of this section

SECTION 1030 EMERGENCY ESCAPE AND RESCUE

1030.1 General – In addition to the means of egress required by this chapter, emergency escape and rescue openings shall be provided in Group R occupancies
Exception 4 – Shall not be required where the building is equipped throughout with an approved automatic sprinkler system* and the means of egress system complies without utilizing the single exit provisions under Section 1006.3.3 Emergency escape and rescue openings are required for unit on Wardens Office Level (unit 112)

Chapter 11: Accessibility

The building and site shall be accessible to persons with physical disabilities per the 2020 Minnesota Accessibility Code

1103.2.9 Equipment Spaces – Spaces frequented only by service personnel for maintenance, repair or occasional monitoring of equipment are not required to comply with this chapter.

1103.2.16 Existing Buildings: Existing buildings shall comply with IBC Section 305 as amended by MN Rules, part 1341.0030 as applicable

1107.6.2.2.1 Type A units: At least 2% of the dwelling units shall be type A units (per chptr 10 A117.1, Section 1003)

1107.6.2.2.2 Type B units: All non-type A units shall be type B units (per chptr 10 A117.1, Section 1004)

1109.5.1 Drinking fountains, minimum number: R-2 apartment house – no requirement – not required per table 2902.1

1109.9.1 Equity – Accessible facilities and spaces shall be provided with the same storage elements as provided in the similar nonaccessible facilities and spaces The basement tenant storage in the building is not accessible due to the slope of the ramp. The building does include accessible storage space on the fourth floor.

Chapter 12: Interior Environment

1206 Sound Transmission
Assemblies separating dwelling units from each other, and from public or service areas, shall have a STC of 50 min (design) or 45 min (field test) and an IIC of 50 min (design) or 45 min (field test)

1207.2 Minimum ceiling heights

Occupiable space, habitable spaces and corridors shall have a ceiling height of not less than 7'-6". See also IBC 801.3 exception 4.

1207.3 Room area

Every dwelling unit shall have no fewer than one room that shall have not less than 120sf of net floor area.

Chapter 13: Energy Efficiency

The building shall be designed and constructed in accordance with the 2020 Minnesota Commercial Energy Code

Commercial building = For this code, all buildings that are not included in the definition of "residential buildings"

Residential building = For this code, includes detached one- and two-family dwellings and multiple single-family dwellings (townhouses) as well as Group R-2, R-3 and R-4 buildings three stories or less in height above grade plane.

C401.2.1 Application to existing buildings: This project will follow the ASHRAE 90.1 path

ASHRAE 90.1

4.2 Compliance
4.2.1.3 Alterations of Existing Buildings
Exception a: This project is exempt from compliance with the energy code due to its historic designation.

Chapter 29: Plumbing Systems

Group R-2
Water closets – 1 per dwelling unit
Lavatories – 1 per dwelling unit
Bathrooms or showers – 1 per dwelling unit
Drinking fountains - NA
Other – 1 kitchen sink per dwelling unit; 1 automatic clothes washer connection per dwelling unit

Group B

Water closets – 1 per 25 up to 50
Lavatories – 1 per 40 up to 80
Drinking fountains – 1 per 100
Service sink – 1 total

Total provided

Water closets - 1 per dwelling unit and 1 public to serve B
Lavatories – 1 per dwelling unit and 1 public to serve B
Bathrooms or showers – 1 per dwelling unit
Kitchen sink – 1 per dwelling unit
Drinking fountain – None
Service sink – Located in closet off guard corridor

Chapter 30: Elevators and Conveying Systems

3002.1 Hoistway enclosure protection - See IBC 1011.7.3, ex. 2

3002.1.1 Opening Protectives
Openings in hoistway enclosures shall be protected as required by IBC chapter 7, exception – The elevator car doors and the associated hoistway enclosure doors at the floor level designated for recall shall be permitted to remain open during a Phase I Emergency Recall Operation.

3002.4 Elevator car to accommodate ambulance stretcher
Required for buildings that are four or more stories above grade plane. Exception: Minimum inside car dimensions shall not be less than 48" x 48". The project will reuse the existing hoistway and a custom elevator will be sized to fit.

3002.6 Prohibited doors
Smoke control doors shall be: on 'hold open' device that is activated for closure by fire or smoke sensing devices and readily operable from the car side without a key, tool, special knowledge or effort when closed.

3005.4 Machine rooms
Elevator machine rooms shall be enclosed with fire barriers. The fire-resistance-rating shall not be less than the required rating of the hoistway enclosure. -2 hours

Chapter 34: Existing Structures – Not adopted by MN. See 2020 MN Conservation Code for Existing Buildings

*requires either a NFPA 13R or a NFPA 13 fire sprinkler system (903.3.1.1 or 903.3.1.2)
**requires an NFPA 13 fire sprinkler system (903.3.1.1)



PERFORMANCE DRIVEN DESIGN.
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CLIENT:
New Burnham, LLC

**575 9th Street Southeast, Unit 215
Minneapolis, MN 55414**

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

NOTE: THIS SHEET IS TO BE PRINTED IN COLOR TO READ CORRECTLY

NO	DATE	ISSUED FOR
	1/10/20	100% CONSTRUCTION DOCUMENTS
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
	NO	DATE REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature:

Typed or Printed Name: **ANDREW MADSON**

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:

The Burnham - Historic St. Louis County Jail

**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:

CODE REVIEW - IBC

DRAWING NO:



GO.03



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I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: **ANDREW MADSON**
Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
**FIRST FLOOR DEMO
PLAN**

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO:

D1.10

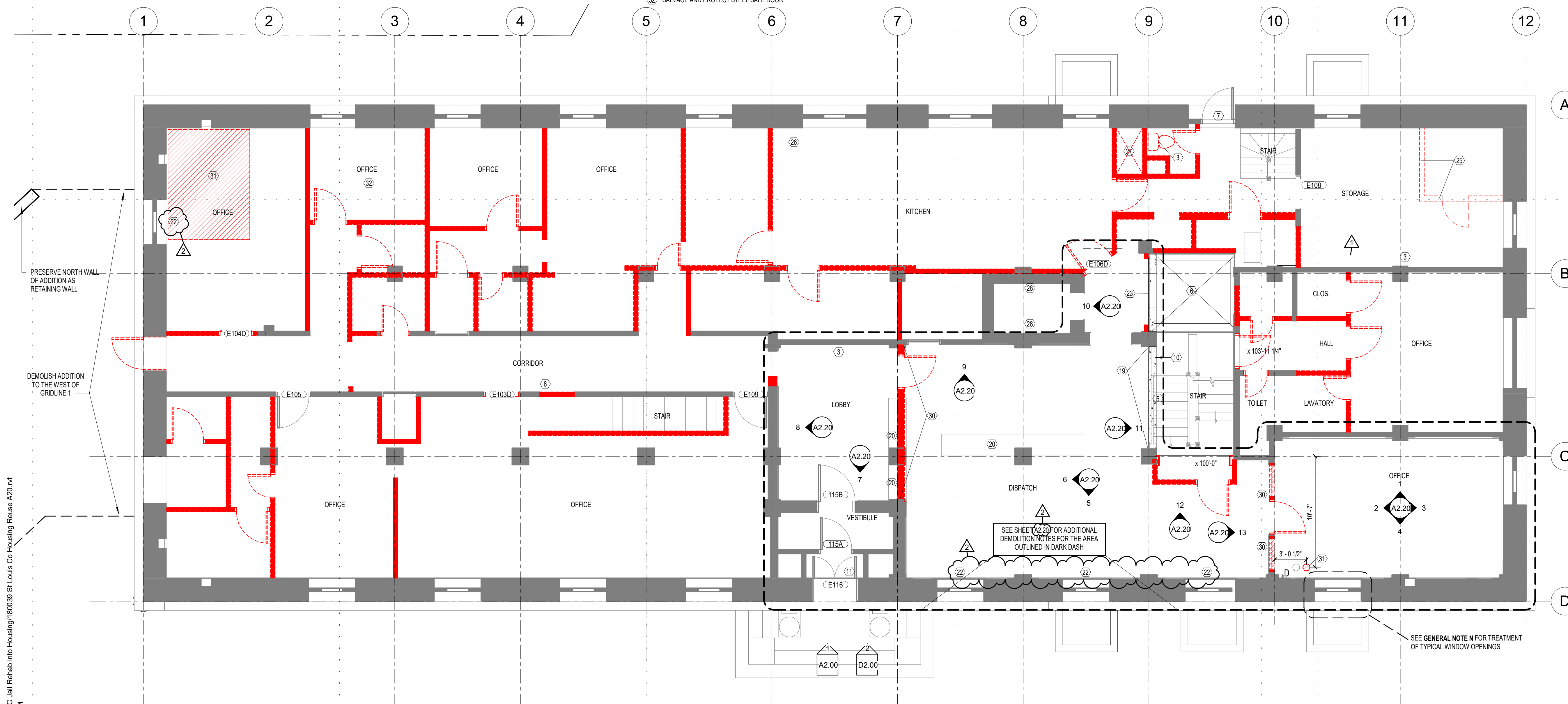
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- 4 REMOVE CASEWORK
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1 FIRST FLOOR - EXISTING AND DEMO
3/16" = 1'-0"

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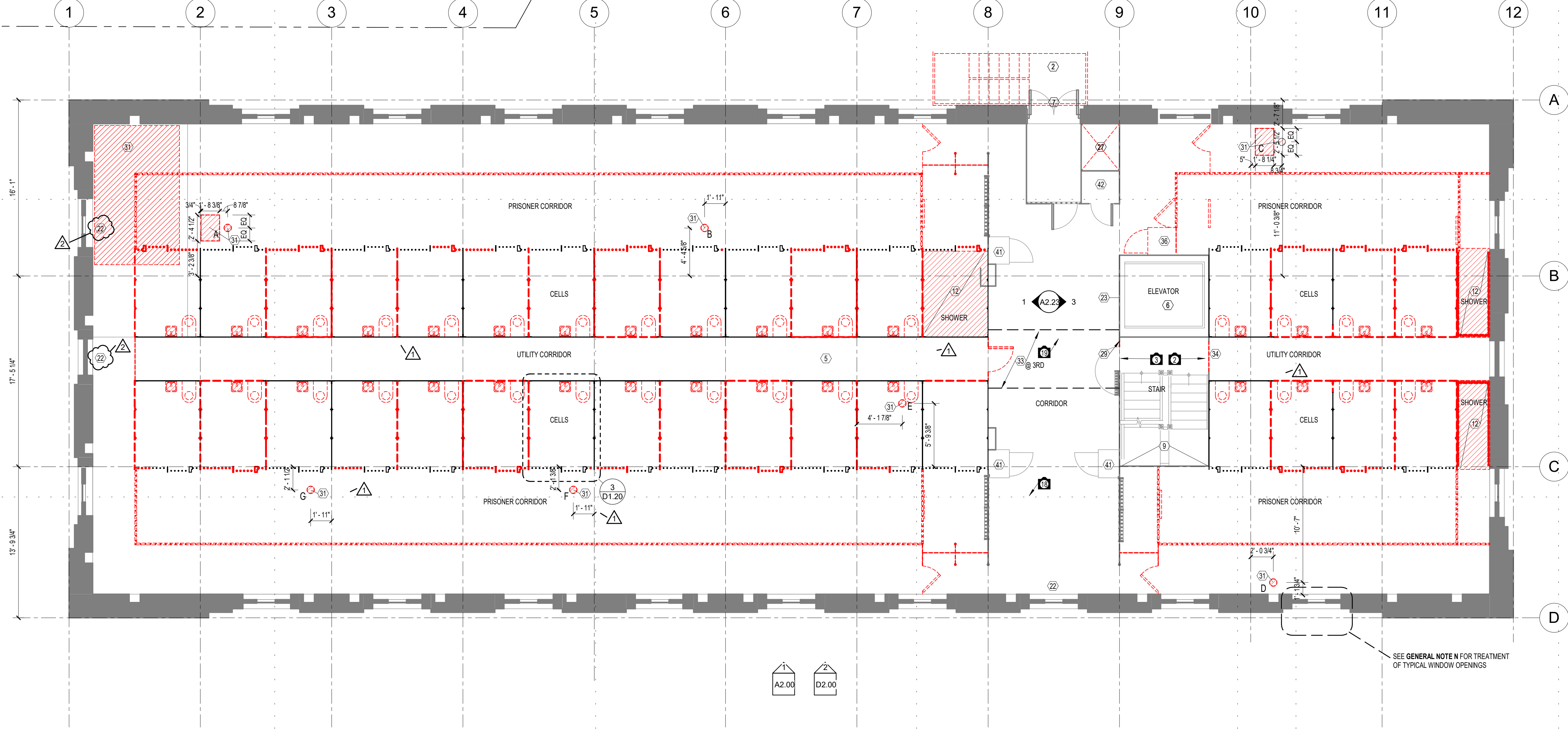
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3 2ND/3RD FLOOR - TYP. CELL DEMO
1/4" = 1'-0"

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1 SECOND FLOOR PLAN (3RD FLOOR SIM.) - EXISTING AND DEMO
3/16" = 1'-0"



PERFORMANCE DRIVEN DESIGN.
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Signature: *Andrew Madson*
 Typed or Printed Name: **ANDREW MADSON**
 Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

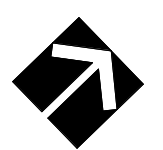
**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
SECOND AND THIRD FLOOR DEMO PLANS

DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

DRAWING NO:

D1.20



DEMOLITION KEYNOTES:

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1/4" = 1'-0"

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- A CONSULT ARCHITECT FOR CLARIFICATION OF INTENT IF UNCLEAR AND IF SPECIAL CONDITIONS ARE ENCOUNTERED
- B PROTECT MATERIALS TO REMAIN
- C SEE SITE DEMOLITION PLAN FOR ADDITIONAL DEMO WORK
- D COORDINATE DEMOLITION WITH REHAB & NEW CONSTRUCTION
- E REMOVE AND CAP MECHANICAL, PLUMBING, FIRE PROTECTION DEVICES, AND DISTRIBUTION SYSTEMS - SEE MECH. PLANS FOR SYSTEMS TO REMAIN
- F REMOVE ALL ELECTRICAL DEVICES AND DISTRIBUTION SYSTEMS - SEE ELEC. PLANS FOR SYSTEMS TO REMAIN
- G REMOVE FLOOR COVERINGS TO EXPOSE CONCRETE WITH EXCEPTION TO HISTORIC STAIRS.
- H ALL TERRAZZO FLOORING AT FIRST FLOOR TO REMAIN
- I REMOVE MISC. MECHANICAL, ELECTRICAL AND PLUMBING EQUIP. NOT NOTED TO REMAIN - PROTECT OPENINGS
- L REMOVE ALL EXISTING WINDOWS UNO. SEE WINDOW SCHEDULE AND DETAILS FOR NOTES PERTAINING TO REPAIR OF WINDOWS AND FRAMES TO REMAIN.
- J REMOVE ALL ACOUSTICAL CEILING TILE SUSPENDED CEILINGS. PLASTER SUSPENDED CEILINGS TO REMAIN.
- K ALL DOOR TAGS WITH A PREFIX OF 'E' ARE EXISTING DOORS THAT SHALL REMAIN OR BE SALVAGED AND REUSED IN A NEW LOCATION
- L REMOVE ALL RADIATORS
- M AT HISTORIC STAIR, PRESERVE ANY EXISTING LATH/PLASTER THAT IS FIXED TO BOTTOM OF STEEL STAIR RUNS AND SILL
- N REMOVE GLASS BLOCK, EXISTING AWNING OR CASEMENT WINDOWS, LOUVERS, SWINGING INTERIOR SCREENS OR SWINGING INTERIOR GLASS DOORS AND BARS FROM ALL WINDOW/DOOR OPENINGS U.N.O. NOTE: ALL OPENINGS DO NOT CONTAIN ALL OF THESE ITEMS. SEE NOTES ON A5.31 ABOUT RETAINING BOTTOM LEVEL OF BARS AT DWELLING UNIT WINDOWS AT FLOORS 2-4 AND 1ST FLOOR EAST ELEVATION OPENINGS
- O VERIFY DIMENSIONAL EXTENTS OF ALL SHAFT OPENING THROUGH FLOORING AS REMAINS WITH MECHANICAL DESIGN REQUIREMENTS



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CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"x1/2"
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NOTE: THIS SHEET IS TO BE PRINTED IN COLOR TO READ CORRECTLY

NO	DATE	ISSUED FOR
1/10/20	100% CONSTRUCTION DOCUMENTS	
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
		REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: **ANDREW MADSON**
Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
FOURTH FLOOR DEMO PLAN

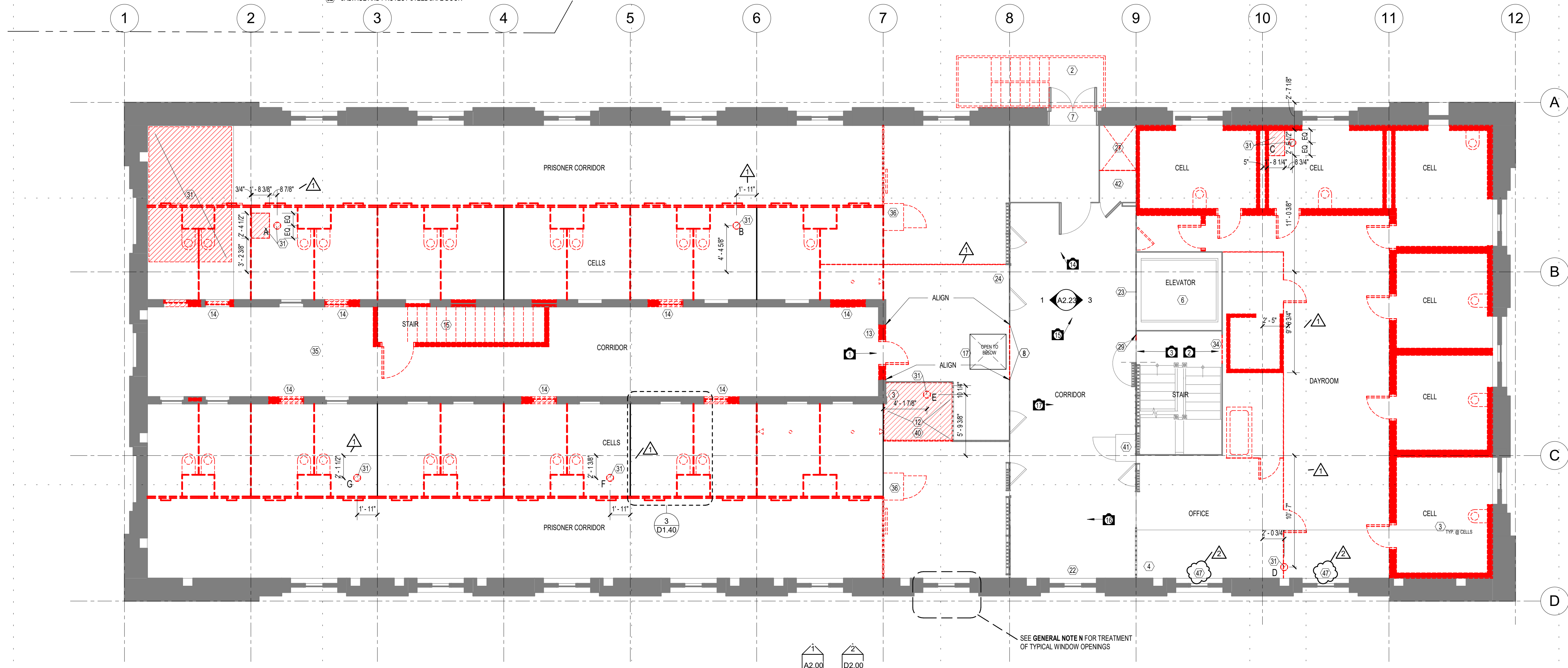
DRAWN BY: Author
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PROJ. NO: 180039

DRAWING NO:

D1.40

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11/9/2021 4:45:59 PM

1 FOURTH FLOOR PLAN - EXISTING AND DEMO
3/16" = 1'-0"



BUILDING PLAN KEY NOTES:

- 1 INFILL FLOOR AREA HATCHED
- 2 INFILL TUNNEL ENTRY WITH MASONRY
- 3 PROVIDE NEW STEEL STAIR
- 4 FILL BOTTOM OF AREA WELL WITH 4" OF ROCK MULCH. REMOVE EXISTING MATERIAL AS NECESSARY FOR T.O. MULCH TO BE 6" BELOW SILL
- 5 PROVIDE NEW PIPE HANDRAILS AT EACH SIDE OF EXIST. RAMP
- 6 ELECTRICAL GEAR EQUIPMENT
- 7 INFILL WALL OPENING WITH NEW WALL TO MATCH ADJACENT
- 8 FIX EXIST. DOOR IN CLOSED POSITION
- 9 FIX EXIST. DOOR IN FULLY OPEN/180 DEGREE POSITION
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- 12 FIRE ALARM PANEL LOCATION
- 13 ALIGN WALL W/ BEAM EDGE ABOVE
- 14 25" DEEP PLAM FOLDING COUNTER, WORK SURFACE TO ALIGN WITH WINDOW SILL
- 15 NEW MAKE-UP AIR UNIT
- 16 DUMPSTER LOCATIONS, NIC
- 17 2x4 SKYLIGHT LOCATION ABOVE, SKYLIGHT TO BE CENTERED ON THE PRECAST PLANK EDGE JOINTS, SEE STRUCTURAL

- 18 INSTALL STEEL STAIR, LANDING AND ACCESS DOOR
- 19 INSTALL NEW DRAFT CURTAIN AND TIGHTLY SPACED SPRINKLERS
- 20 INFILL OPENING WITH 4" CMU MASONRY
- 21 NEW 2 HR. MECHANICAL SHAFT, FOR SHAFT OPENING REQUIREMENTS SEE A4.20
- 22 REPAIR ALL PLASTER WORK
- 23 REMOVE PAINT FROM TRANSOM GLASS, FIX TRANSOM IN CLOSED POSITION, LOCATE SPRINKLER HEAD AT TRANSOM
- 24 RESTORE EXIST. HISTORIC DOOR
- 25 MECHANICALLY FASTEN TO THE WALL A SINGLE LEAF FROM THE SALVAGED ELEVATOR DOORS NOT USED
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x 90'-XX" = INDICATES FLOOR LEVEL SPT ELEVATIONS

GENERAL SHEET NOTES

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 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
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 3. SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.
- # ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



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2	11/11/2021	ASI 1 REVISION

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Signature: *Andrew Madson*
 Typed or Printed Name: ANDREW MADSON
 Date: 1/10/20 Reg. No.: 50555

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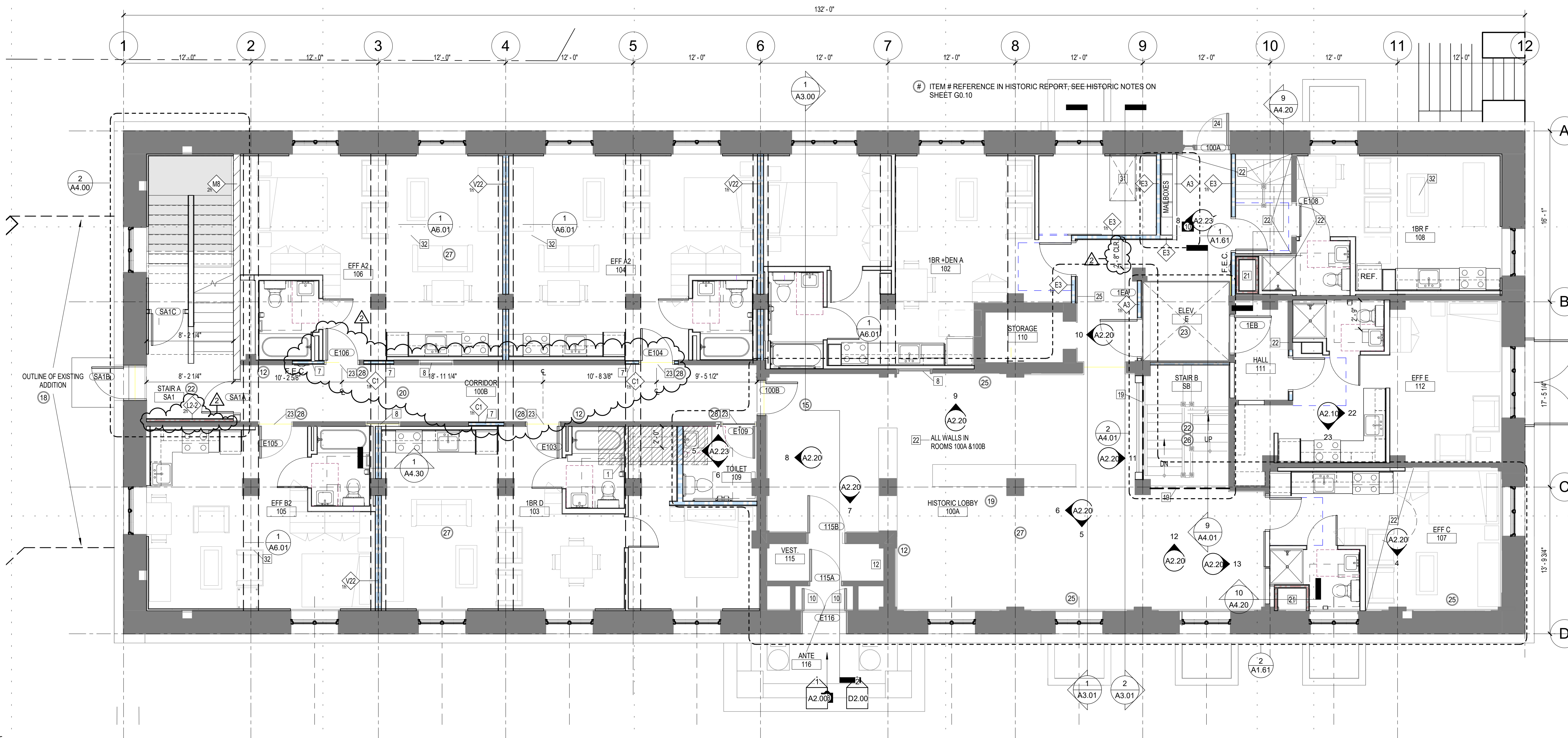
PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

DRAWING NO: **A1.10**



1 FIRST FLOOR PLAN
3/16" = 1'-0"

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1	7/12/2021	ADDENDUM 1

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Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
SECOND AND THIRD FLOOR PLANS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO:

A1.20

BUILDING PLAN KEY NOTES:

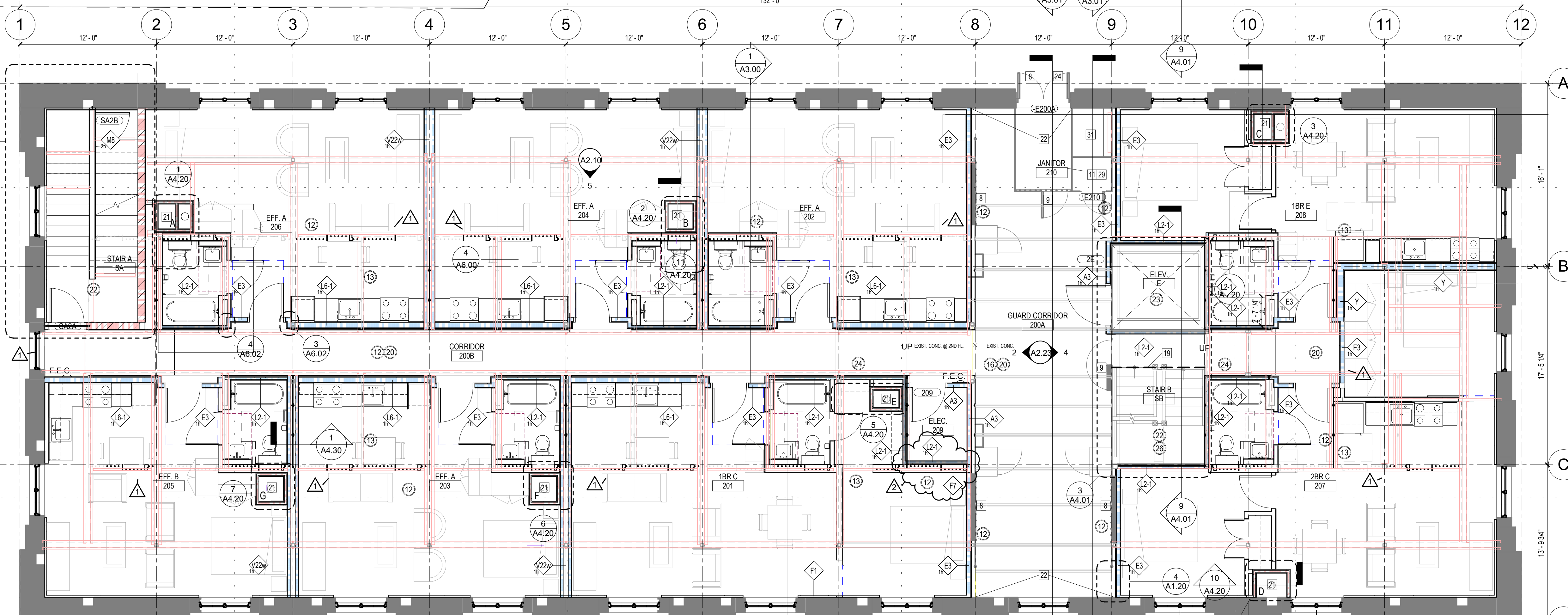
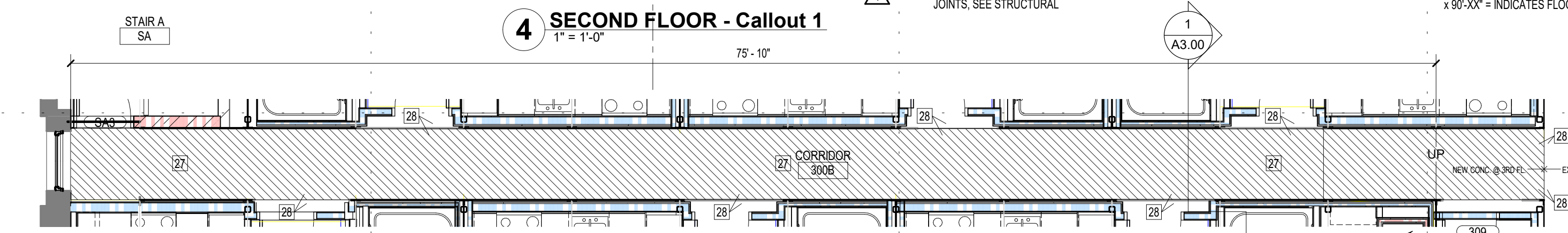
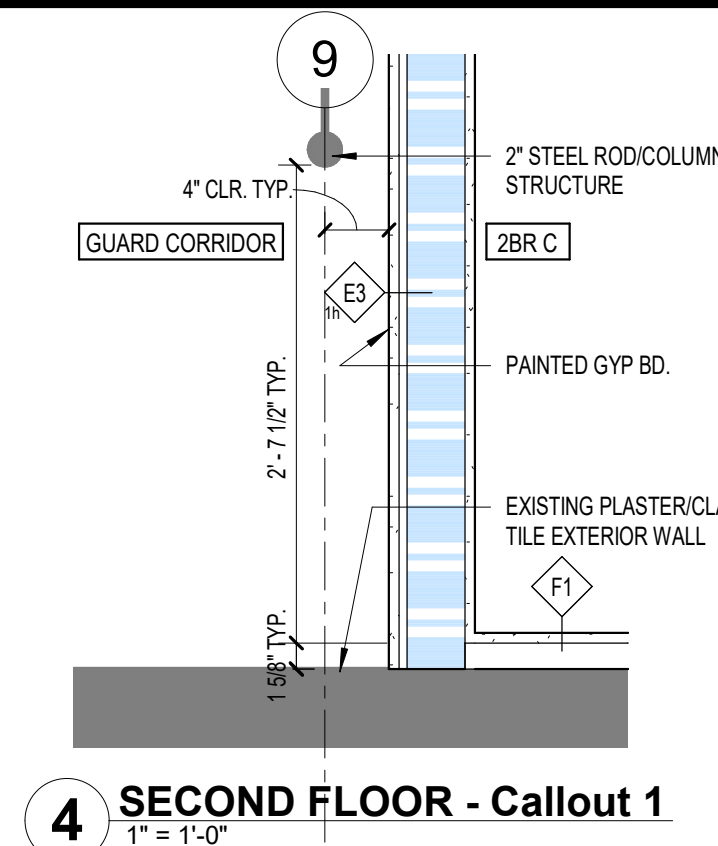
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- 16 DUMPSTER LOCATIONS, NIC
- 17 2'x4' SKYLIGHT LOCATION ABOVE, SKYLIGHT TO BE CENTERED ON THE PRECAST PLANK EDGE JOINTS, SEE STRUCTURAL

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x 90'-00" = INDICATES FLOOR LEVEL SPOT ELEVATIONS

GENERAL SHEET NOTES

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- # ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



1 SECOND FLOOR PLAN (THIRD FLOOR SIM.)
3/16" = 1'-0"

NOTE: ALL ROOM AND DOOR #S @ 3RD FLOOR ARE THE SAME AS 2ND FLOOR WITH A PREFIX OF 3

BIM 360/180039 St. Louis County Jail Rehab into Housing/180039 St. Louis Co Housing Reuse A20.rvt 11/9/2021 5:38:48 PM

BUILDING PLAN KEY NOTES:

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CLIENT:
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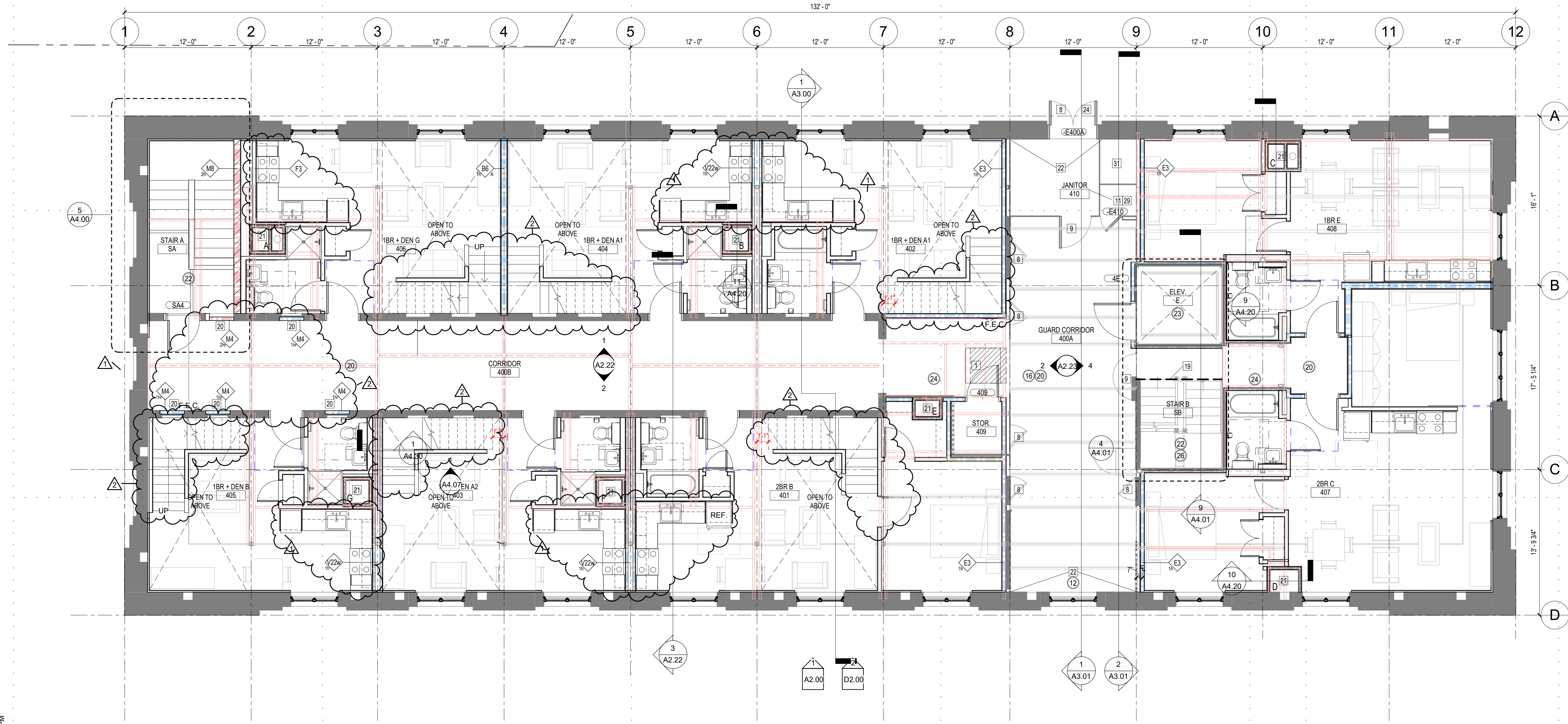
PROJECT NAME:
The Burnham - Historic St. Louis County Jail

**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
FOURTH FLOOR PLAN

DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

DRAWING NO: **A1.40**



1 FOURTH FLOOR PLAN
3/16" = 1'-0"

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BUILDING PLAN KEY NOTES:

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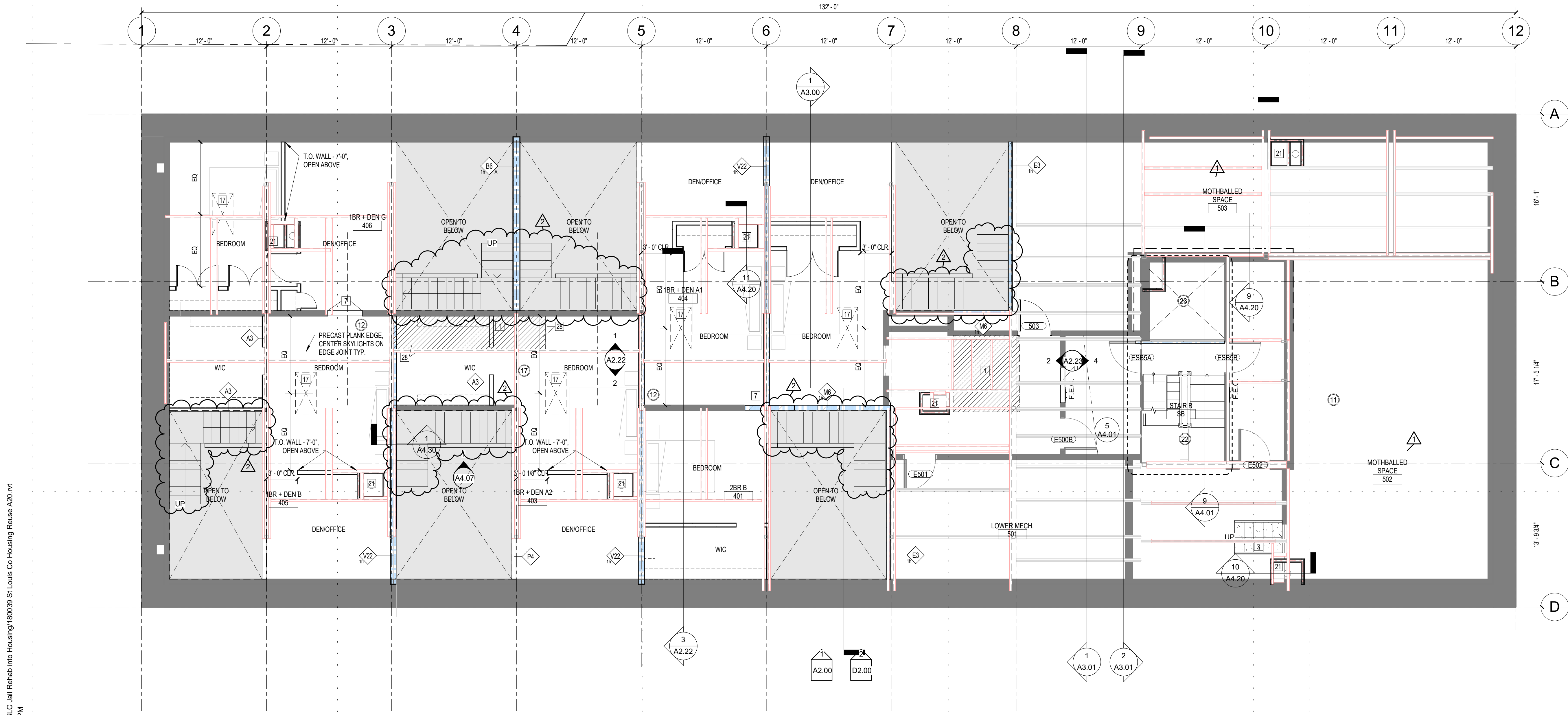
PROJECT NAME:
The Burnham - Historic St. Louis County Jail

**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
FIFTH FLOOR PLAN

DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

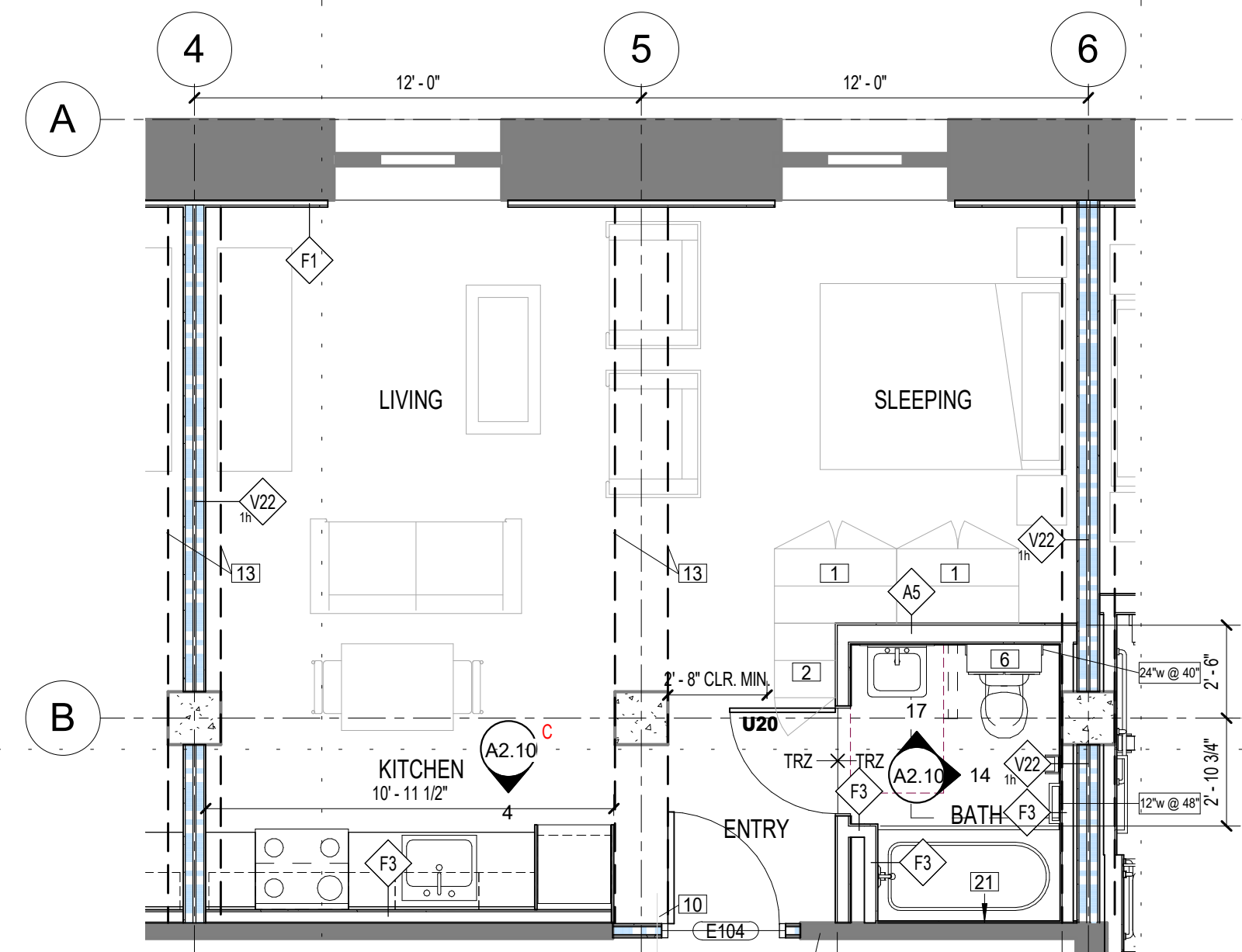
DRAWING NO: **A1.50**



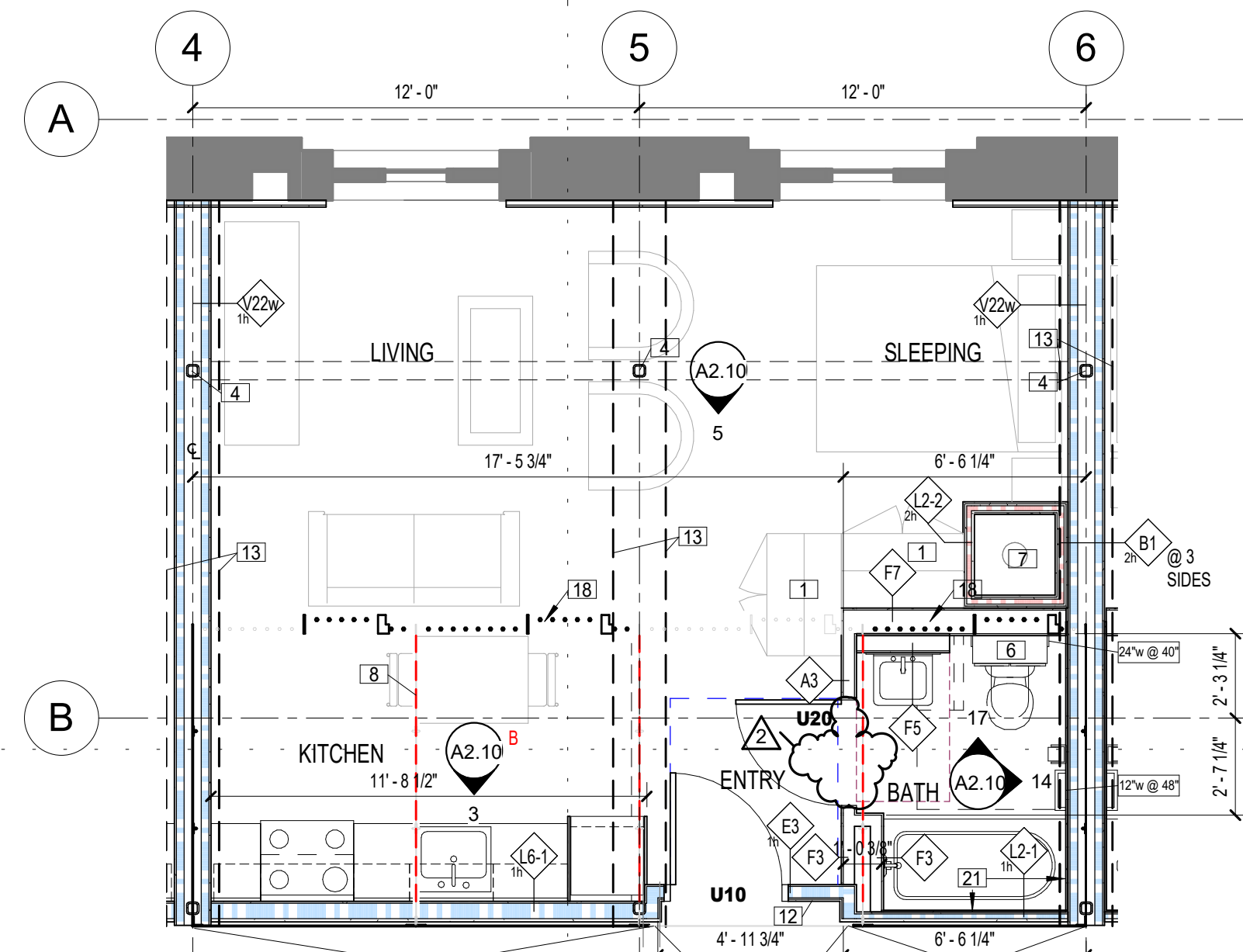
1 FIFTH FLOOR PLAN
3/16" = 1'-0"

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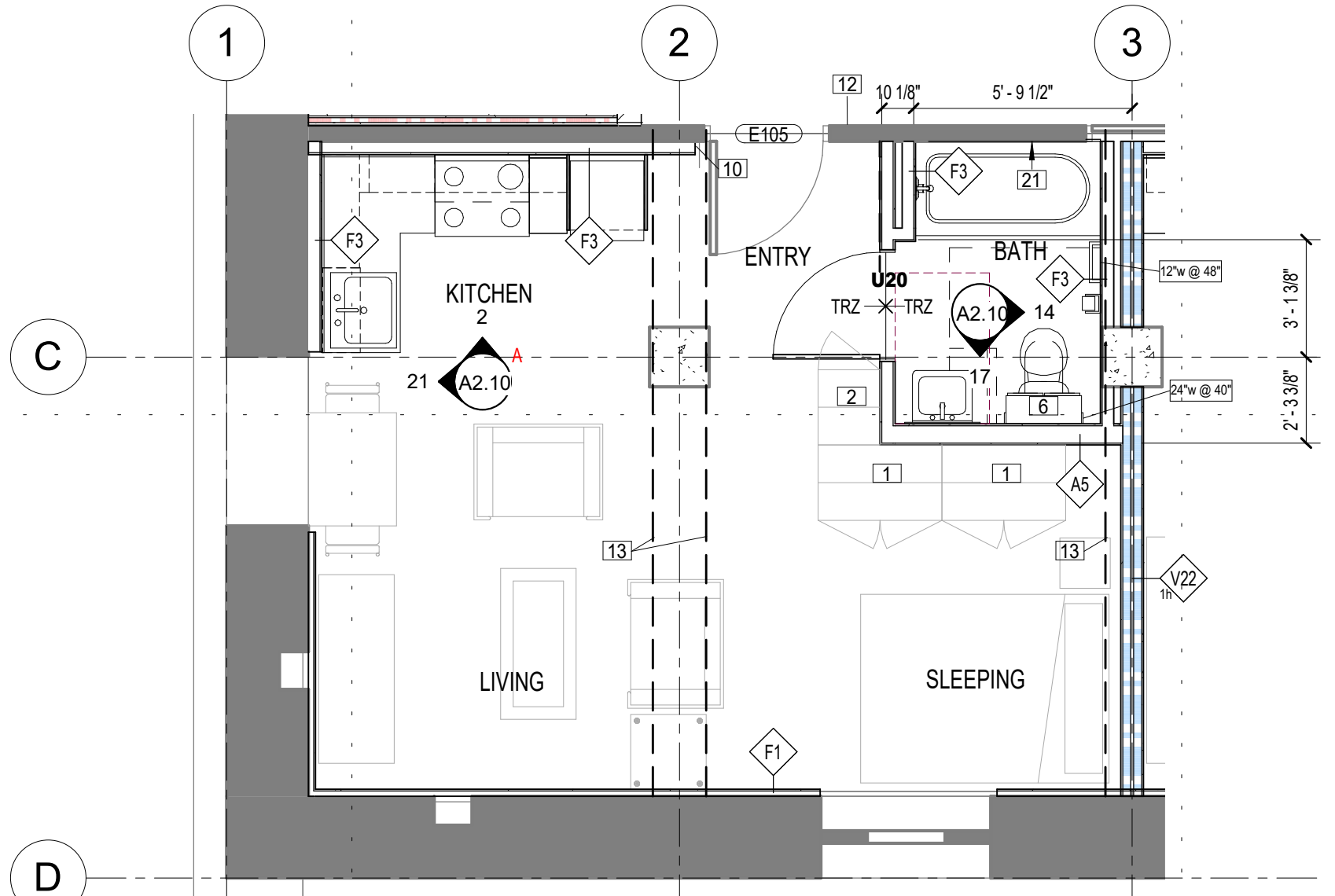
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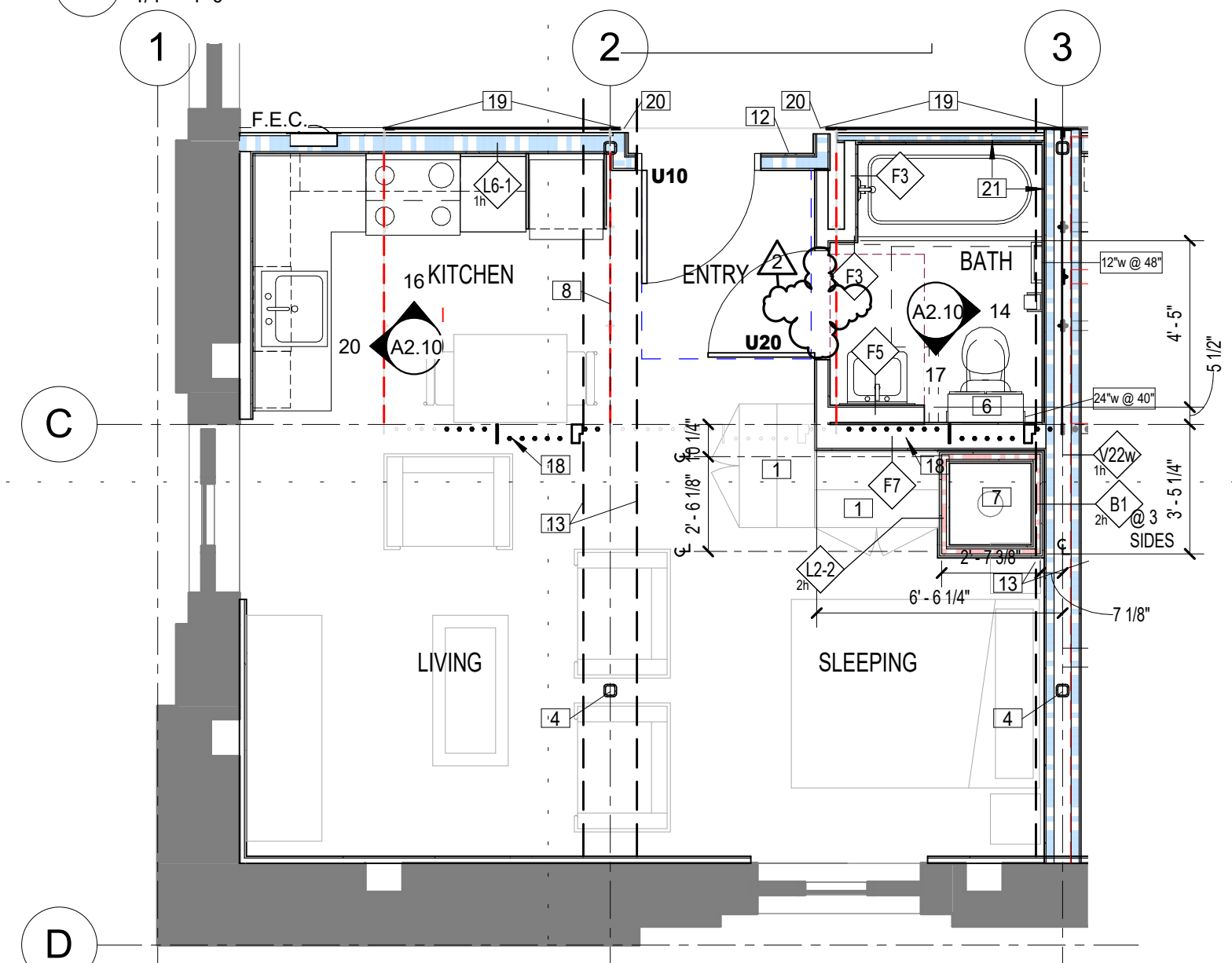
4 EFF A2 (UNITS #104, #106)
1/4" = 1'-0"



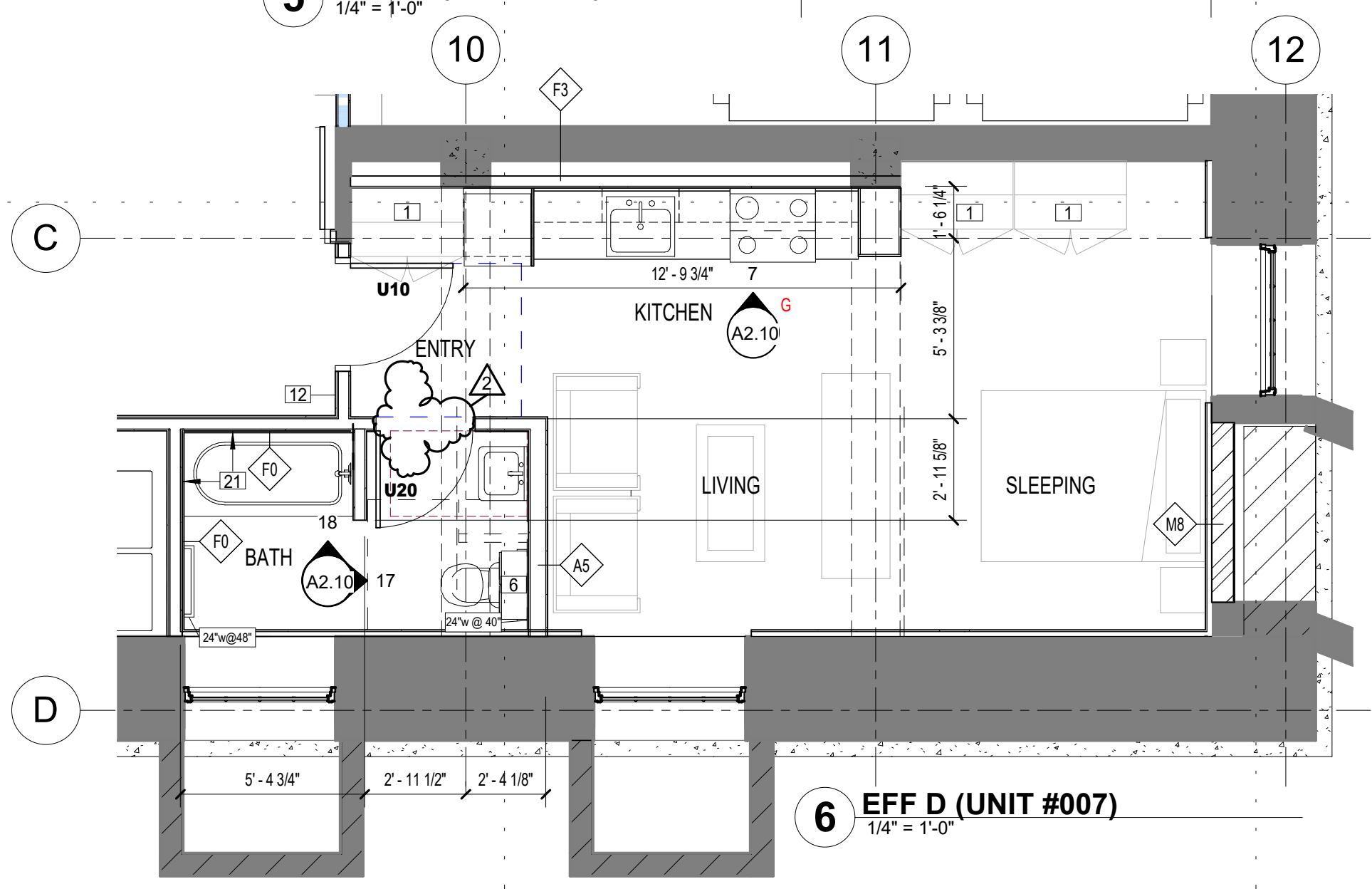
1 EFF A (UNITS #202, #302, #203, #303, #204, #304, #206, #306)
1/4" = 1'-0"



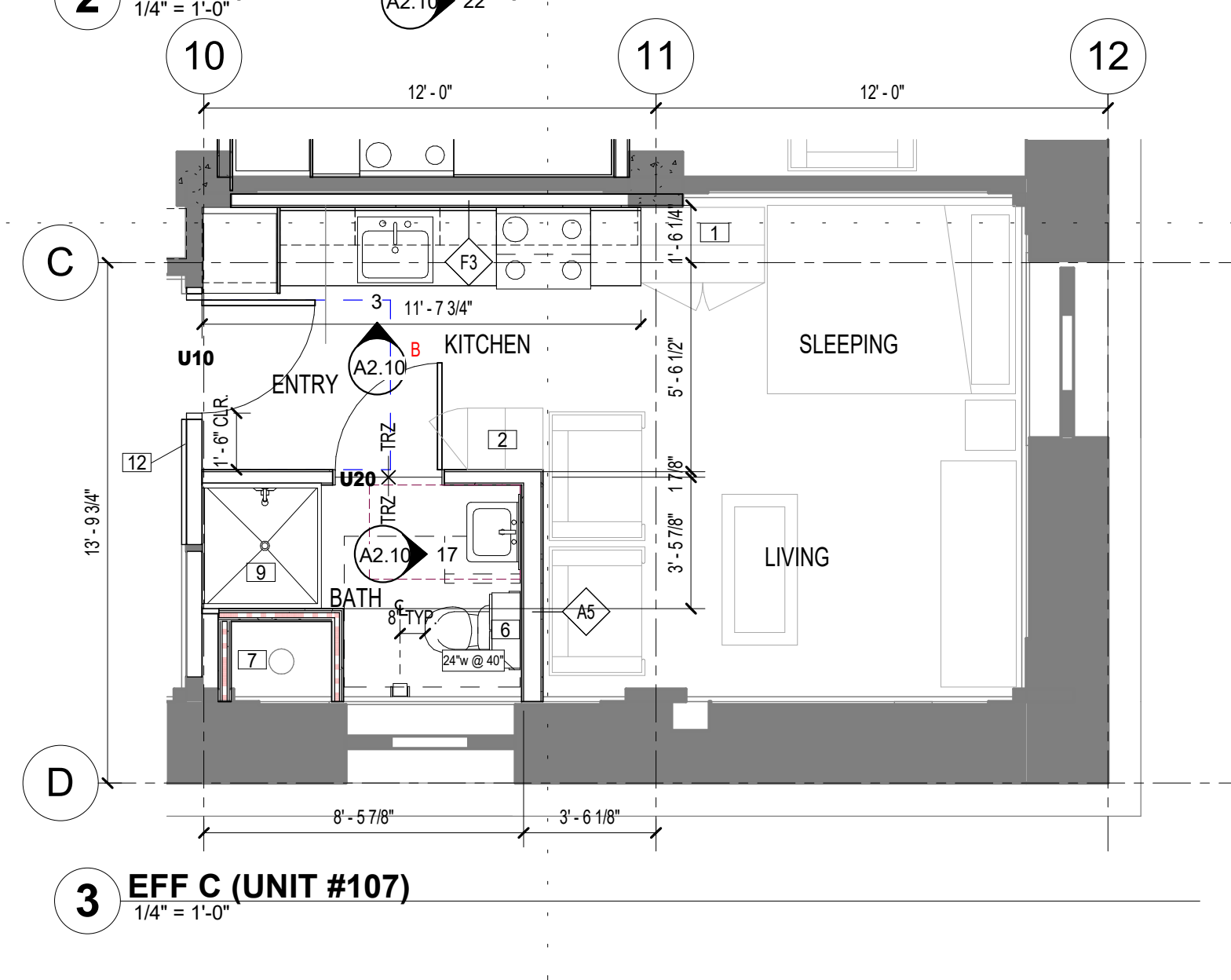
5 EFF B2 (UNIT #105)
1/4" = 1'-0"



2 EFF B (UNITS #205, #305)
1/4" = 1'-0"



6 EFF D (UNIT #007)
1/4" = 1'-0"



3 EFF C (UNIT #107)
1/4" = 1'-0"

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 - GENERAL PUBLIC STAIR NOTES
 - GENERAL CUTTING AND PATCHING NOTES
- SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.

ITEM # REFERENCE IN HISTORIC REPORT. SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

UNIT PLAN KEY NOTES:

- 39-3/8" x 93-1/8" x 22-7/8" IKEA PAX FREESTANDING CLOSET SYSTEM
- 19-3/8" x 93-1/8" x 22-7/8" IKEA PAX FREESTANDING CLOSET SYSTEM
- CLOSET HANGING ROD AND SHELF, SEE 4 / A6.01
- NEW STRUCTURAL COLUMN/SEE STRUCT.
- T240012 PANTRY CABINET
- VW2430BM CABINET, SEE INTERIOR ELEVATIONS
- MECHANICAL SHAFT, SEE SHEET A4.20 AND BUILDING PLANS FOR LOCATIONS
- AT RED DASHED LINES - PLATE CUTTING AT THE FLOOR, SEE 4 / A6.00 ; PLATE CUTTING AT THE CEILING, SEE 6 / A6.00 5 / A6.00
- ACCESSIBLE ANSI A117.1 TYPE B COMPLIANT SHOWER
- CABINET END PANEL TO CAP OFF FURRED WALL
- NOT USED
- UNIT ENTRY SIGN
- OUTLINE OF CONCRETE BEAM ABOVE/BELOW
- EXISTING WINDOW AND BARS TO REMAIN EXPOSED TO THE DWELLING UNIT SIDE OF THE WALL
- NOT USED
- PARTIAL HT. WALL
- LINEN SHELVING, SEE 3 / A6.01
- STEEL BARS TO REMAIN
- EXPOSED EXISTING STEEL PLATE WALL
- NEW STEEL CORNER GUARD
- ADDITIONAL LAYER OF 5/8" GYP. BD. ON WHOLE WALL
- TOILET GRAB BARS, SEE 1 / A6.06
- TOILET GRAB BARS, SEE 1 / A6.06
- HT. ABOVE FLOOR BAR LENGTH



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701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

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1	10/20	100% CONSTRUCTION DOCUMENTS
2	11/11/2021	ASI 1 REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*

Typed or Printed Name: **ANDREW MADSON**
Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

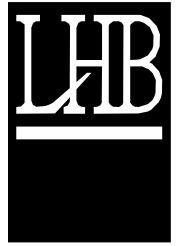
521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
UNIT PLANS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO:

A1.70



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GENERAL SHEET NOTES

- SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
 - SEE G0.10 FOR PROJECT NOTES INCLUDING:
 - GENERAL BUILDING PLAN NOTES
 - HISTORIC APPROVAL INFORMATION
 - GENERAL UNIT PLAN NOTES
 - GENERAL KITCHEN NOTES
 - GENERAL BATHROOM NOTES
 - GENERAL ELEVATOR NOTES
 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
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 - TOILET GRAB BARS, SEE 1 / A6.06
 - TOWEL BAR INFORMATION
- HT. ABOVE FLOOR
BAR LENGTH

CLIENT:
New Burnham, LLC

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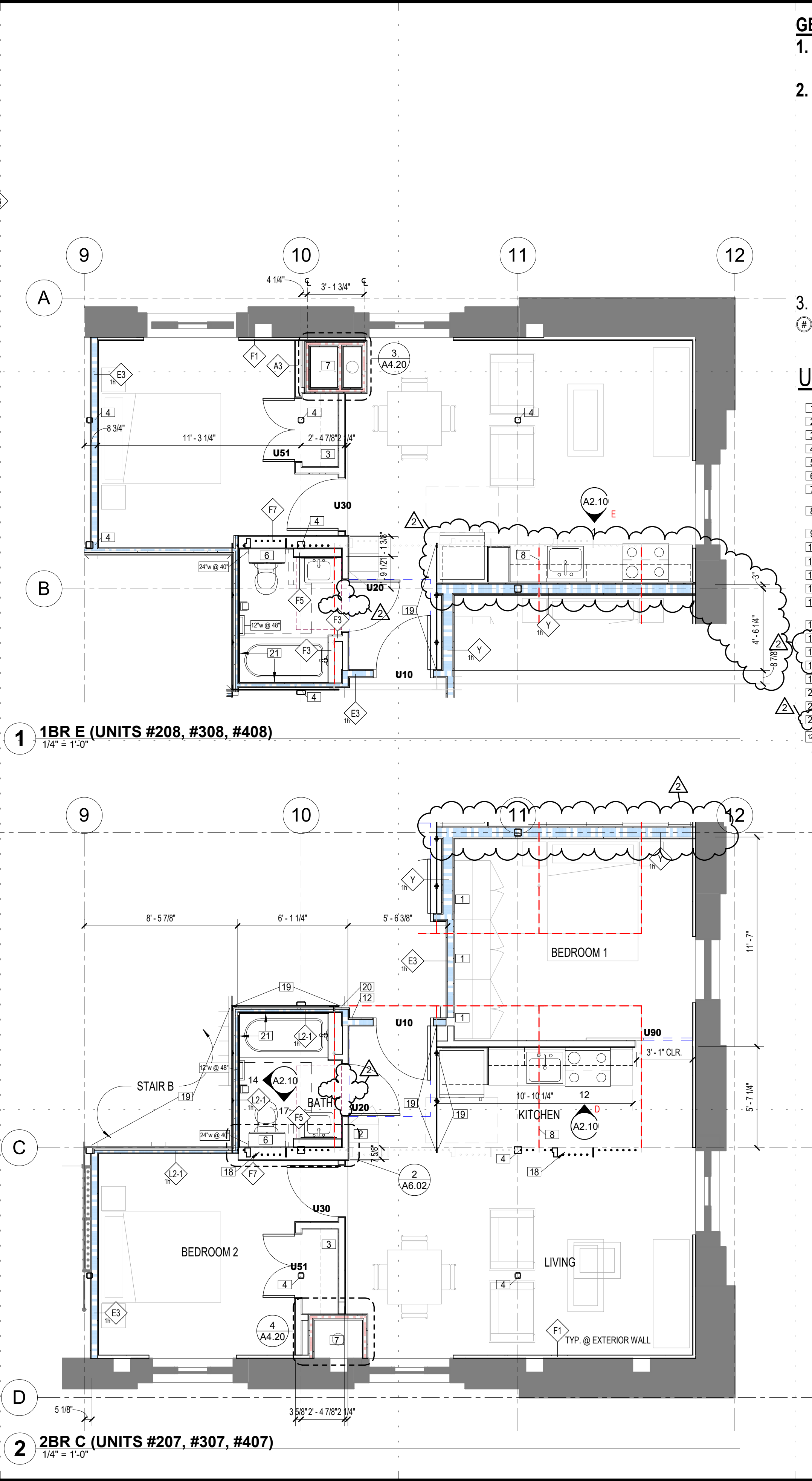
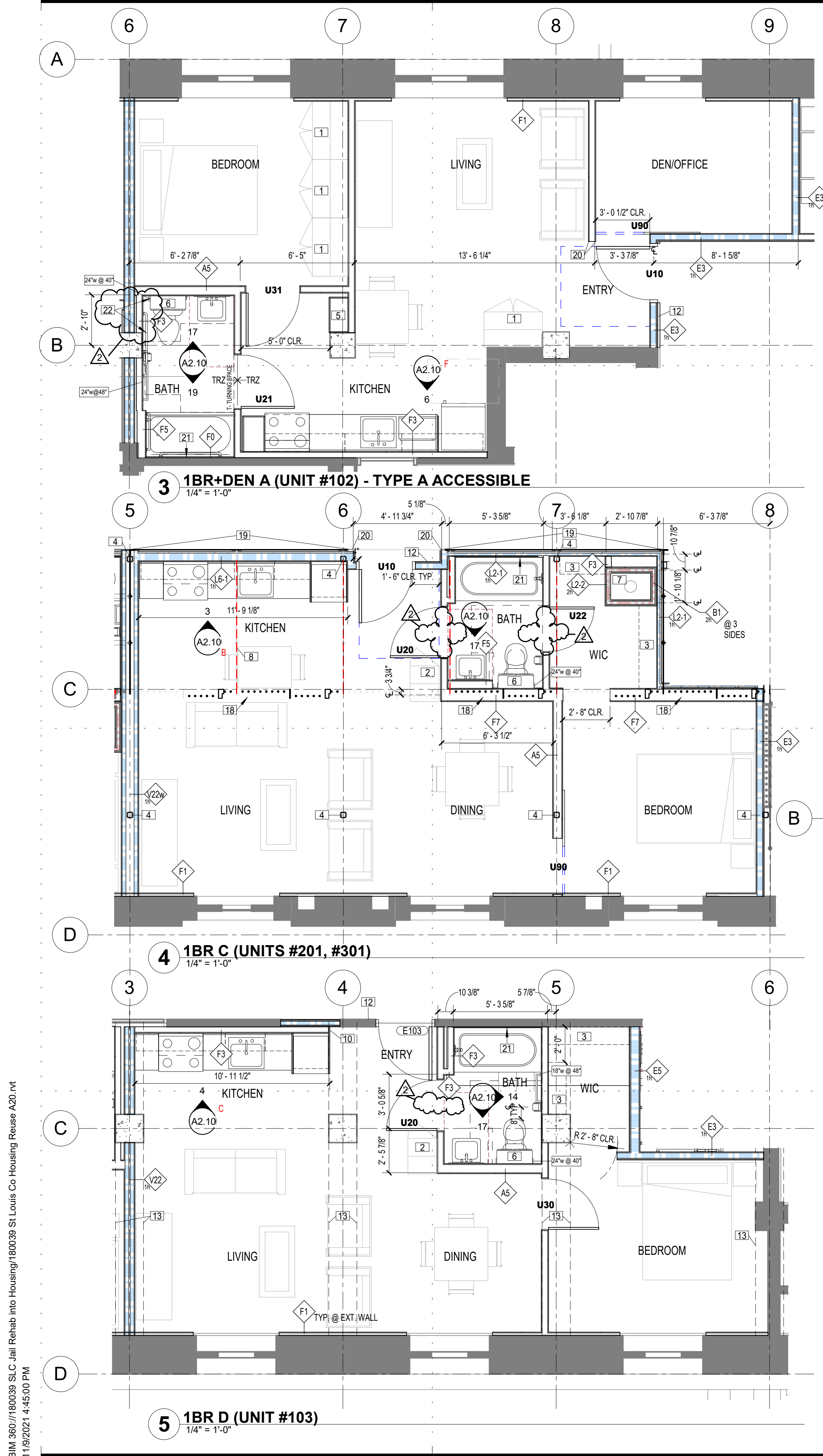
**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
UNIT PLANS

DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

DRAWING NO:

A1.71



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1	7/12/2021	ADDENDUM 1
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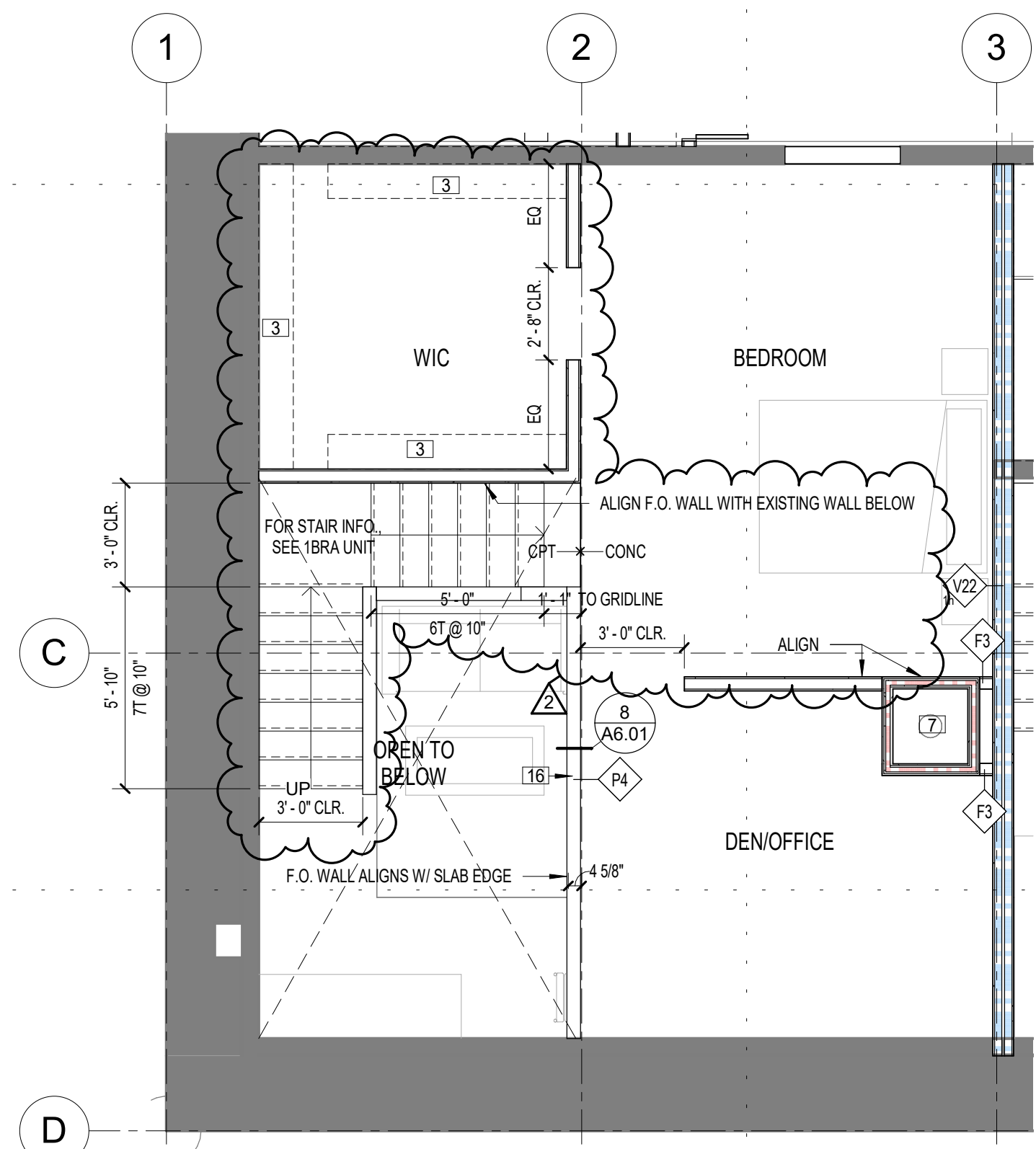
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UNIT PLAN KEY NOTES:

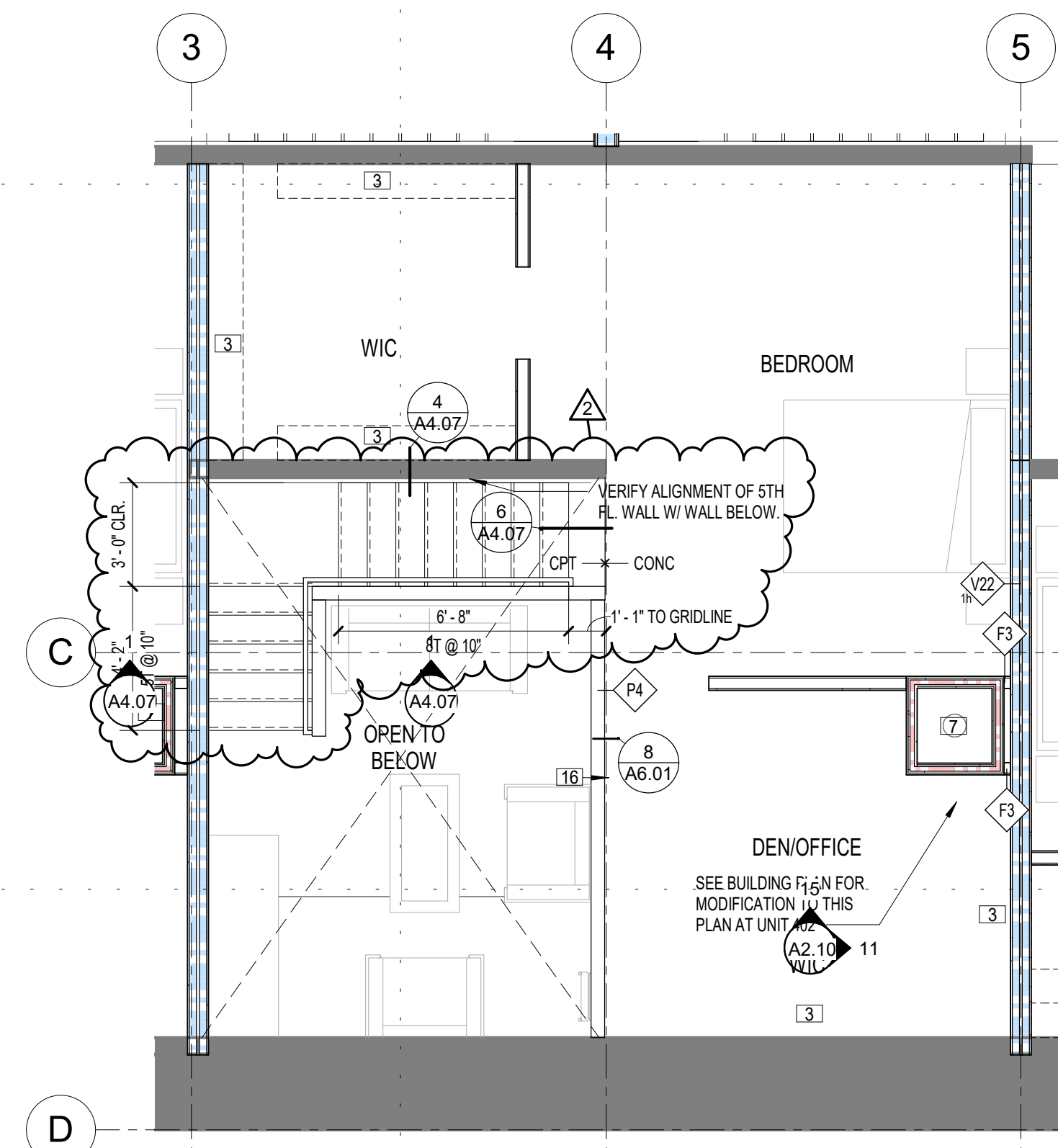
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 - 5 T249012 PANTRY CABINET
 - 6 VW2430BMI CABINET, SEE INTERIOR ELEVATIONS
 - 7 MECHANICAL SHAFT, SEE SHEET A4.20 AND BUILDING PLANS FOR LOCATIONS
 - 8 AT RED DASHED LINES - PLATE CUTTING AT THE FLOOR, SEE 4 / A6.00 ; PLATE CUTTING AT THE CEILING, SEE 6 / A6.00 5 / A6.00
 - 9 ACCESSIBLE ANSI A117.1 TYPE B COMPLIANT SHOWER
 - 10 CABINET END PANEL TO CAP OFF FURRED WALL
 - 11 NOT USED
 - 12 UNIT ENTRY SIGN
 - 13 OUTLINE OF CONCRETE BEAM ABOVE/BELOW
 - 14 EXISTING WINDOW AND BARS TO REMAIN EXPOSED TO THE DWELLING UNIT SIDE OF THE WALL
 - 15 NOT USED
 - 16 PARTIAL HT. WALL
 - 17 LINEN SHELIVING, SEE 3 / A6.01
 - 18 STEEL BARS TO REMAIN
 - 19 EXPOSED EXISTING STEEL PLATE WALL
 - 20 NEW STEEL CORNER GUARD
 - 21 ADDITIONAL LAYER OF 5/8" GYP. BD. ON WHOLE WALL
 - 22 TOILET GRAB BARS, SEE 1 / A6.06
- 12"x @ 4" = TOWEL BAR INFORMATION
HT. ABOVE FLOOR
BAR LENGTH

GENERAL SHEET NOTES

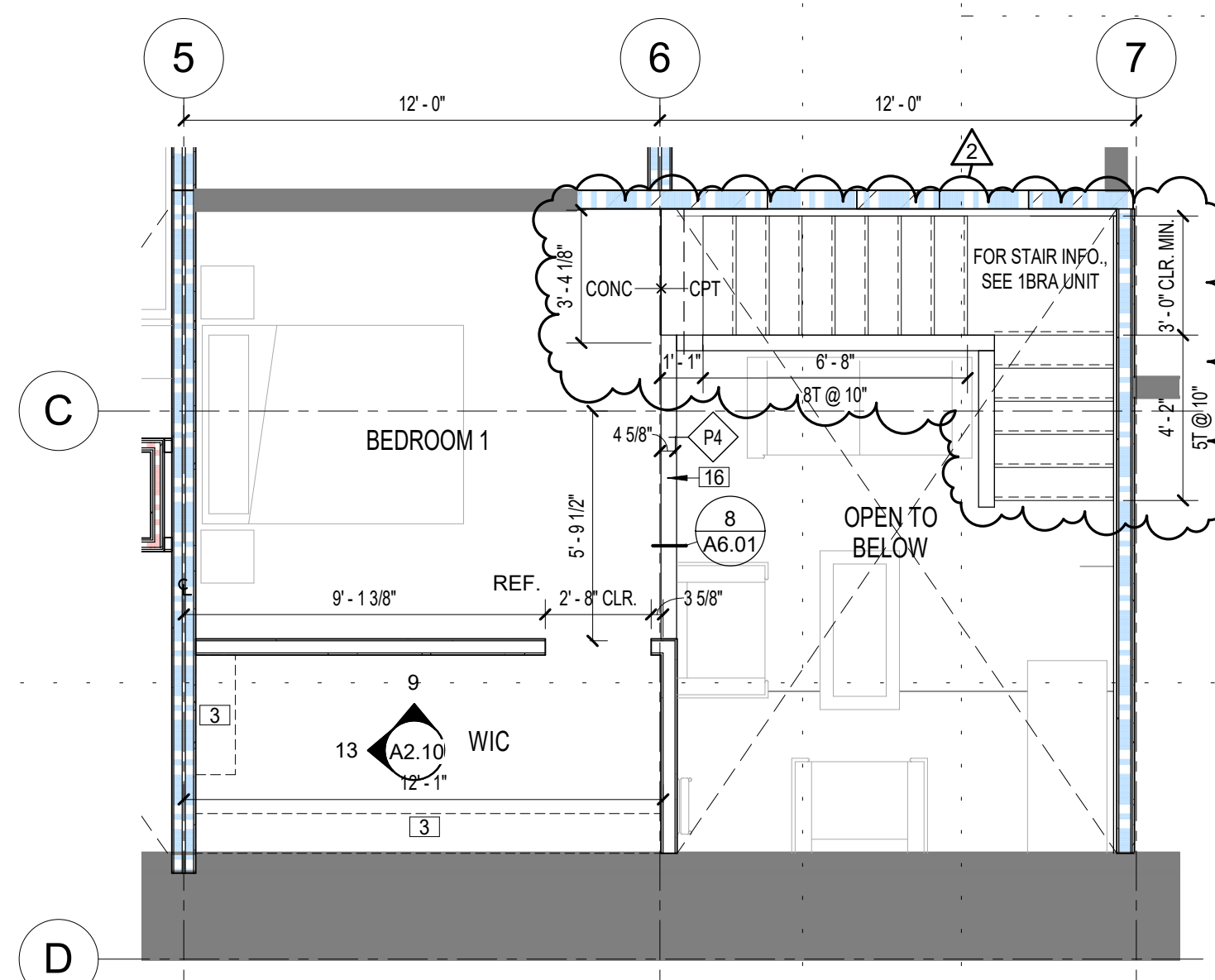
1. SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
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 3. SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.
- # ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



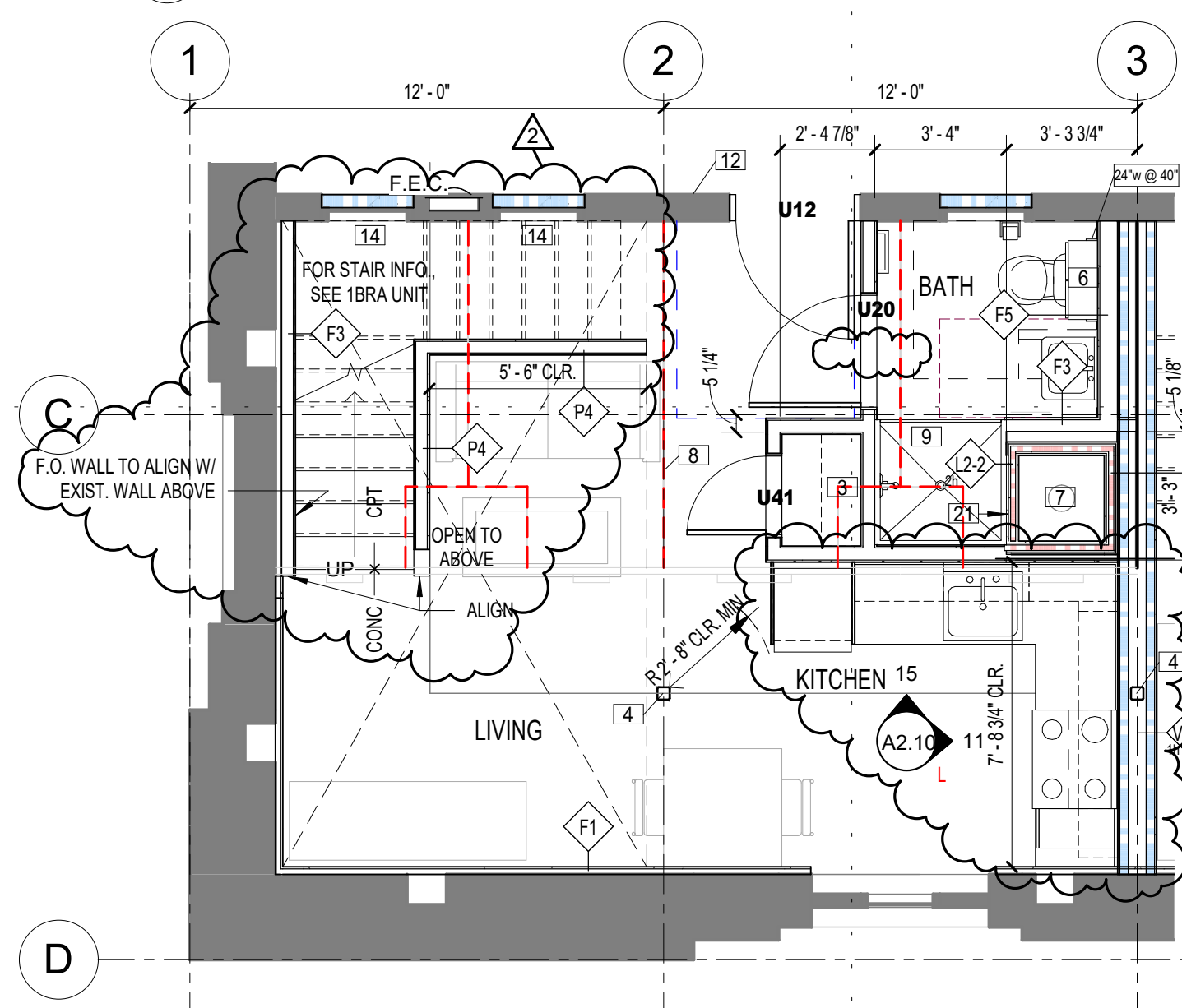
3A 1 BR B+DEN LOFT
1/4" = 1'-0"



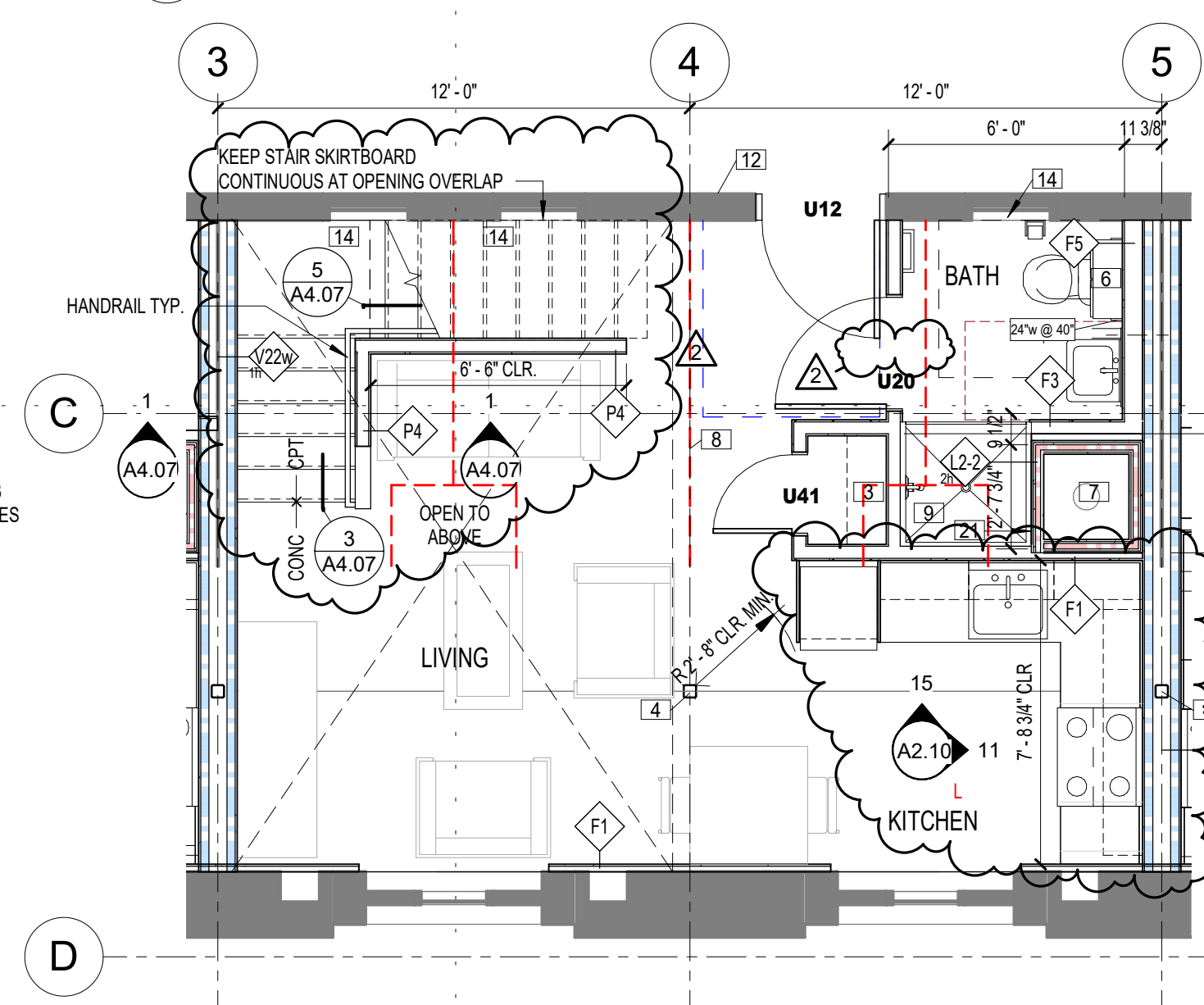
2A 1 BR A+DEN LOFT
1/4" = 1'-0"



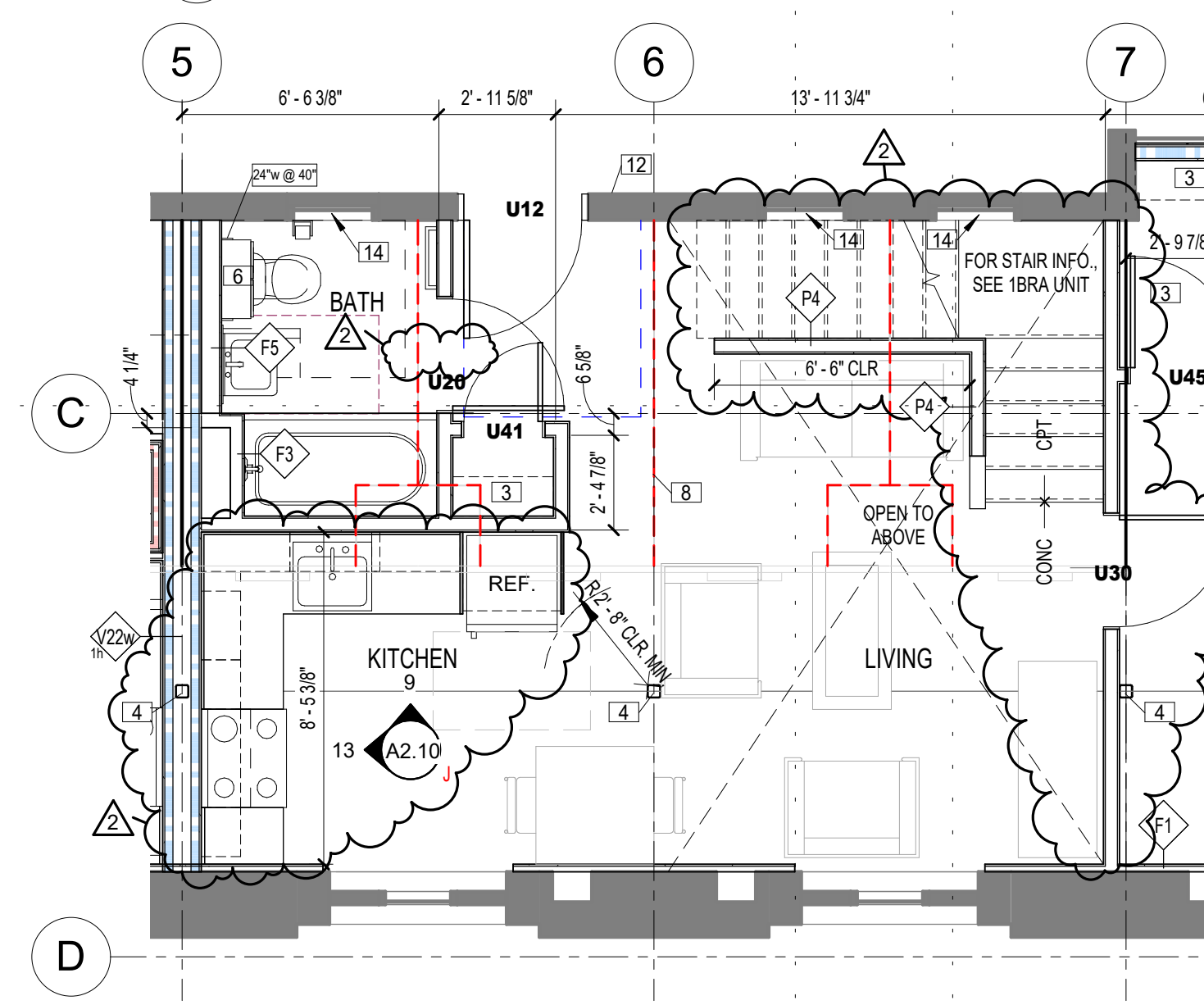
1A 2BR B LOFT
1/4" = 1'-0"



3 1BR B+DEN (UNIT #405)
1/4" = 1'-0"

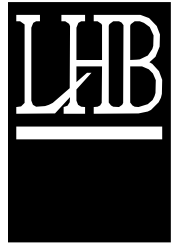


2 1BR A+DEN (UNITS #402, #403, #404)
1/4" = 1'-0"



1 2BR B (UNIT #401)
1/4" = 1'-0"

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11/9/2021 4:45:03 PM



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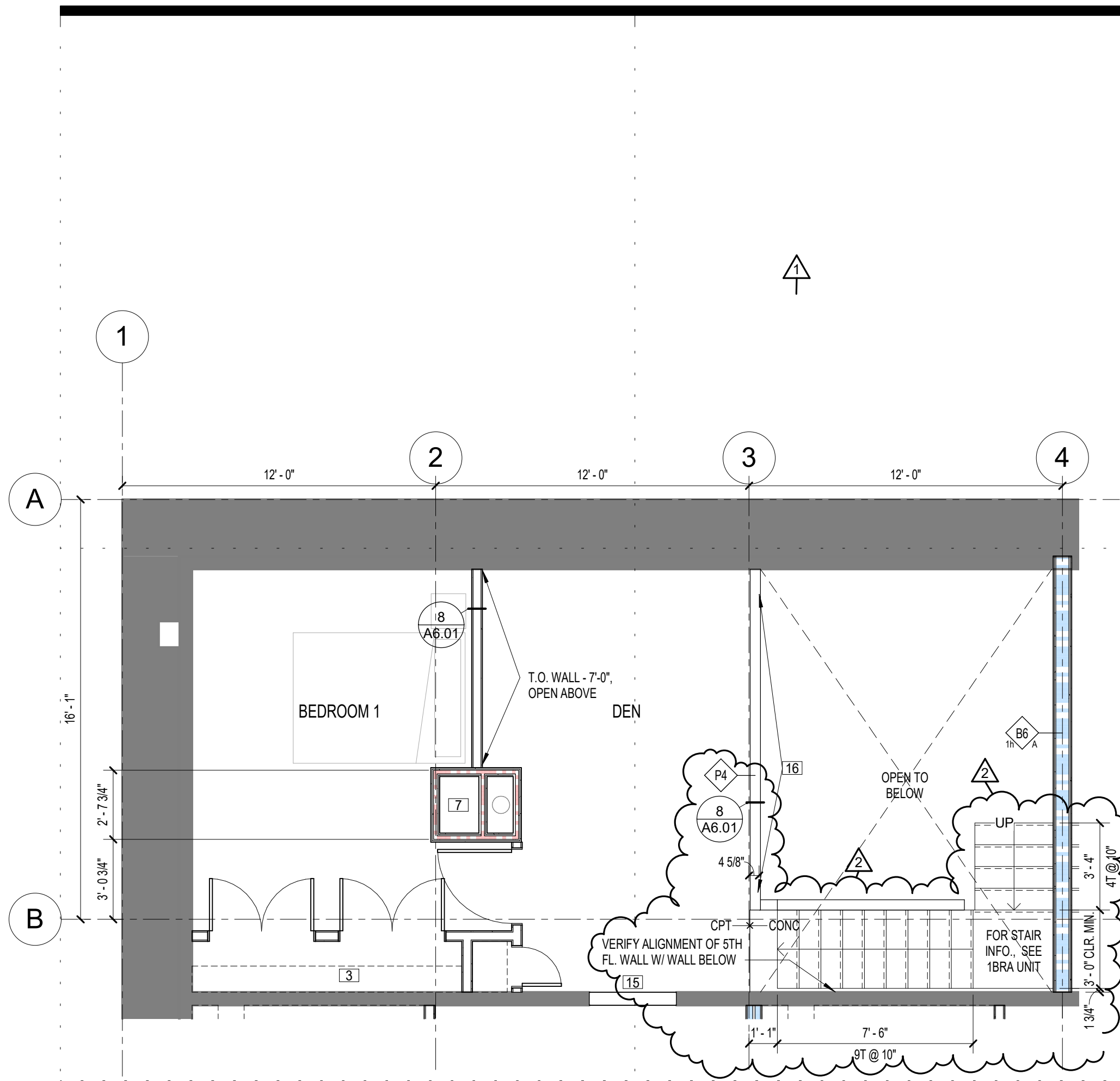
GENERAL SHEET NOTES

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 - GENERAL BATHROOM NOTES
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 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
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- SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.

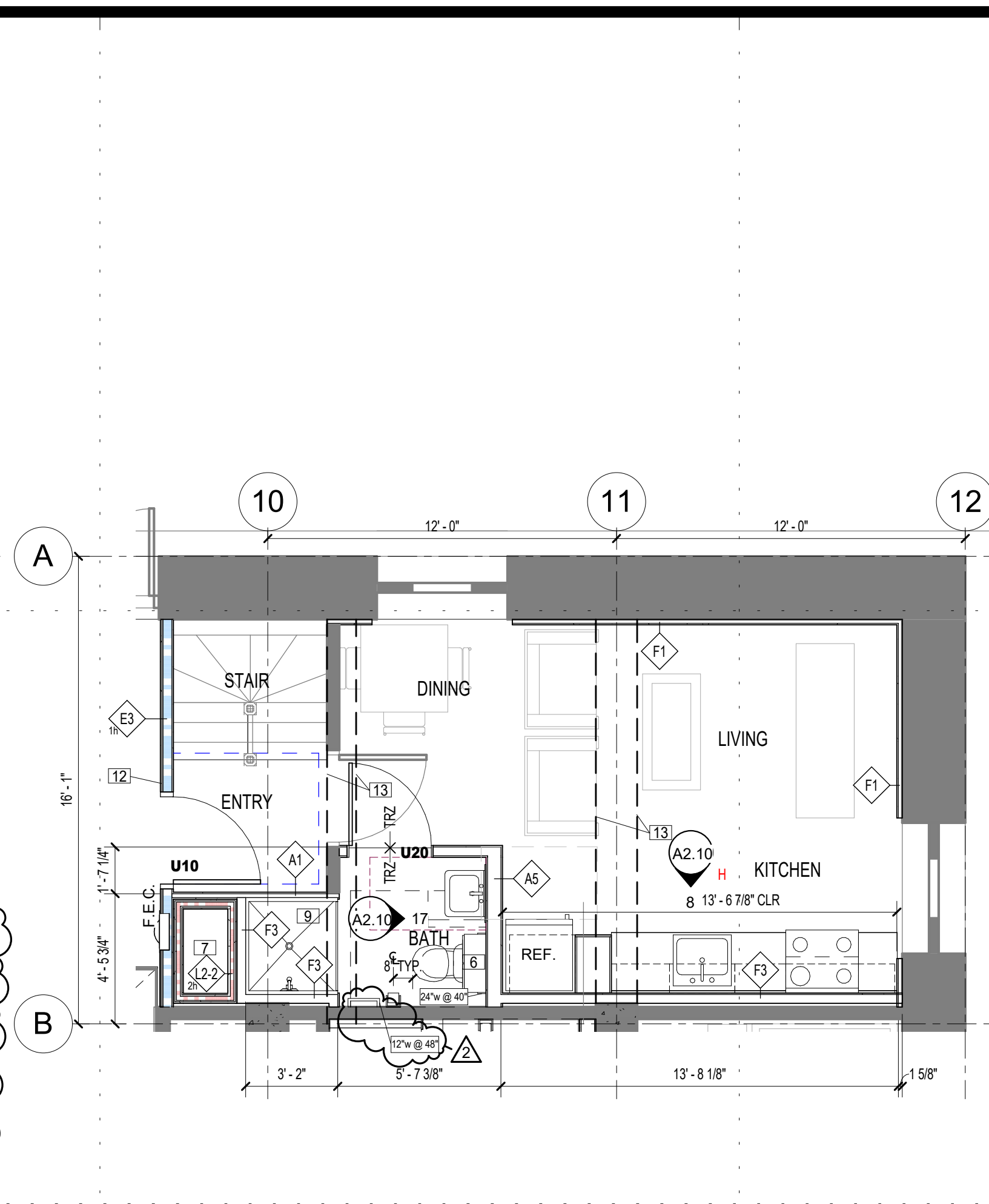
ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

UNIT PLAN KEY NOTES:

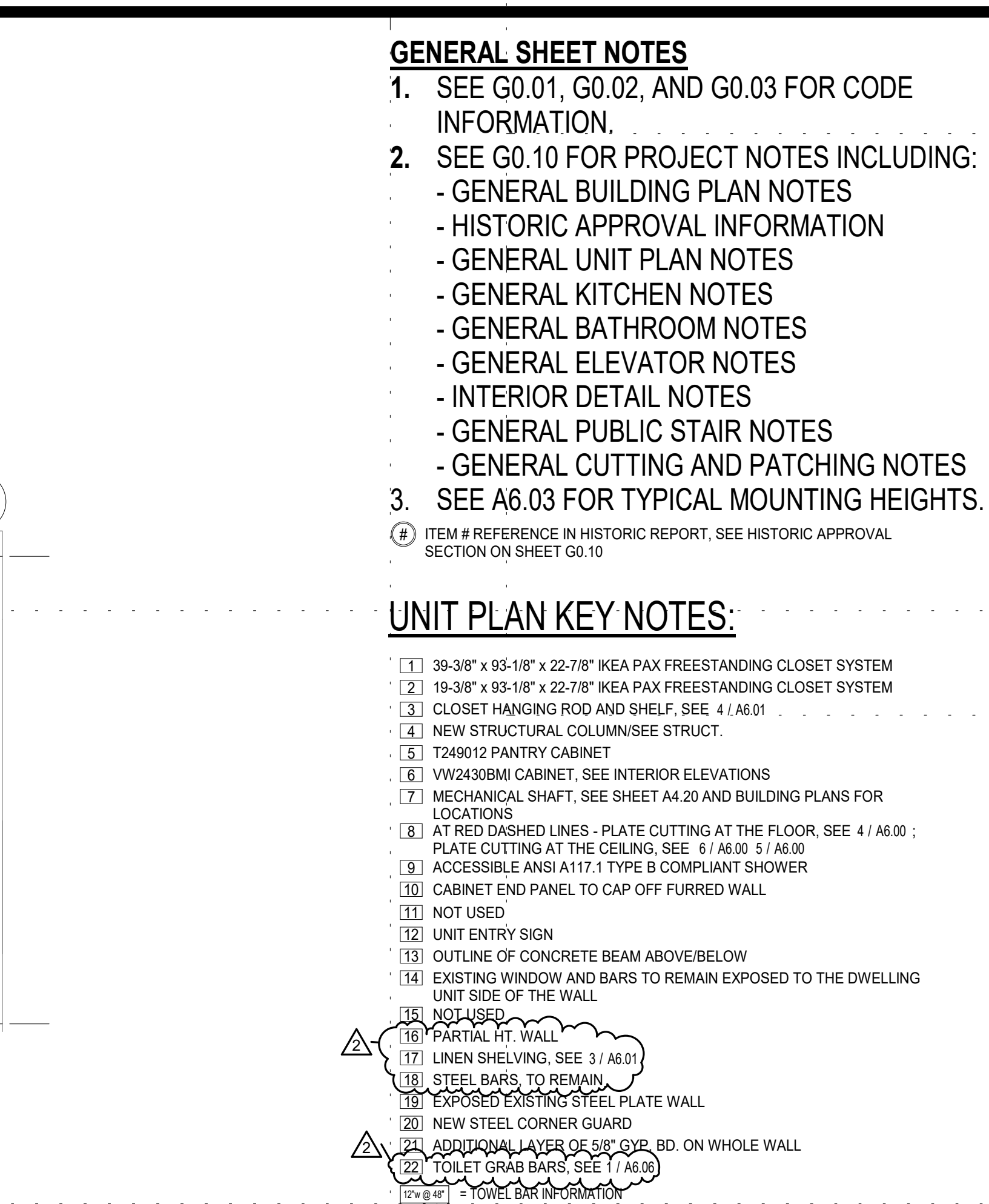
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- LINEN SHELVING, SEE 3 / A6.01
- STEEL BARS TO REMAIN
- EXPOSED EXISTING STEEL PLATE WALL
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- ADDITIONAL LAYER OF 5/8" GYP. BD. ON WHOLE WALL
- TOILET GRAB BARS, SEE 1 / A6.06
- TOWEL BAR INFORMATION
- HT. ABOVE FLOOR BAR LENGTH



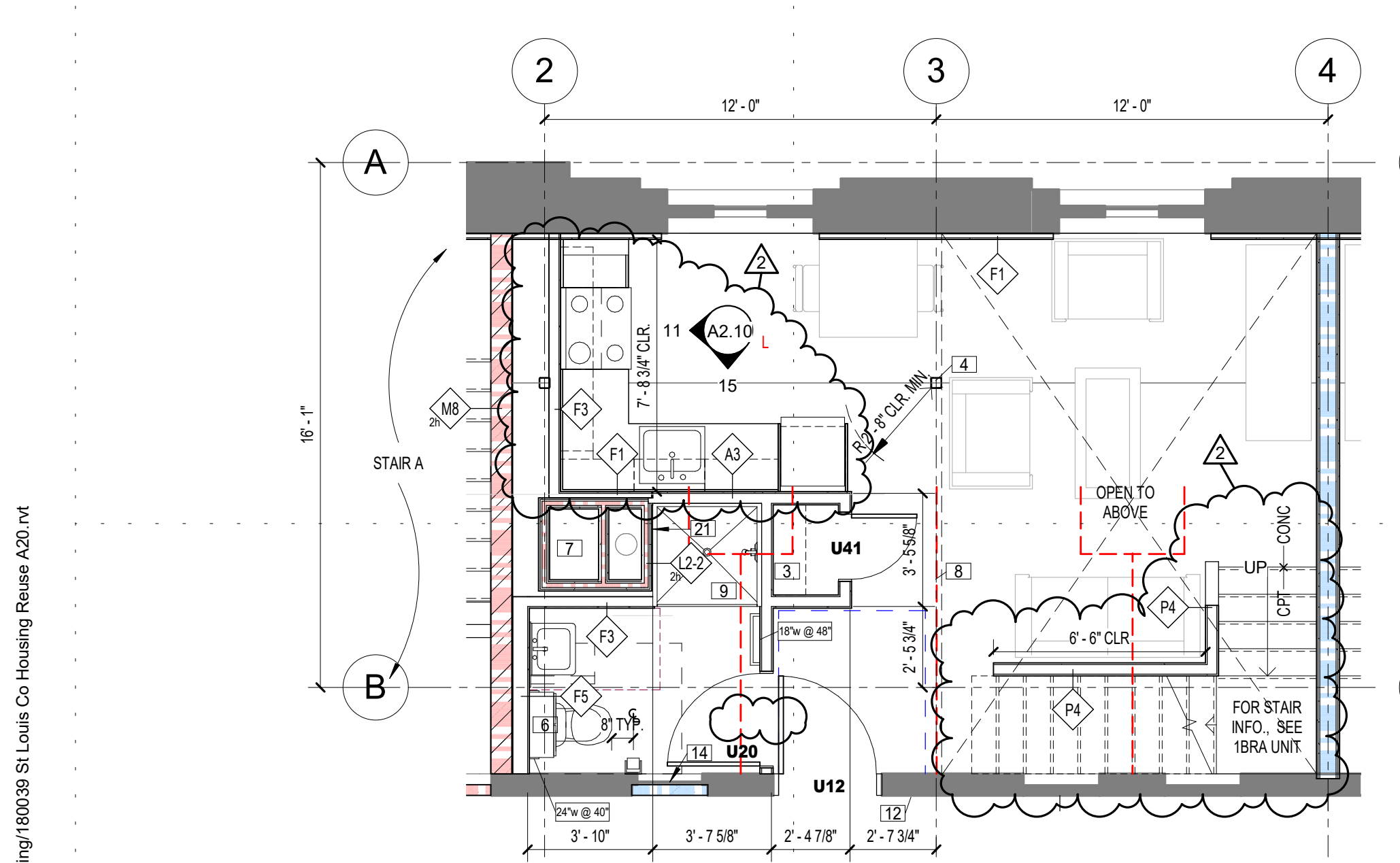
2A 1BR G LOFT
1/4" = 1'-0"



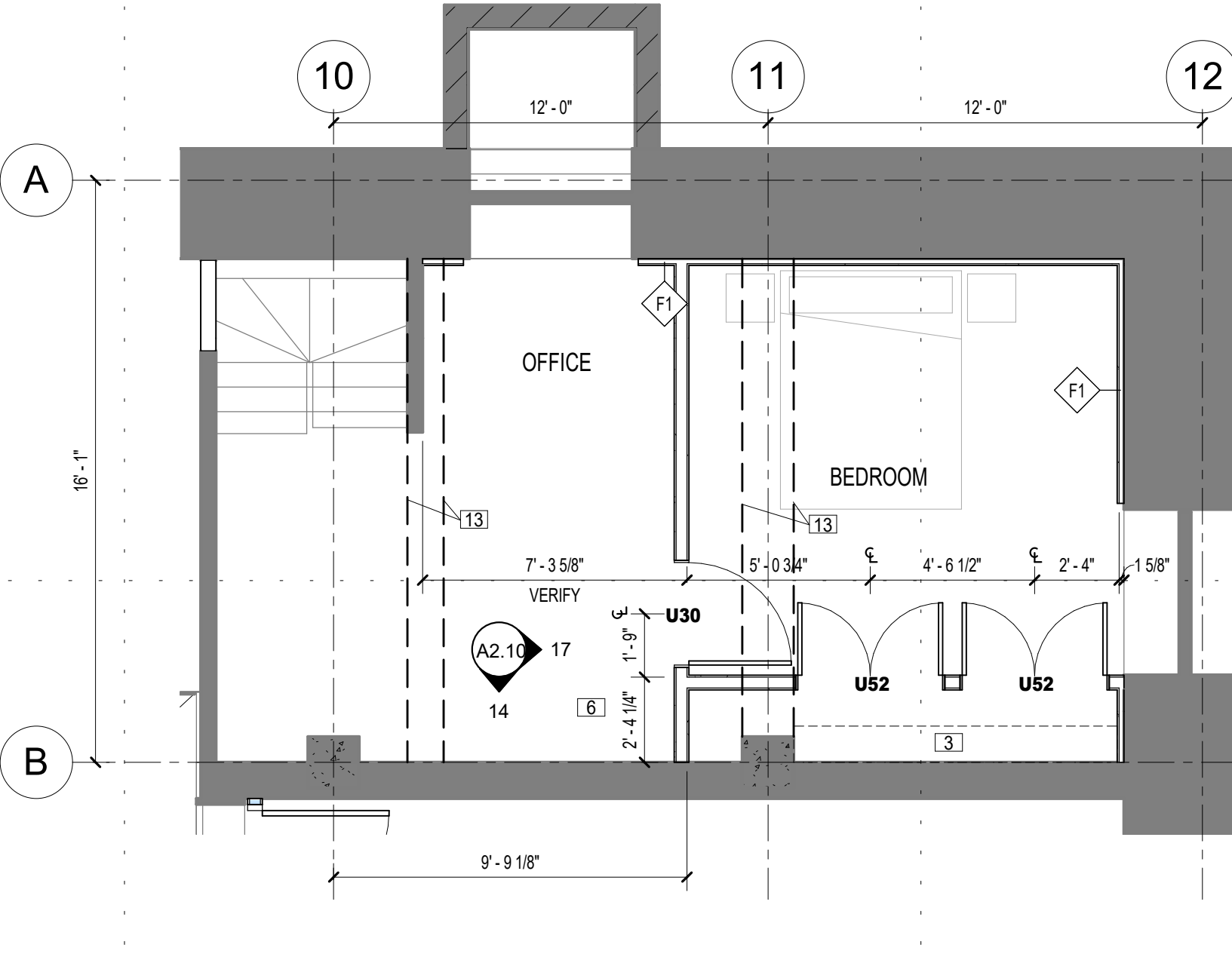
1A 1 BR F 1ST (UNIT #108)
1/4" = 1'-0"



3 EFF E (UNIT #112)
1/4" = 1'-0"



2 1BR G+DEN (UNIT #406)
1/4" = 1'-0"



1 1 BR F BSMT
1/4" = 1'-0"

CLIENT:
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**575 9th Street Southeast, Unit 215
Minneapolis, MN 55414**

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NO	DATE	ISSUED FOR
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

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PROJECT NAME:
**The Burnham - Historic St.
Louis County Jail**

**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
UNIT PLANS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO:

A1.73



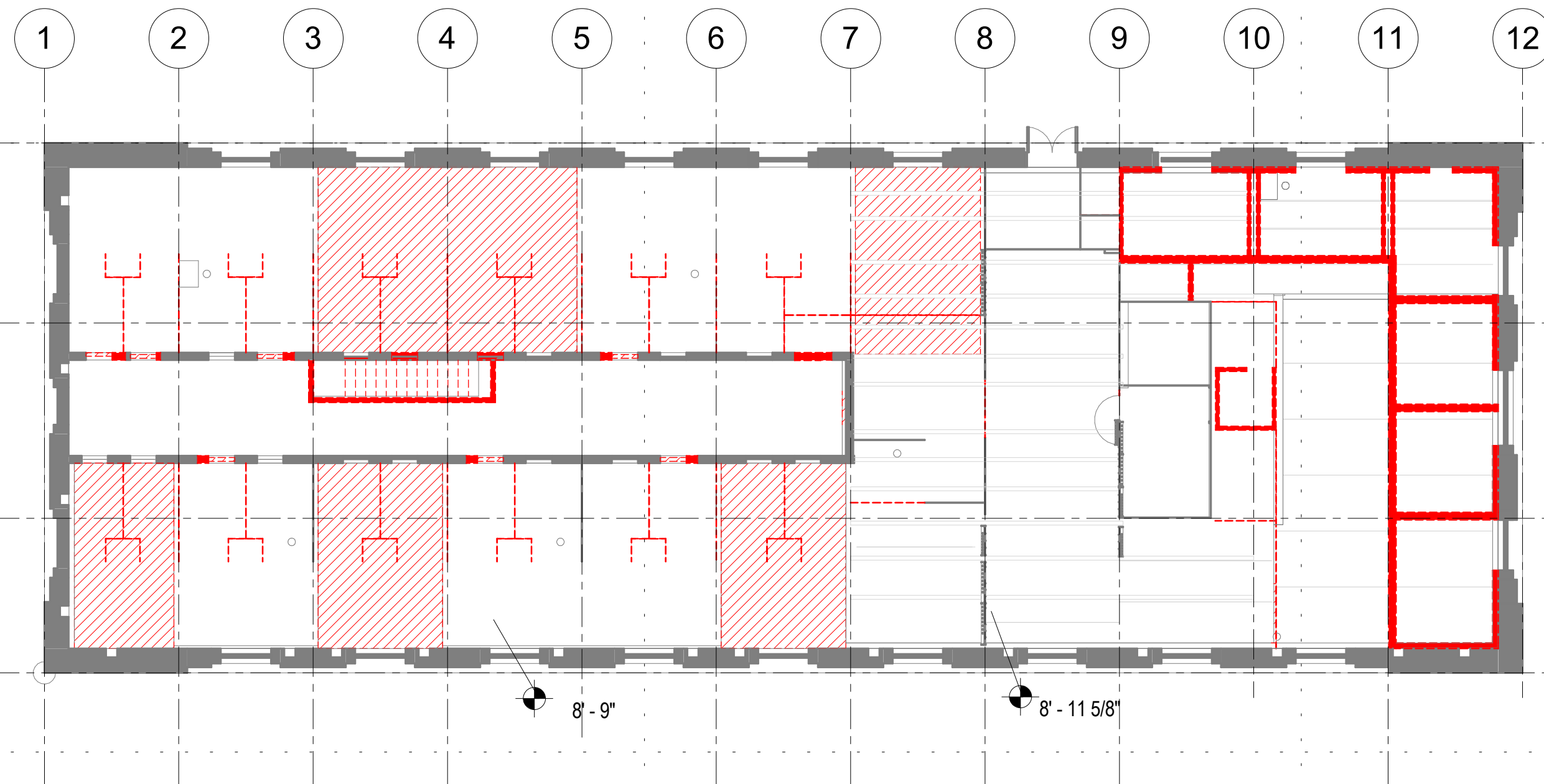
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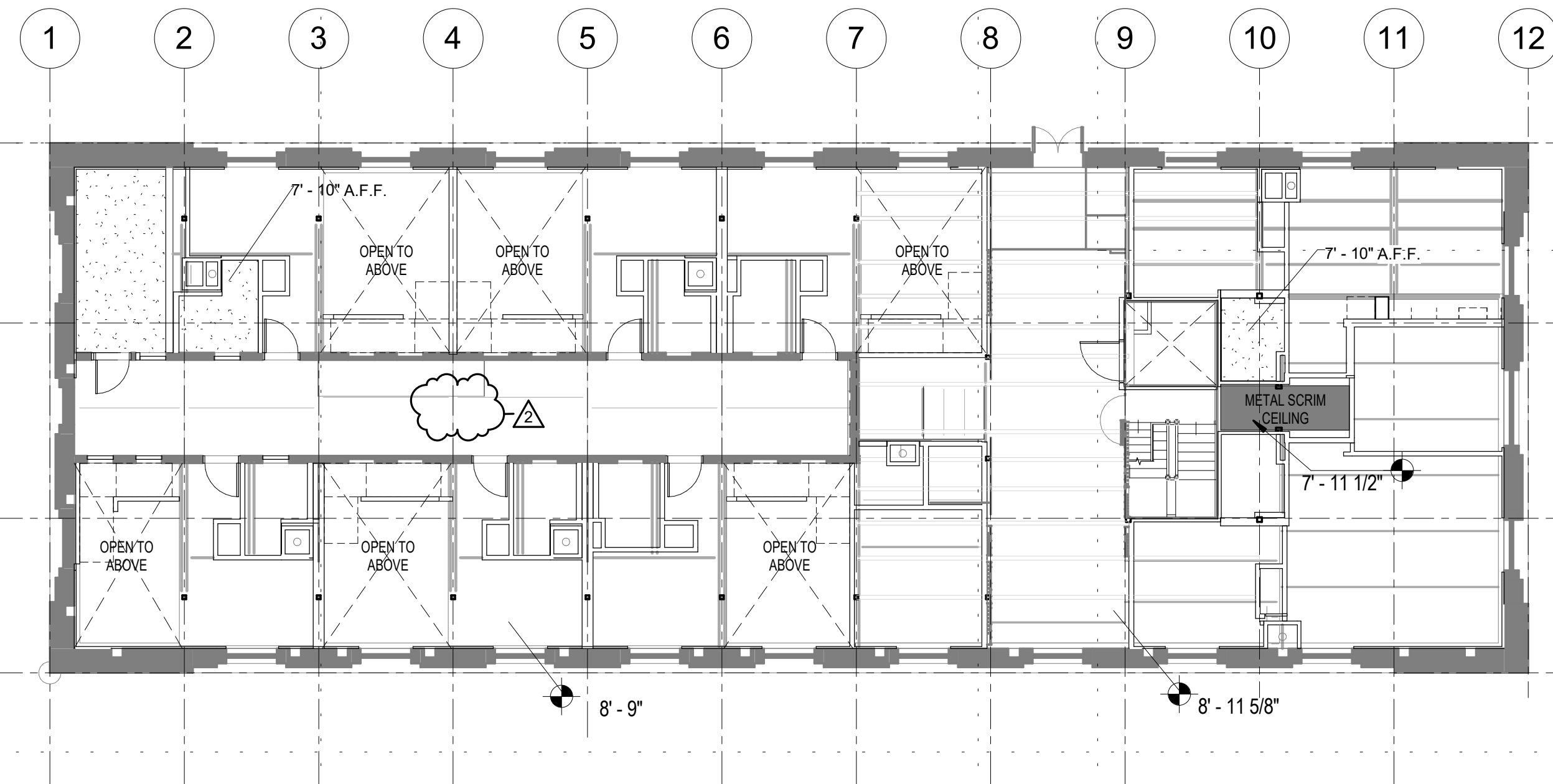
CEILING PLAN LEGEND

- PLASTER
- GYPSUM BOARD
- EXISTING POURED CONCRETE OR CONCRETE PLANK
- STEEL CEILING AT 2ND, 3RD, 4TH
- NEW STRUCTURAL BEAM

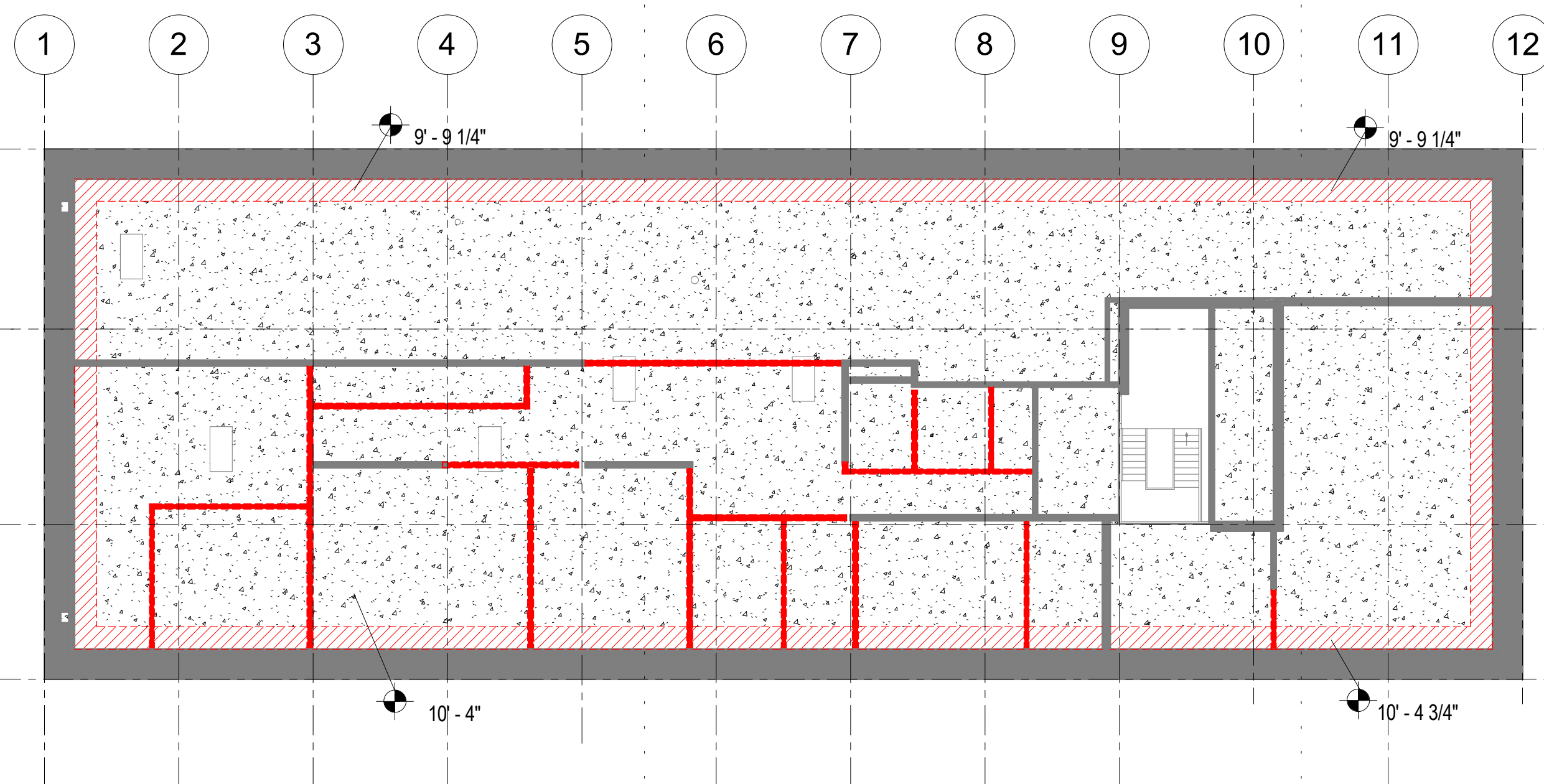
- ① EXISTING CONCRETE BEAM
- ② EXISTING CONCRETE COLUMN CAP
- ③ EXISTING ELEVATOR SHAFT, TO REMAIN
- ④ EXISTING STAIR OPENING, TO REMAIN
- ⑤ NEW STAIR OPENING
- ⑥ CUT NEW OPENINGS IN EXISTING PRECAST PLANK ROOF FOR SKYLIGHTS
- ⑦ EXISTING GYP. BOARD SOFFIT, TO BE DEMOLISHED
- ⑧ CEILING MOUNTED SUPPLY AIR DIFFUSER



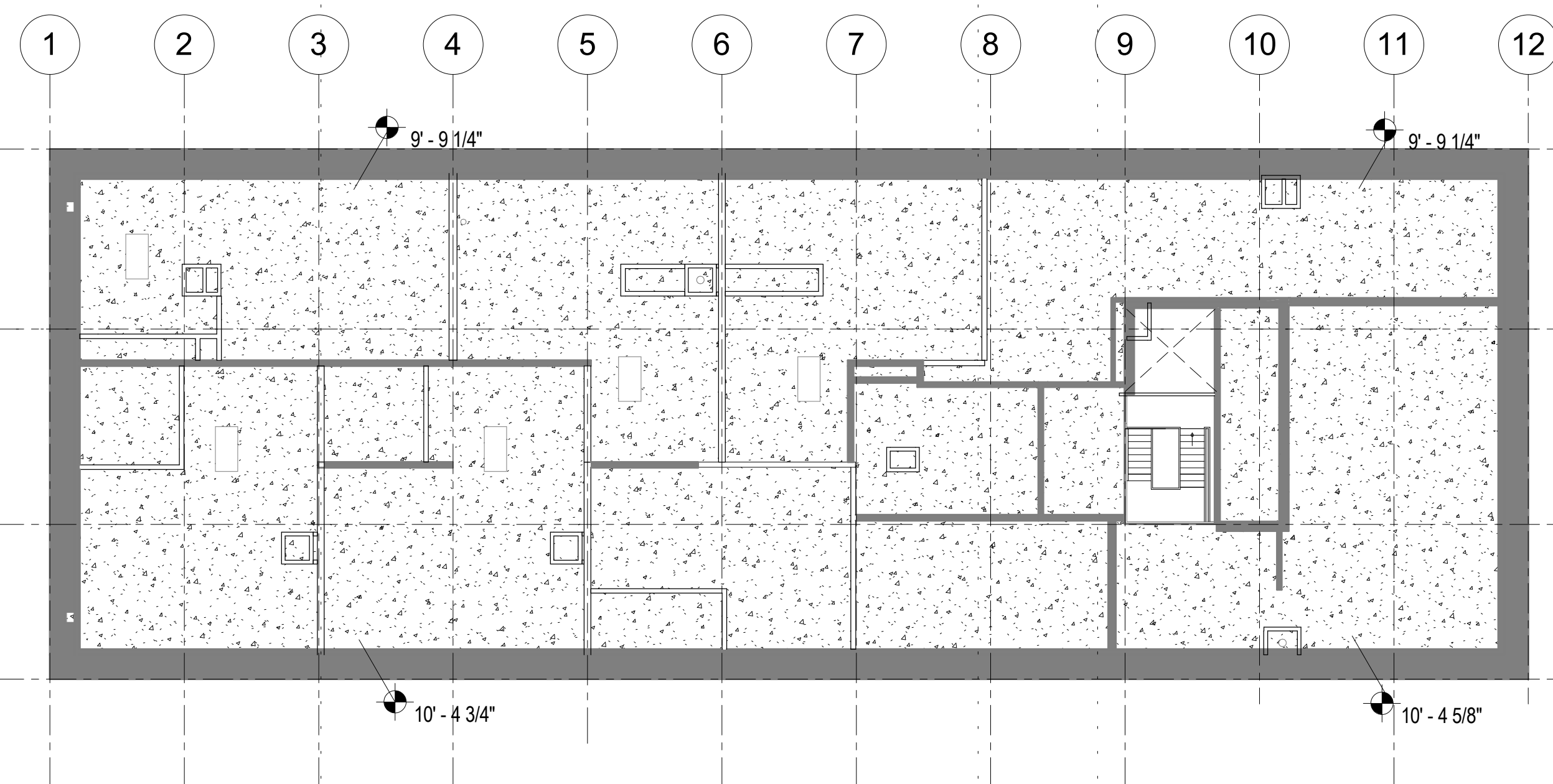
3 FOURTH FLOOR REFLECTED CEILING PLAN - EXISTING & DEMO
3/32" = 1'-0"



1 FOURTH FLOOR REFLECTED CEILING PLAN
3/32" = 1'-0"



4 FIFTH FLOOR REFLECTED CEILING PLAN - EXISTING & DEMO
3/32" = 1'-0"



2 FIFTH FLOOR REFLECTED CEILING PLAN
3/32" = 1'-0"

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
REFLECTED CEILING
PLANS - Fourth & Fifth
Floor

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO.: 180039

DRAWING NO.:

A1.82



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ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

ELEVATION GENERAL NOTES:

A. PATCH AND REPAIR MATERIALS WHERE FIRE ESCAPE REMOVED. MATCH COLOR AND TEXTURE OF ADJACENT MATERIALS.

ELEVATION KEY NOTES:

- AN ADDRESS NUMBERS
- D DOOR TYPES, SEE SHEET A5.30
- EERO EMERGENCY ESCAPE RESCUE OPENING
- FDC FIRE DEPARTMENT CONNECTION LOCATION
- L EXHAUST VENT LOUVERS
- SW STONWORK INFILL, SEE 3 / A2.01
- W WINDOW TYPES, SEE SHEET A5.30



INFILL PROFILE AT WEST ELEVATION
-SHAPES TO BE MADE FROM STONE MATERIAL SALVAGED FROM DEMOLITION OF 1 STORY ADDITION

3 STONE PROFILE FOR INFILL
12" = 1'-0"

CLIENT:
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NOTE: THIS SHEET IS TO BE PRINTED IN COLOR TO READ CORRECTLY

NO	DATE	ISSUED FOR
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

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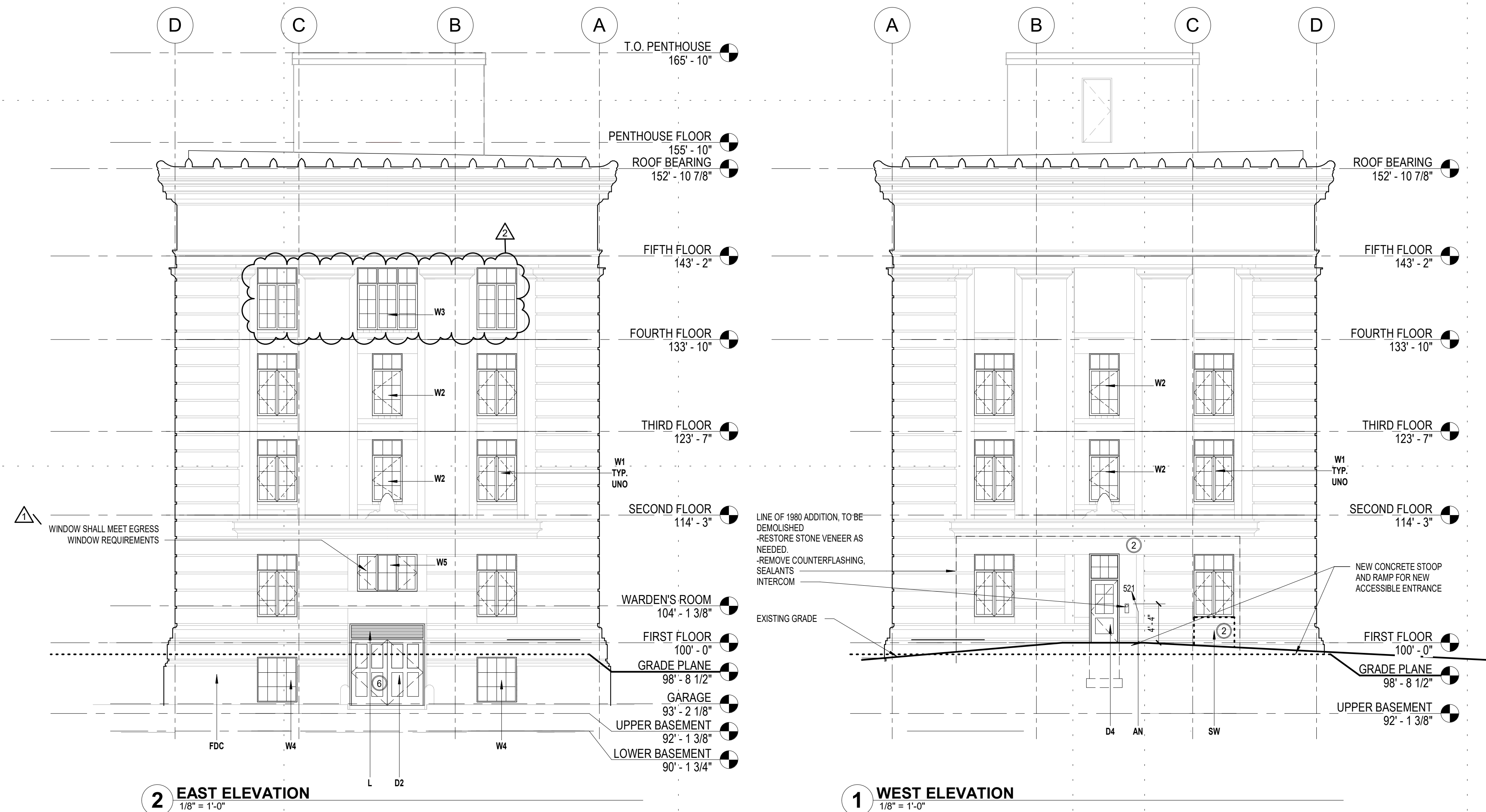
PROJECT NAME:
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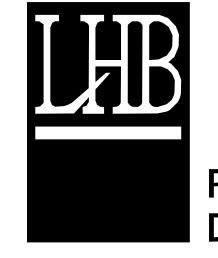
DRAWING TITLE:
BUILDING ELEVATIONS

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO: **A2.01**



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521 W. 2ND STREET
 Duluth, MN 55802

DRAWING TITLE:
**INTERIOR ELEVATIONS
 -UNIT KITCHENS &
 BATHS**

DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

DRAWING NO:

A2.10

GENERAL SHEET NOTES

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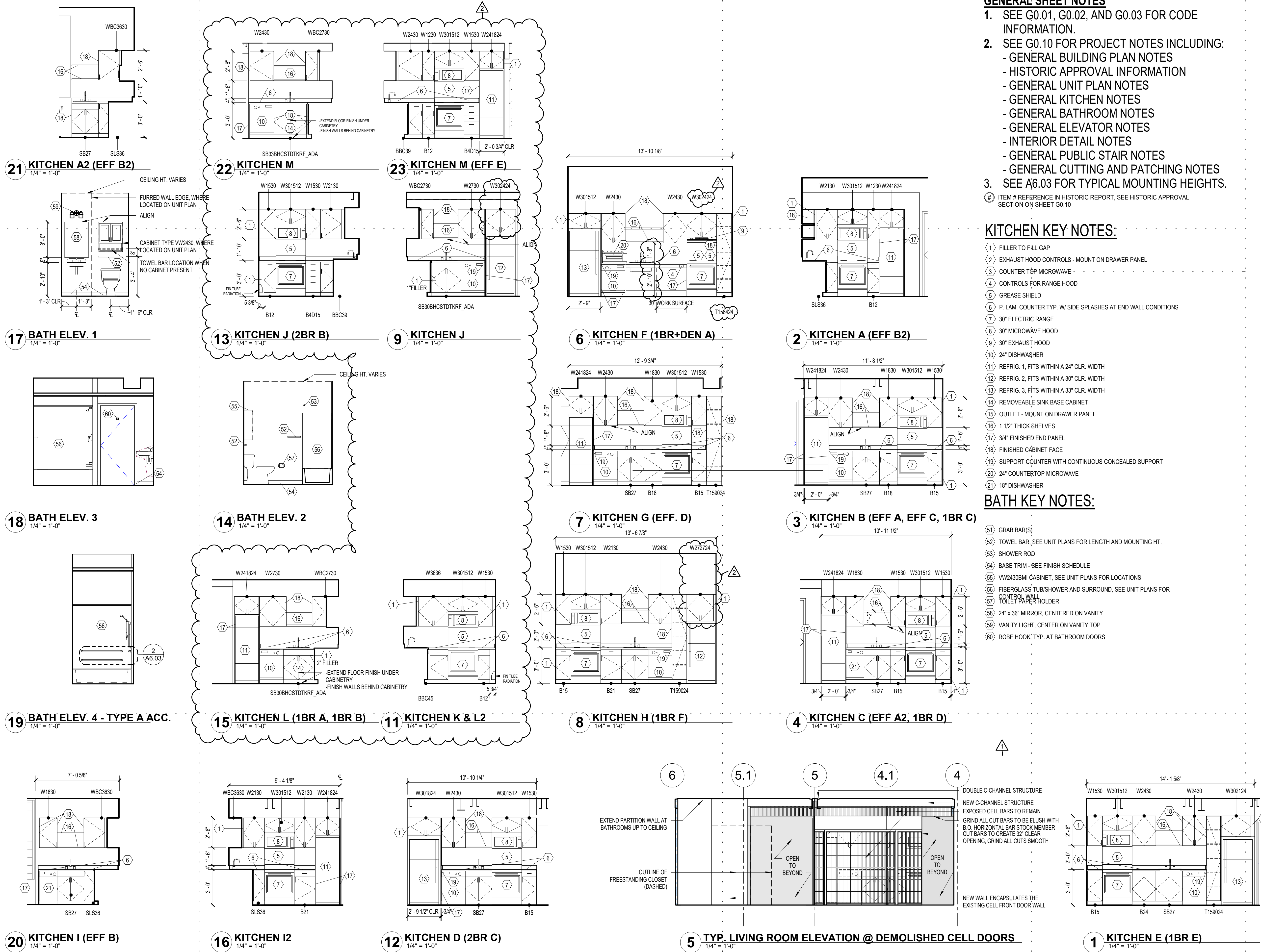
ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

KITCHEN KEY NOTES:

- FILLER TO FILL GAP
- EXHAUST HOOD CONTROLS - MOUNT ON DRAWER PANEL
- COUNTER TOP MICROWAVE
- CONTROLS FOR RANGE HOOD
- GREASE SHIELD
- P. LAM. COUNTER TYP. W/ SIDE SPLASHES AT END WALL CONDITIONS
- 30" ELECTRIC RANGE
- 30" MICROWAVE HOOD
- 30" EXHAUST HOOD
- 24" DISHWASHER
- REFRIG. 1, FITS WITHIN A 24" CLR. WIDTH
- REFRIG. 2, FITS WITHIN A 30" CLR. WIDTH
- REFRIG. 3, FITS WITHIN A 33" CLR. WIDTH
- REMOVEABLE SINK BASE CABINET
- OUTLET - MOUNT ON DRAWER PANEL
- 1 1/2" THICK SHELVES
- 3/4" FINISHED END PANEL
- FINISHED CABINET FACE
- SUPPORT COUNTER WITH CONTINUOUS CONCEALED SUPPORT
- 24" COUNTER TOP MICROWAVE
- 18" DISHWASHER

BATH KEY NOTES:

- GRAB BAR(S)
- TOWEL BAR, SEE UNIT PLANS FOR LENGTH AND MOUNTING HT.
- SHOWER ROD
- BASE TRIM - SEE FINISH SCHEDULE
- VW2430BMI CABINET, SEE UNIT PLANS FOR LOCATIONS
- FIBERGLASS TUB/SHOWER AND SURROUND, SEE UNIT PLANS FOR COILER/PAW HOLDER
- 24" x 36" MIRROR, CENTERED ON VANITY
- VANITY LIGHT, CENTER ON VANITY TOP
- ROBE HOOK, TYP. AT BATHROOM DOORS



21 KITCHEN A2 (EFF B2)
1/4" = 1'-0"

22 KITCHEN M
1/4" = 1'-0"

23 KITCHEN M (EFF E)
1/4" = 1'-0"

17 BATH ELEV. 1
1/4" = 1'-0"

13 KITCHEN J (2BR B)
1/4" = 1'-0"

9 KITCHEN J
1/4" = 1'-0"

6 KITCHEN F (1BR+DEN A)
1/4" = 1'-0"

2 KITCHEN A (EFF B2)
1/4" = 1'-0"

18 BATH ELEV. 3
1/4" = 1'-0"

14 BATH ELEV. 2
1/4" = 1'-0"

7 KITCHEN G (EFF. D)
1/4" = 1'-0"

3 KITCHEN B (EFF A, EFF C, 1BR C)
1/4" = 1'-0"

19 BATH ELEV. 4 - TYPE A ACC.
1/4" = 1'-0"

15 KITCHEN L (1BR A, 1BR B)
1/4" = 1'-0"

11 KITCHEN K & L2
1/4" = 1'-0"

8 KITCHEN H (1BR F)
1/4" = 1'-0"

4 KITCHEN C (EFF A2, 1BR D)
1/4" = 1'-0"

20 KITCHEN I (EFF B)
1/4" = 1'-0"

16 KITCHEN I2
1/4" = 1'-0"

12 KITCHEN D (2BR C)
1/4" = 1'-0"

5 TYP. LIVING ROOM ELEVATION @ DEMOLISHED CELL DOORS
1/4" = 1'-0"

1 KITCHEN E (1BR E)
1/4" = 1'-0"



**PERFORMANCE
DRIVEN DESIGN.**
LHBcorp.com

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

CLIENT:
New Burnham, LLC

**575 9th Street Southeast, Unit 215
Minneapolis, MN 55414**

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

1/10/20	100% CONSTRUCTION DOCUMENTS
NO	DATE ISSUED FOR

2	11/11/2021	ASI 1
NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: **ANDREW MADSON**

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
**The Burnham - Historic St.
Louis County Jail**

**521 W. 2ND STREET
Duluth, MN 55802**

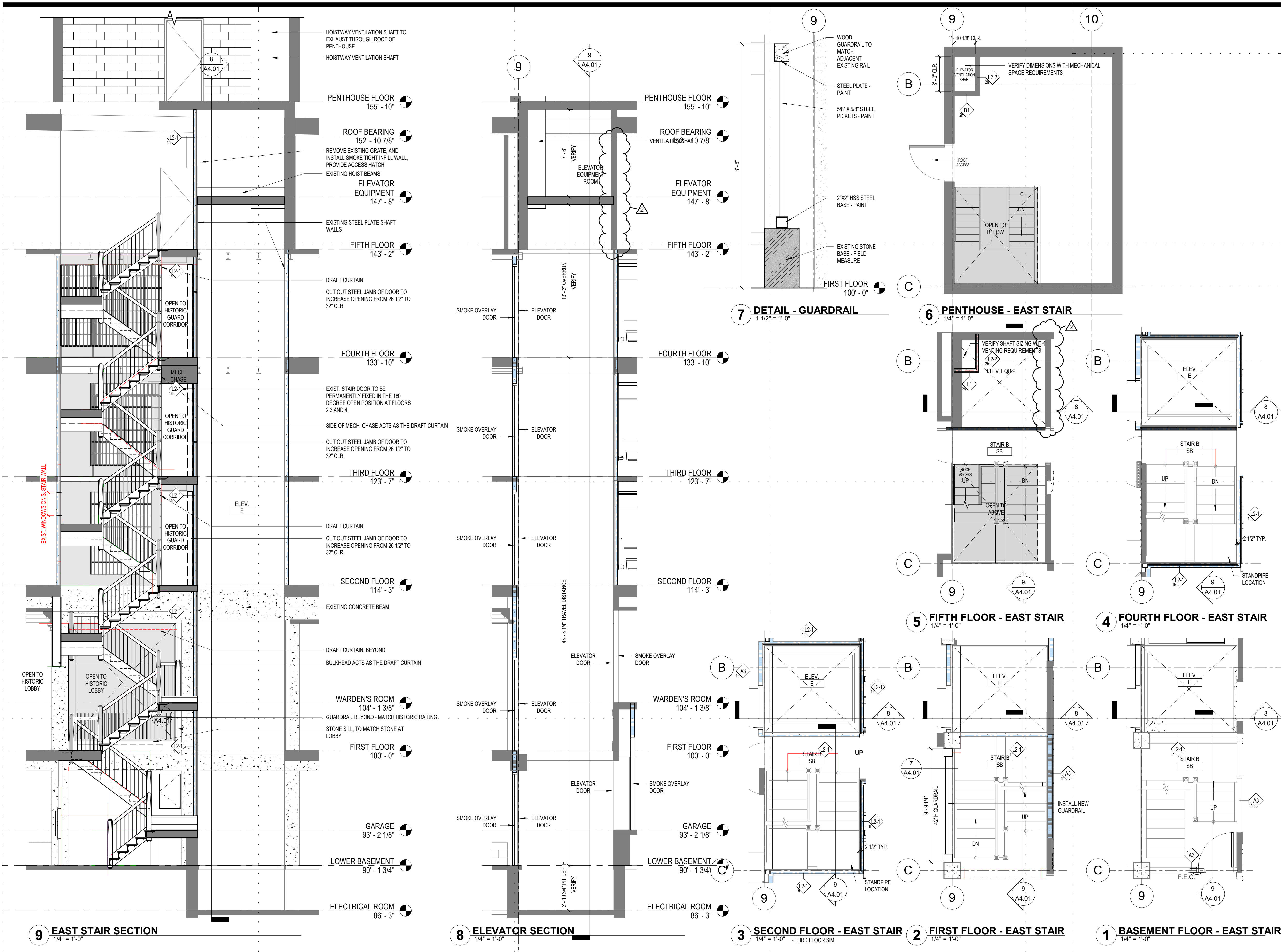
DRAWING TITLE:
**EAST STAIR SECTIONS
and ENLARGED PLANS**

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

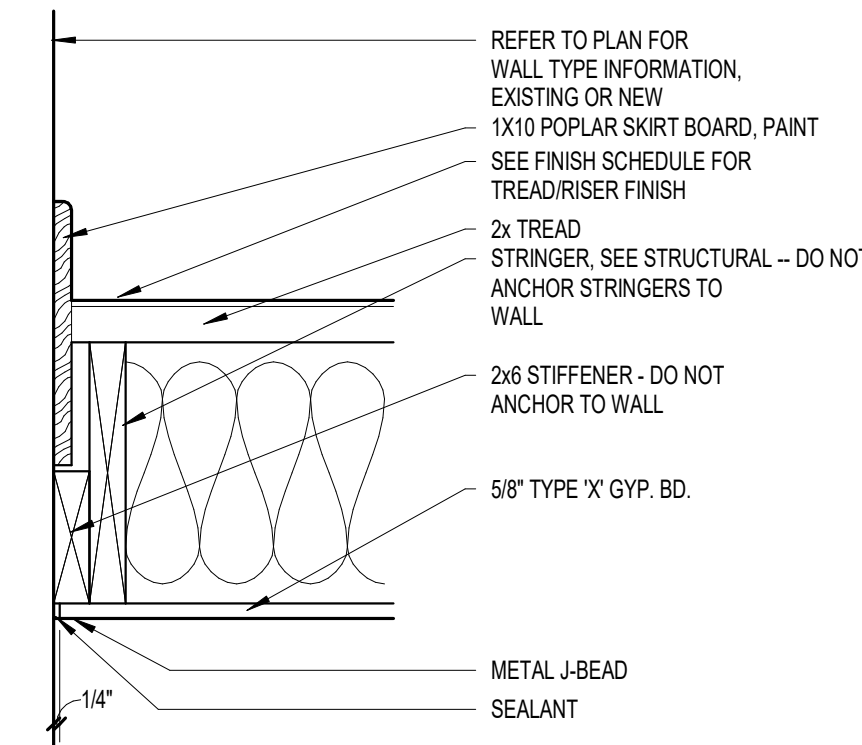
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A4.01

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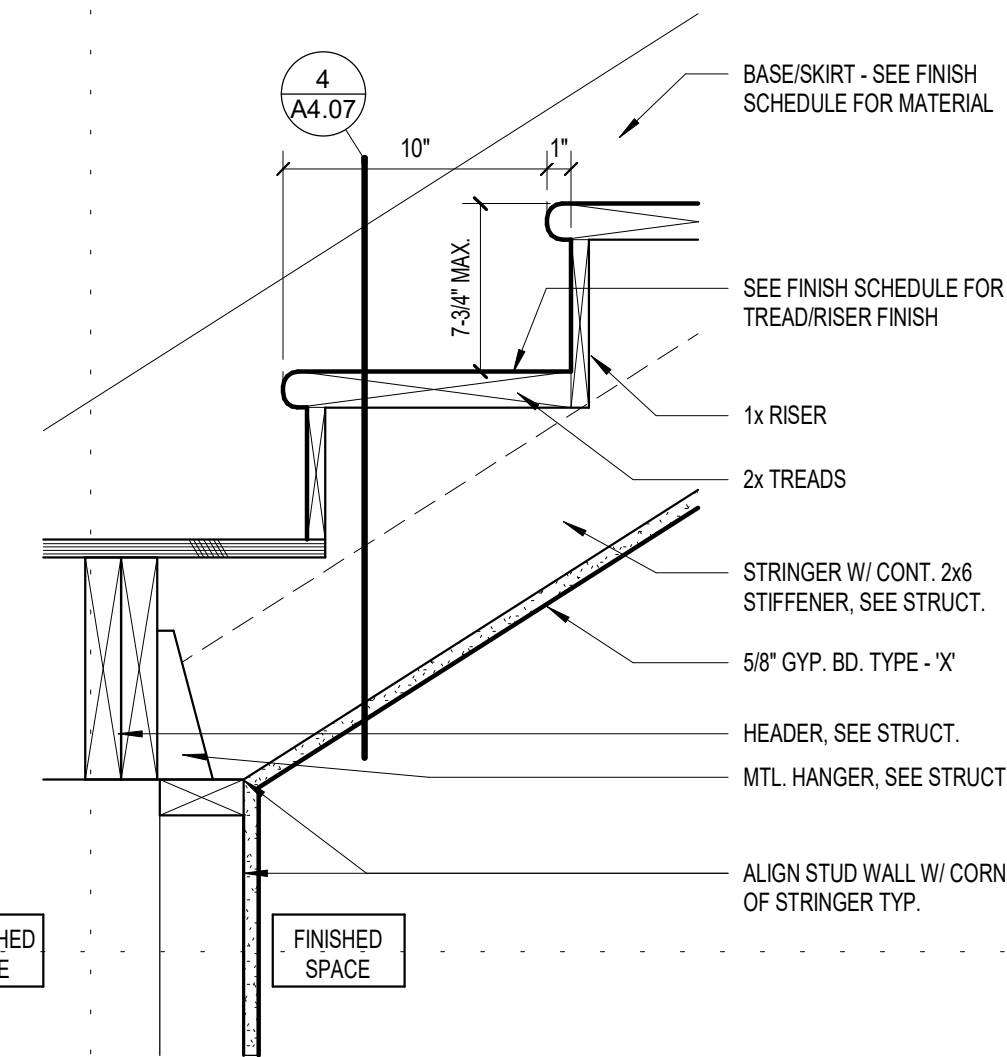


4 STRINGER @ WALL
1 1/2" = 1'-0"

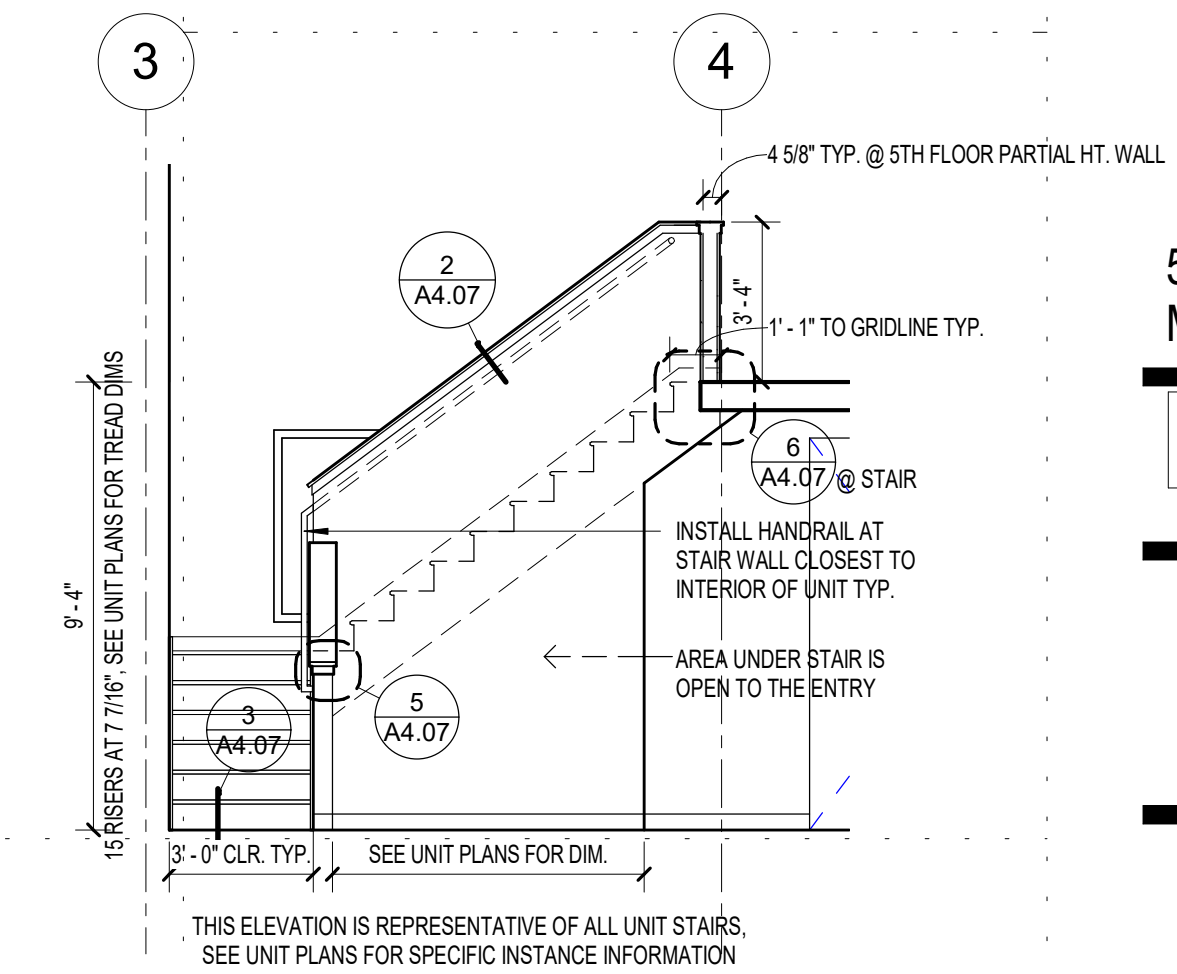
GENERAL SHEET NOTES

- SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
- SEE G0.10 FOR PROJECT NOTES INCLUDING:
 - GENERAL BUILDING PLAN NOTES
 - HISTORIC APPROVAL INFORMATION
 - GENERAL UNIT PLAN NOTES
 - GENERAL KITCHEN NOTES
 - GENERAL BATHROOM NOTES
 - GENERAL ELEVATOR NOTES
 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
 - GENERAL CUTTING AND PATCHING NOTES
- SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.

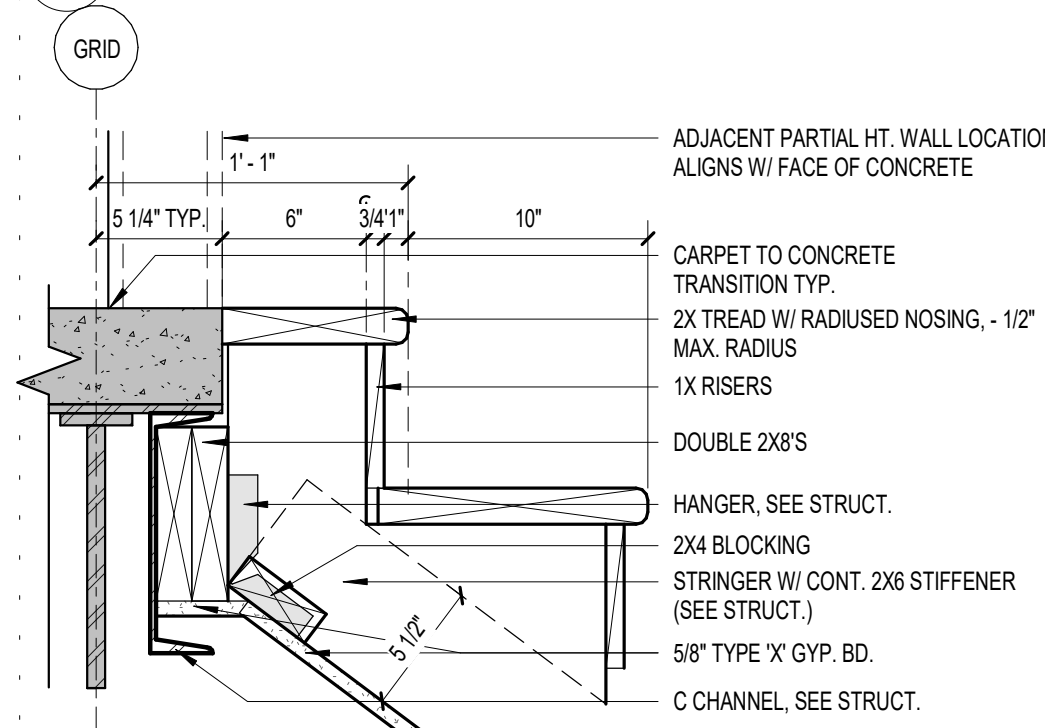
ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



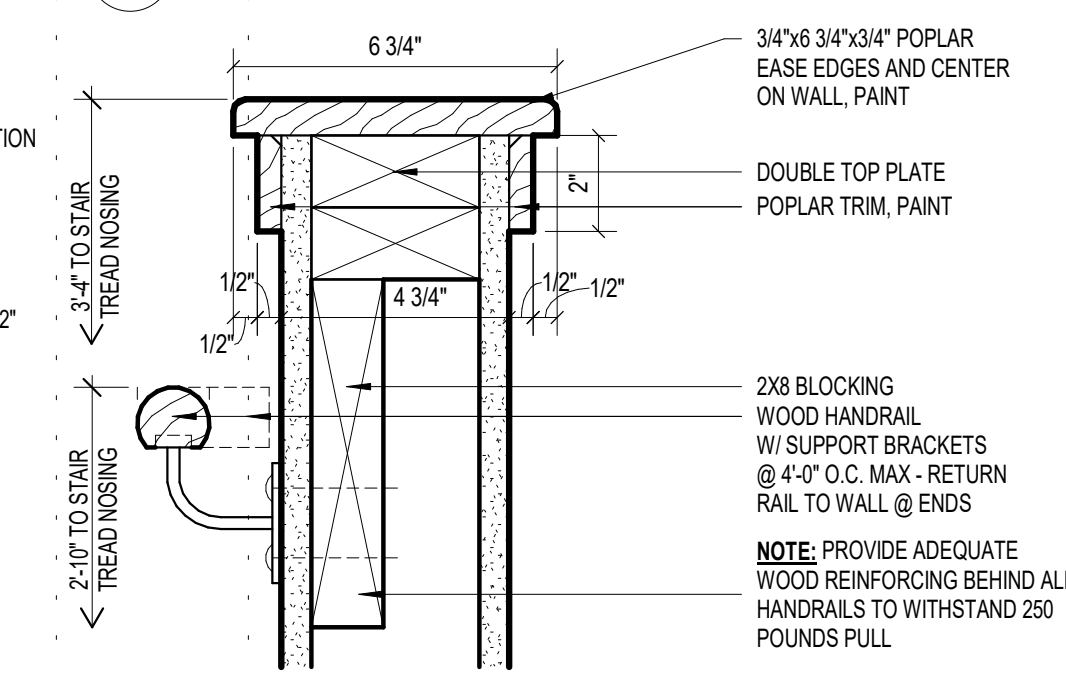
5 STAIR TOE @ WOOD LANDING 2
1 1/2" = 1'-0"



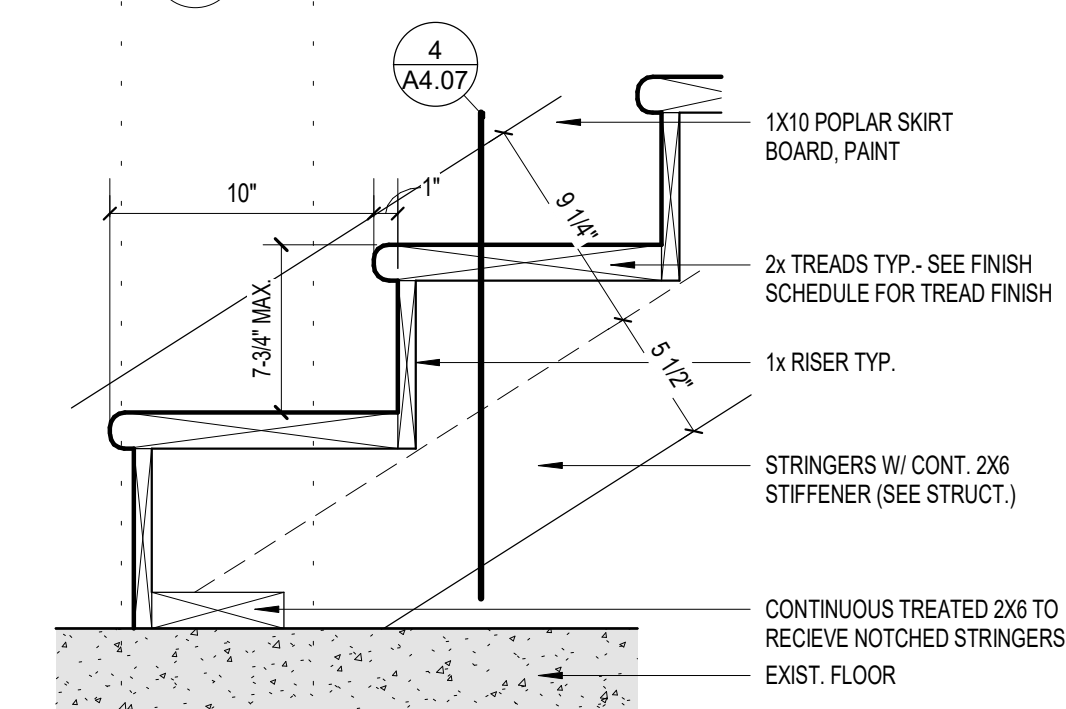
3 UNIT STAIR ELEVATION
1/4" = 1'-0"



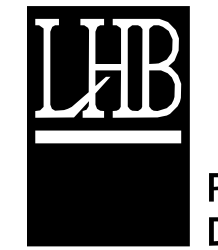
6 STAIR HEAD
1 1/2" = 1'-0"



1 LOW WALL CAP @ STAIR (UNIT)
3" = 1'-0"



2 STAIR TOE
1 1/2" = 1'-0"



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CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

NO	DATE	ISSUED FOR
1	1/10/20	100% CONSTRUCTION DOCUMENTS
2	11/11/2021	ASI 1 REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: ANDREW MADSON
Date: 10/22/21 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
UNIT STAIR DETAILS

DRAWN BY: ADM
CHECKED BY: ADM
PROJ. NO: 180039

DRAWING NO:





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CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

NO	DATE	ISSUED FOR
1/10/20	100% CONSTRUCTION DOCUMENTS	
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*

Typed or Printed Name: ANDREW MADSON

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St.
Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
UNIT SEPARATION WALL
SECTIONS AND DETAILS

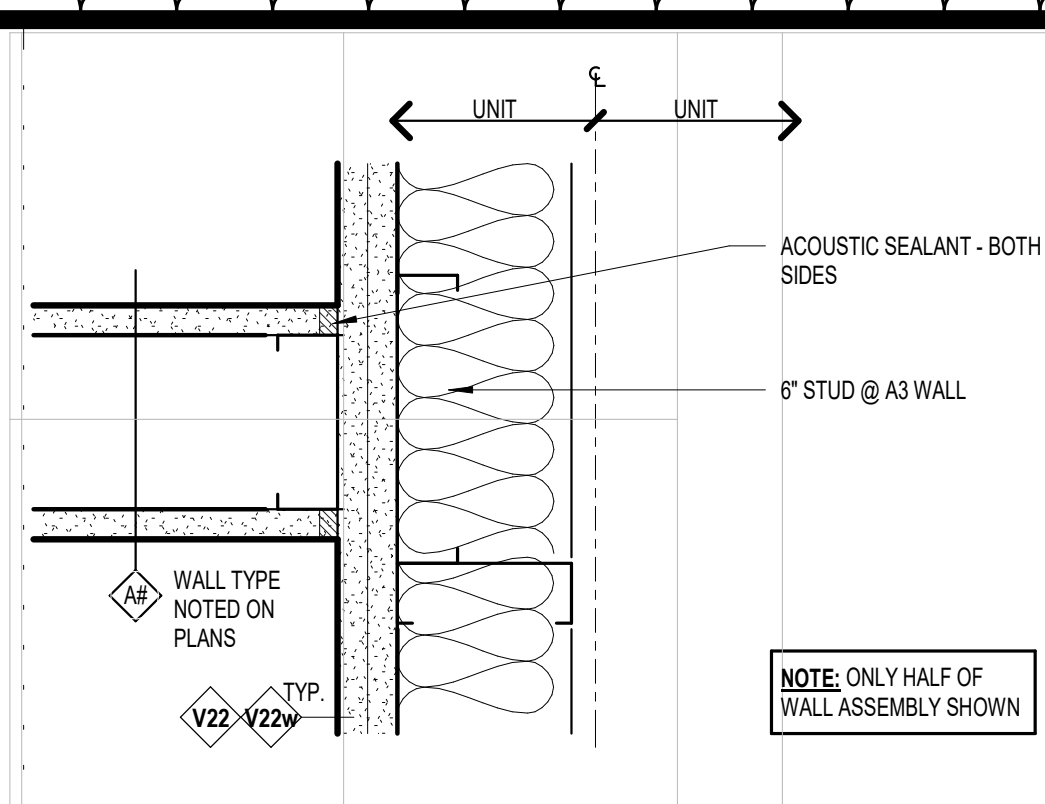
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CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO: **A4.30**

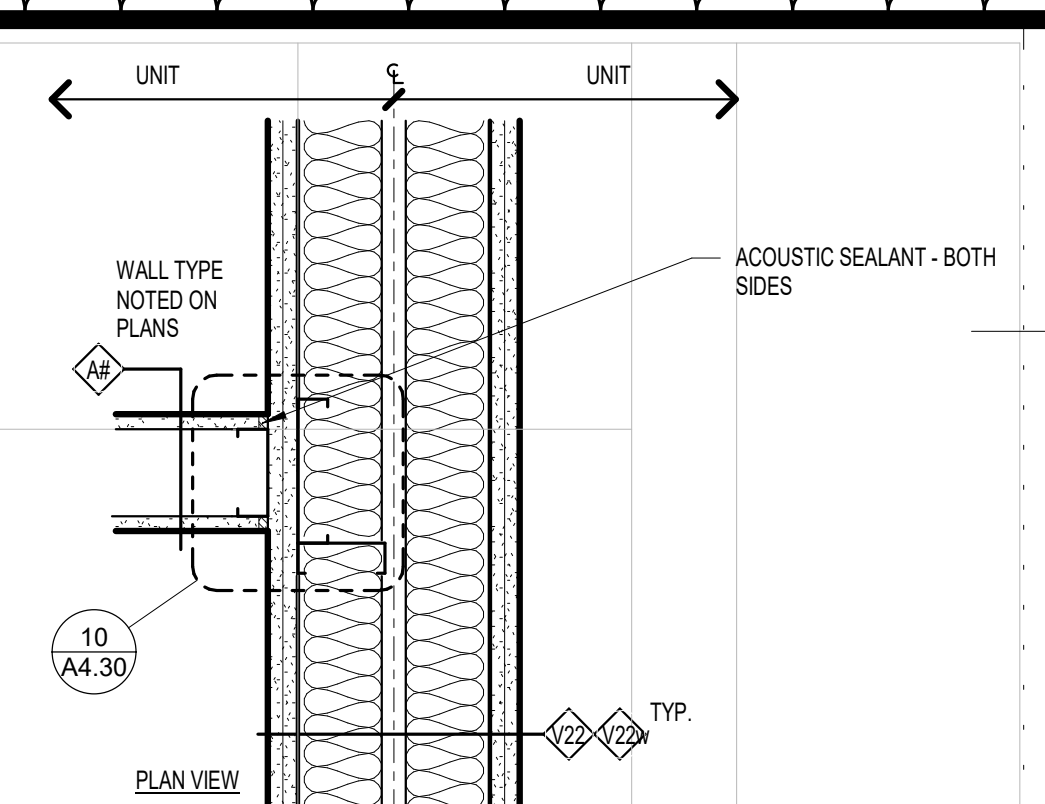
GENERAL SHEET NOTES

- SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
- SEE G0.10 FOR PROJECT NOTES INCLUDING:
 - GENERAL BUILDING PLAN NOTES
 - HISTORIC APPROVAL INFORMATION
 - GENERAL UNIT PLAN NOTES
 - GENERAL KITCHEN NOTES
 - GENERAL BATHROOM NOTES
 - GENERAL ELEVATOR NOTES
 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
 - GENERAL CUTTING AND PATCHING NOTES
- SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.

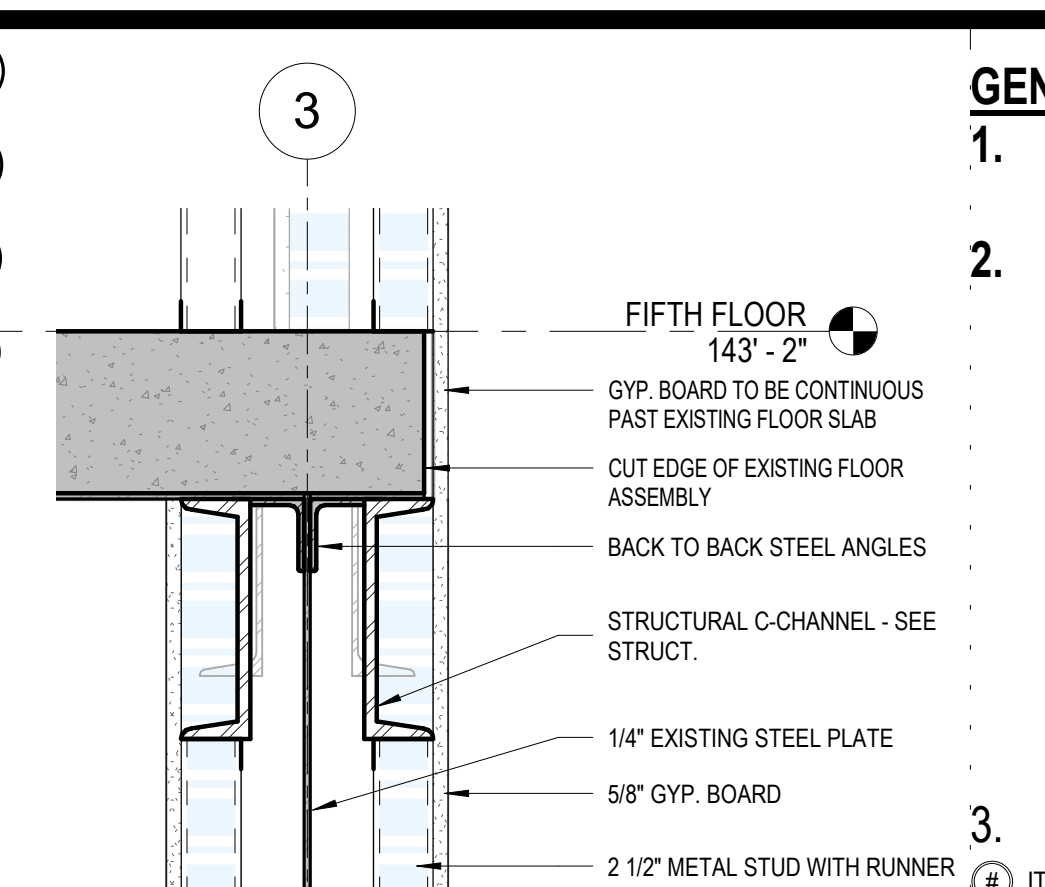
ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



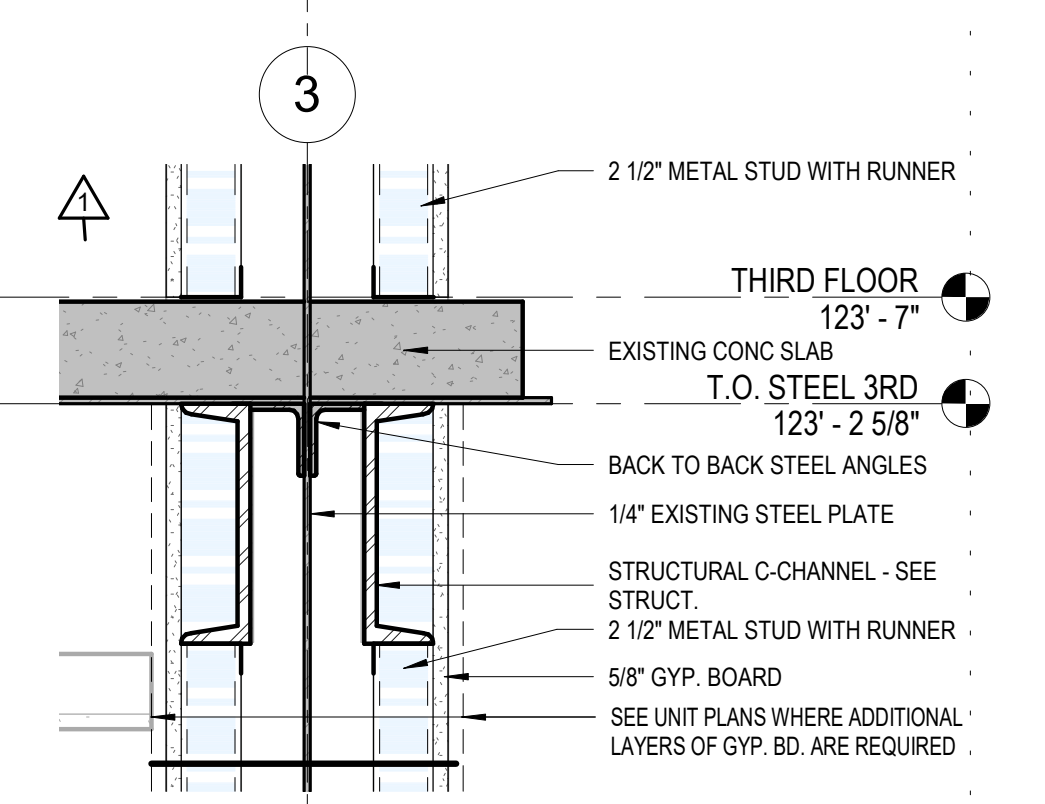
10 UNIT SEP. WALL AT INTERIOR WALL
3" = 1'-0"



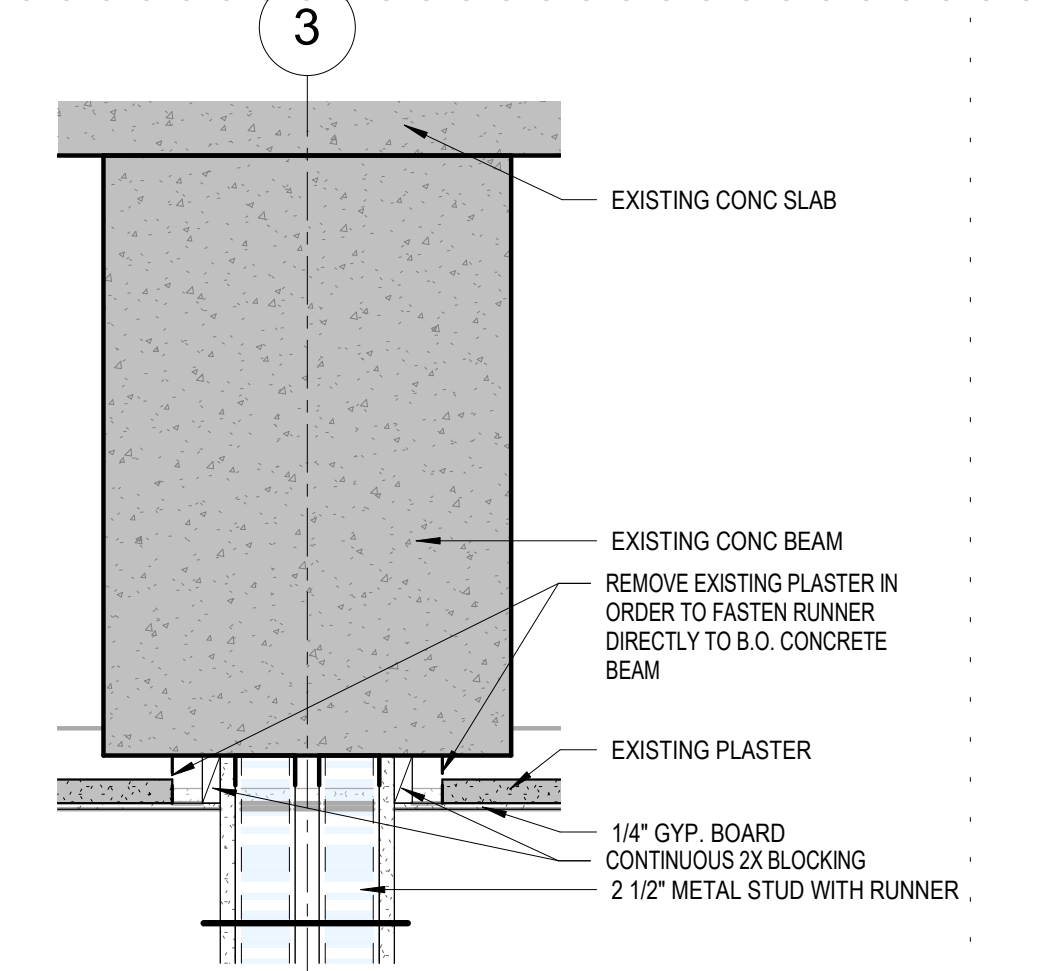
6 FRAMING DETAIL @ RATED WALL
1 1/2" = 1'-0"



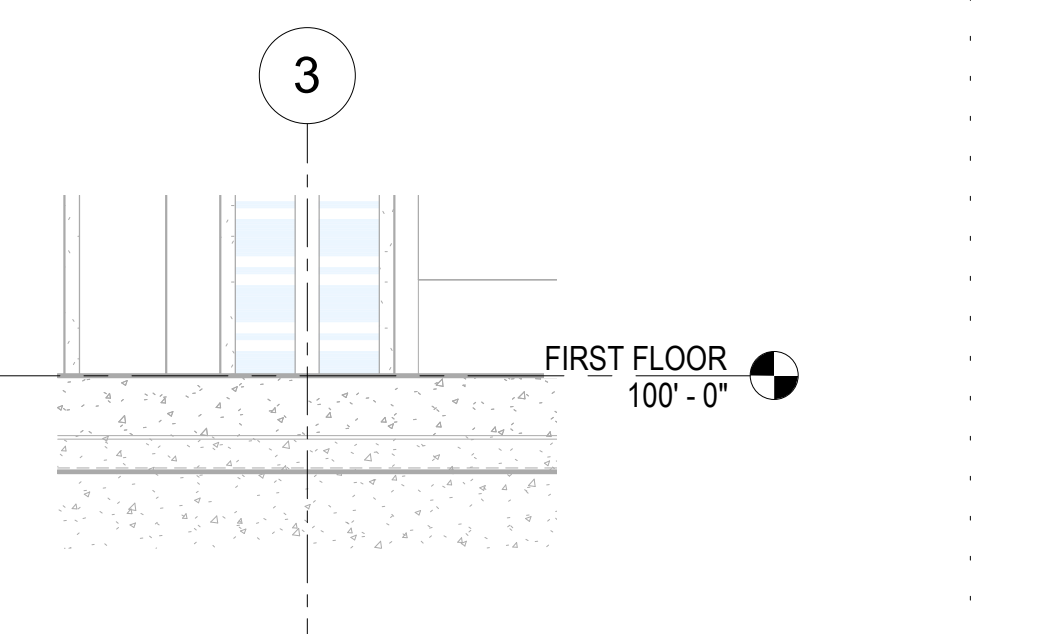
2 UNIT SEPARATION WALL - Callout 4
1 1/2" = 1'-0"



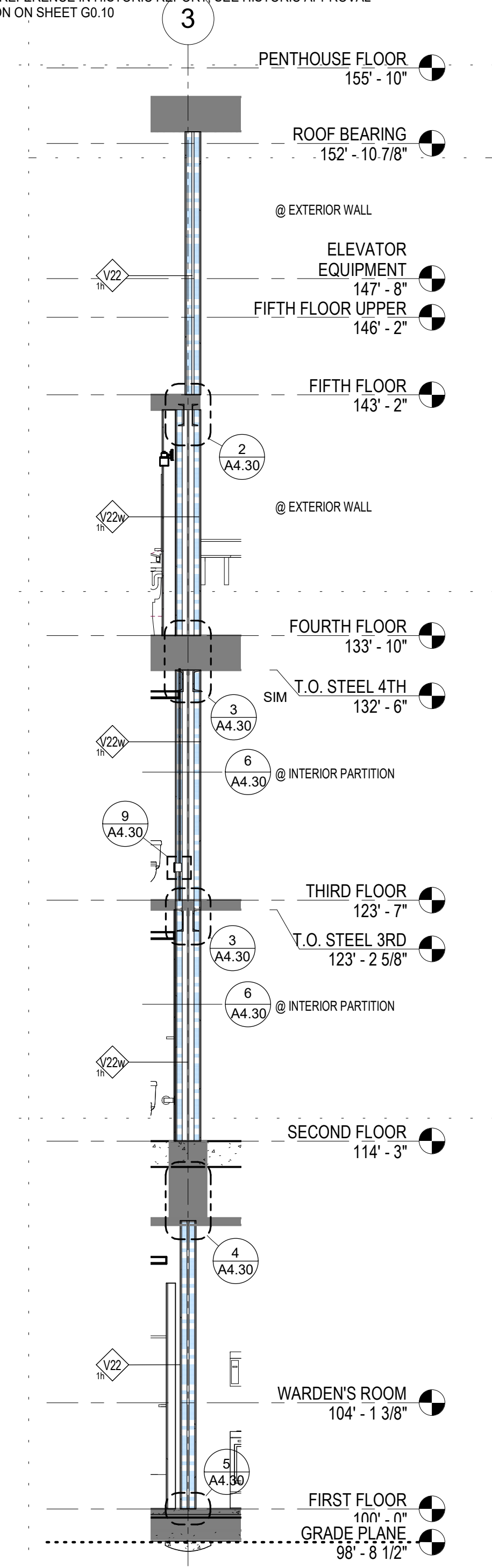
3 UNIT SEPARATION WALL - Callout 3
1 1/2" = 1'-0"



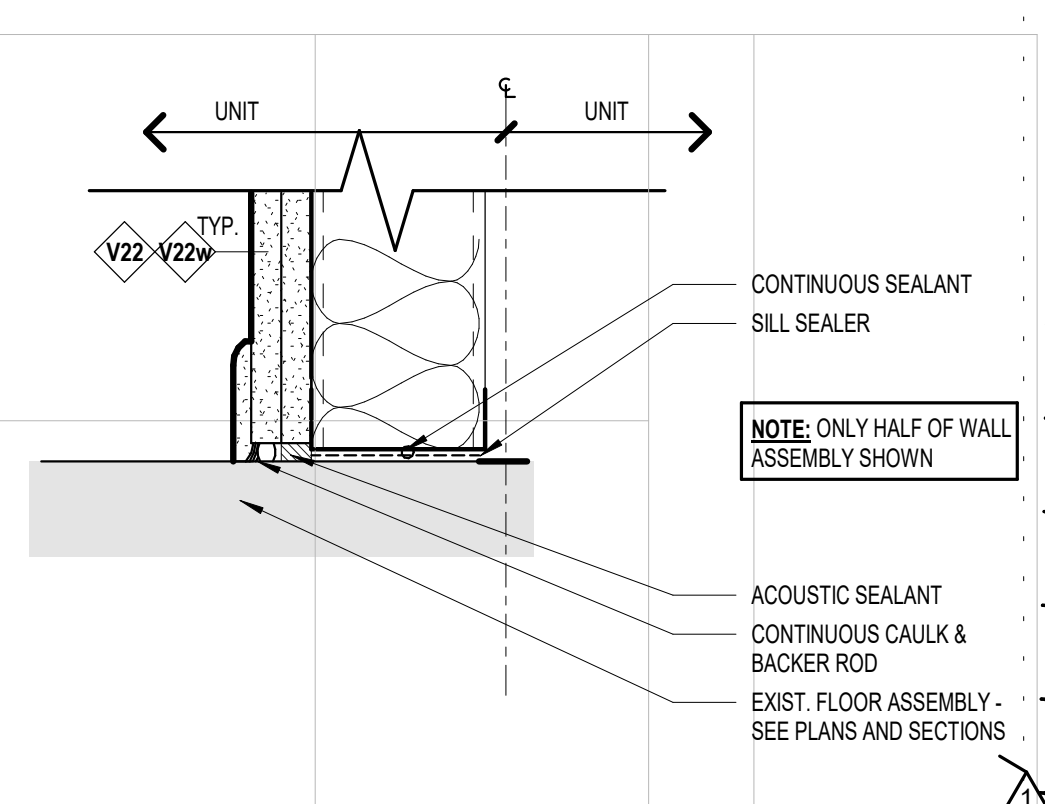
4 UNIT SEPARATION WALL - Callout 2
1 1/2" = 1'-0"



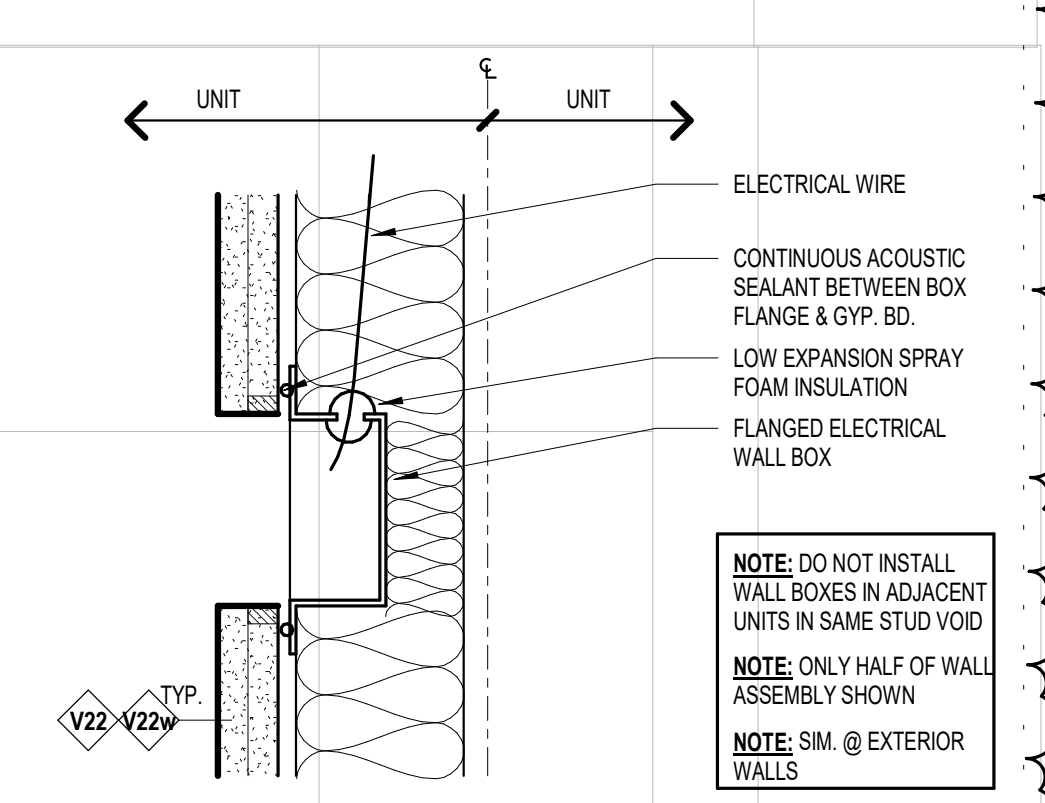
5 UNIT SEPARATION WALL - Callout 1
1 1/2" = 1'-0"



1 UNIT SEPARATION WALL 1
1/4" = 1'-0"



8 VAPOR SEAL AT FLOOR AT UNIT SEP WALL
3" = 1'-0"

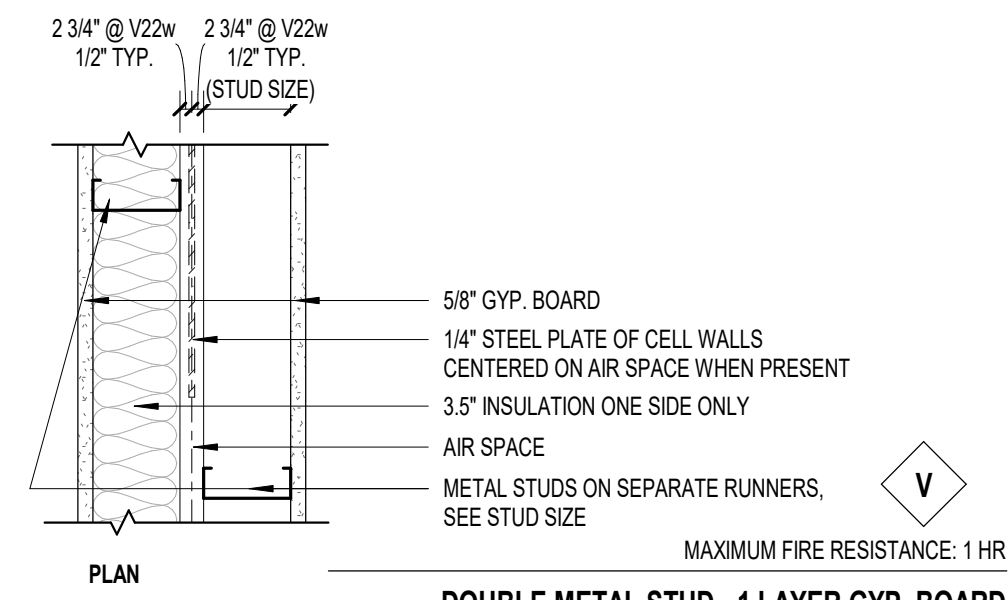


9 VAPOR SEAL @ WALL BOX
3" = 1'-0"

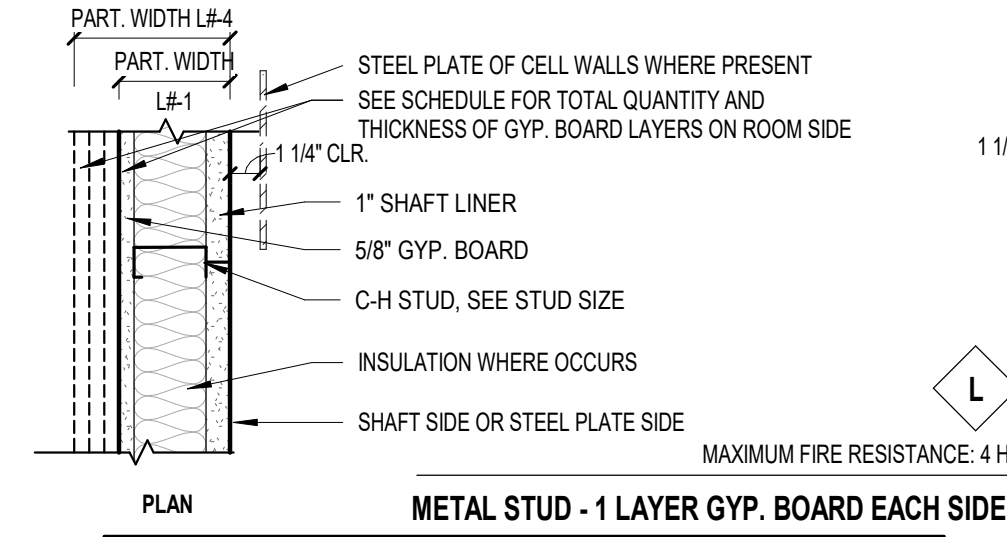
WALL TYPE NOTES:

THE FOLLOWING NOTES APPLY TO ALL WALL TYPES.

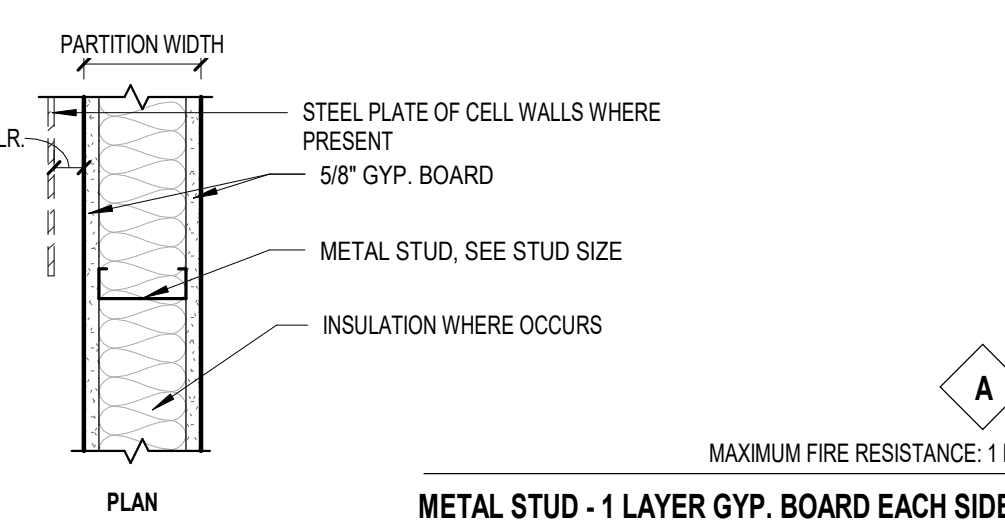
- ALL STUD WIDTHS ARE INDICATED IN WALL TYPES, BUT COLD FORMED STEEL STUD WALLS ARE TO BE DESIGNED BY SUPPLIER (GAUGE AND SPACING). ALL WALLS ARE TO BE DESIGNED TO SP58 LATERAL LOAD AND DEFLECTION CRITERIA OF U240. DESIGN FOR 3/8"-1/2" OF MOVEMENT AT THE TOP OF THE WALL TYPE.
- WALL AND PARTITION STANDARDS SHOWN ARE CONSIDERED MINIMUM STANDARDS. WHERE CONDITIONS OF THE WORK EXCEED THE MANUFACTURER'S RECOMMENDED LIMITS, REINFORCE THE WALL OR PARTITION AS REQUIRED.
- FOLLOW STRUCTURAL DETAILS, NOTES AND DRAWINGS FOR REINFORCING AND GROUTING IF THEY DIFFER FROM WHAT IS SHOWN IN THE WALL TYPE DETAILS.
- WHERE A CLEAR DIMENSION IS NOTED OR REQUIRED, DIMENSION SHALL BE FROM FACE OF WALL FINISH.
- WHERE PARTITIONS AND/OR WALLS ALIGN WITH FURRING, POSITION FURRING TO MAINTAIN A FLUSH FINISH ALONG THE COPLANAR EDGES.
- PROVIDE BLOCKING OR BACKER MATERIAL WITHIN WALL FOR ALL WALL MOUNTED EQUIPMENT SHOWN OR NOTED IN THE CONSTRUCTION DOCUMENTS.
- PROVIDE WATER RESISTANT GYPSUM BOARD IN AREAS THAT SURROUND JUNCTION SINKS AND AS REQUIRED BY CODE.
- PROVIDE TILE BACKER BOARD IN AREAS SCHEDULED TO RECEIVE TILE FINISH.
- SEE LIFE SAFETY PLANS FOR SMOKE AND FIRE RESISTANCE RATING REQUIREMENTS. RATINGS NOTED ON WALL TYPES ARE MAXIMUMS FOR THE ASSEMBLY AND MAY EXCEED THE ACTUAL FIRE RATINGS REQUIRED FOR THE PROJECT.
- AT ACOUSTICALLY RATED WALLS PROVIDE ACOUSTIC SEALANT AT ALL PENETRATIONS AND SOUND BATT INSULATION IN THE CAVITY.
- AT FIRE RATED WALLS/ PARTITIONS PROVIDE CAVITY INSULATION AS REQUIRED BY THE SCHEDULED FIRE TEST ASSEMBLY DESIGNATION.
- AT FIRE RATED ASSEMBLIES PROVIDE TYPE 'X' GYPSUM BOARD.
- ALL OPENINGS CUT, PENETRATIONS MADE, OR EQUIPMENT INSTALLED IN FIRE RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS, SHALL BE RESTORED, SEALED, FIRE-STOPPED OR OTHERWISE CONSTRUCTED OR REPAIRED TO MAINTAIN THE INTEGRITY OF THE FIRE RATING TO THE FULL SATISFACTION OF THE ARCHITECT, ENGINEER, AND BUILDING OFFICIAL. THE GENERAL CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR THIS WORK.
- INSTALLED WALL ASSEMBLIES MUST COMPLY WITH THE TESTED ASSEMBLY NOTED FOR THAT WALL TYPE. ONLY PRODUCTS NOTED IN THE TESTED ASSEMBLY ARE ACCEPTABLE FOR USE. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO SHOW COMPLIANCE WITH THE ASSEMBLY NOTED, OR PROPOSE AN EQUIVALENT TESTED ASSEMBLY USING THE DESIRED MATERIALS, FOR THE ARCHITECT, ENGINEER, AND BUILDING OFFICIAL TO REVIEW AND APPROVE.
- AT UNIT PARTITION WALLS, INSULATE THE BACKSIDE OF ALL RECEPTACLES.
- AT UNIT SEPARATION WALLS, PROVIDE INTUMESCENT WRAP AROUND RECEPTACLES AND OTHER ELECTRICAL BOXES. COORDINATE WITH ELECTRICAL.
- DO NOT INSTALL ELECTRICAL BOXES, PHONE BOXES, OR OTHER COMMUNICATION / DATA BOXES BACK-TO-BACK IN THE SAME STUD SPACE.
- PROVIDE MANUFACTURER APPROVED TERMINATIONS, FLASHINGS, AND ACCESSORIES FOR WATERPROOFING SYSTEMS. SEE APPROPRIATE SPECIFICATION SECTIONS FOR ADDITIONAL INFORMATION.



PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING w/INSULATION	SOUND TEST w/INSULATION	FIRE TEST	COMMENTS
V22	2 1/2" (2 1/2")	7 1/4"	58	TL09-593	U493	
V22w	2 1/2" (2 1/2")	11 3/4"	56	USG-020239	U493	

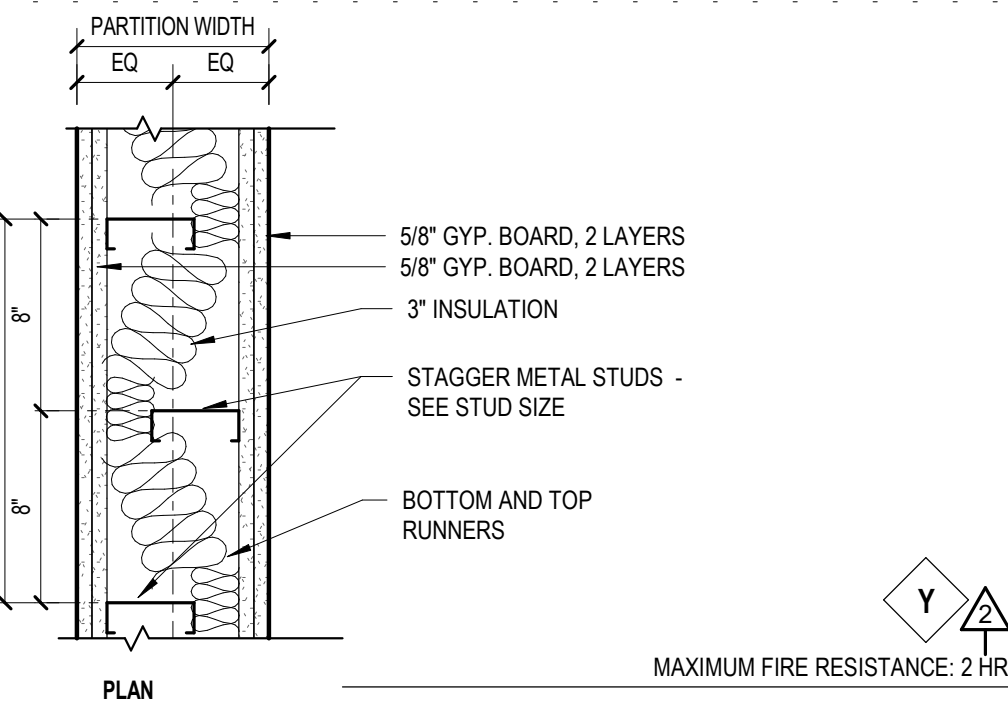


PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
L2-1	2 1/2"	3 1/8"	40-44	RAL-TL09-357	U415	1 LAYER 5/8" GYP BD
L2-2	2 1/2"	3 3/4"	48	38	RAL-OT04-019	2 LAYERS 1/2" OR 5/8" GYP BD
L6-1	6"	6 5/8"	--	--	U415	1 LAYER 5/8" GYP BD



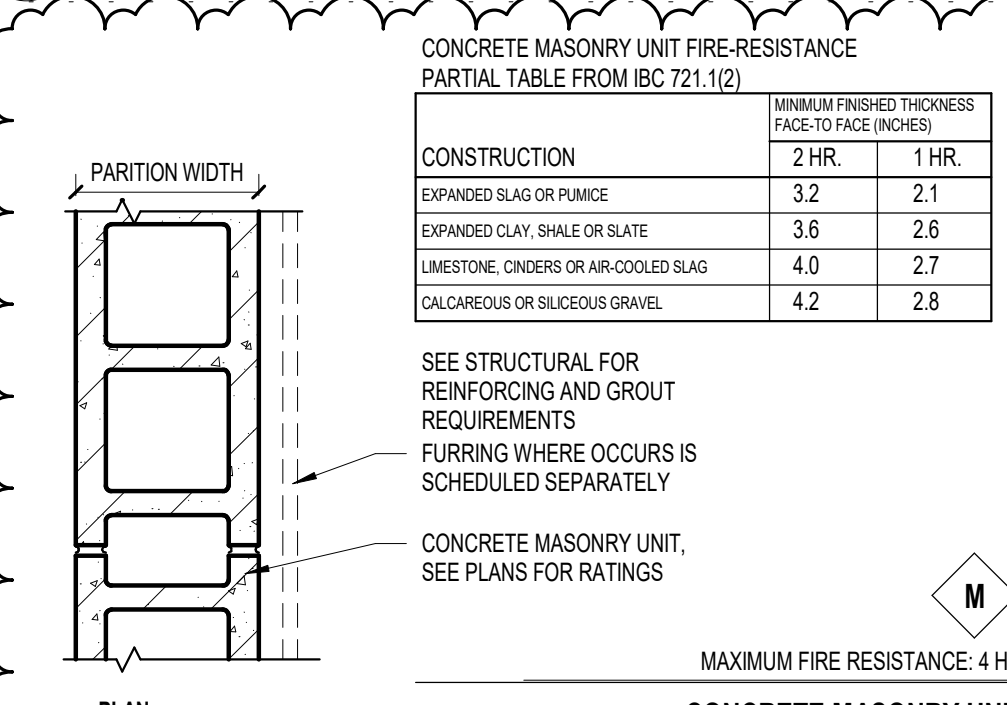
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
A1	1 5/8"	2 7/8"	--	--		GYP BD. TO BE INSTALLED VERTICALLY
A3	3 5/8"	4 7/8"	49	40	SA-870717	U465
A5	5 1/2"	6 3/4"	49	40	SA-870717	U465
A6	6"	7 1/4"	49	40	SA-870717	U465

V WALL TYPE V SERIES
1 1/2" = 1'-0"



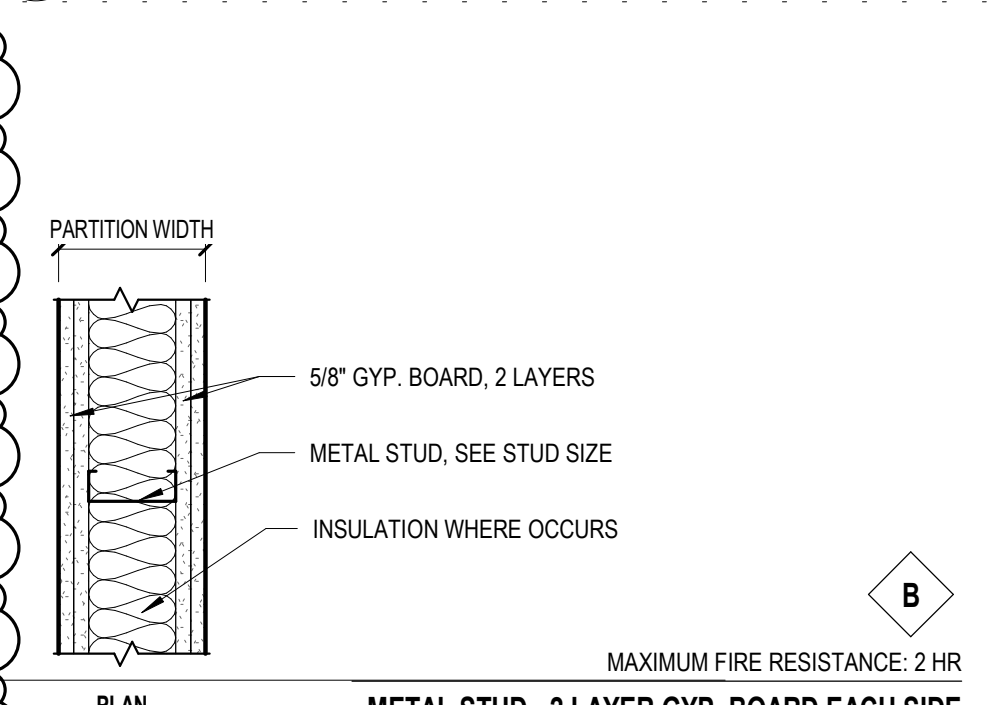
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING w/INSULATION	SOUND TEST w/INSULATION	FIRE TEST	COMMENTS
Y	3 5/8" (3 5/8")	8 1/2"	52	USG-020239	U493	

L WALL TYPE L SERIES
1 1/2" = 1'-0"



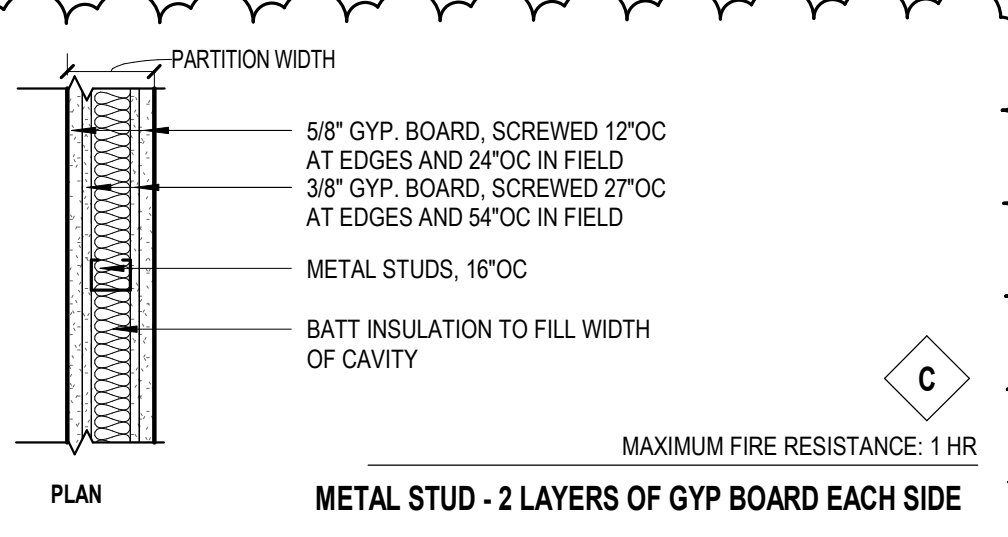
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
M4	3 5/8"	4"			U001	2HR - PER IBC TABLE 721.1(2) ITEM 3-1, Use chart above for CMU spec.
M6	5 5/8"	5 5/8"			U001	1HR - PER IBC TABLE 721.1(2) ITEM 3-1, Use chart above for CMU spec.
M8	7 5/8"	8"			U001	2HR - PER IBC TABLE 721.1(2) ITEM 3-1, Use chart above for CMU spec.

A WALL TYPE A SERIES
1 1/2" = 1'-0"



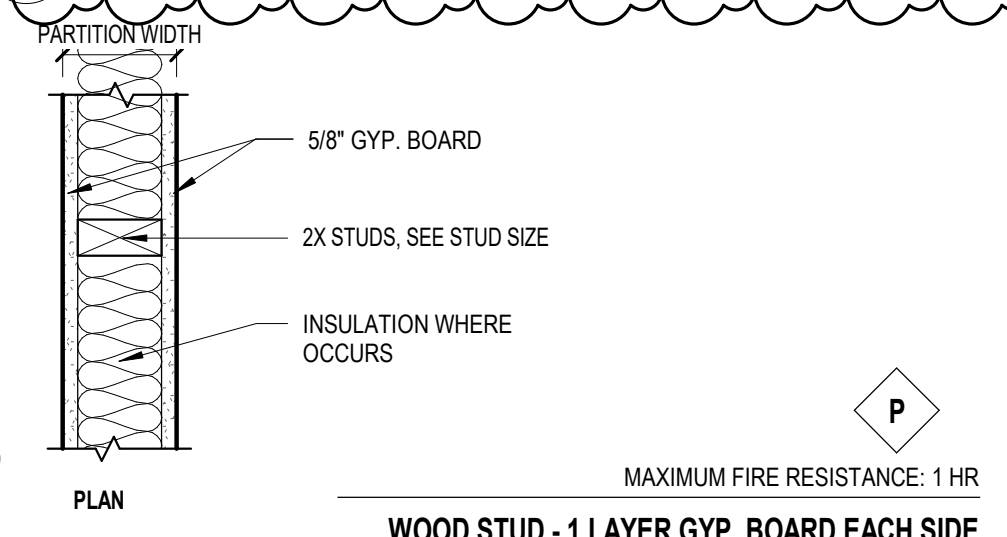
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
B1	1 5/8"	4 1/8"	--	--	U419	
B6	6"	8 1/2"	56	48	USG-940818	U411

Y WALL TYPE Y SERIES (UNIT SEP. - STAGGERED STUD)
1 1/2" = 1'-0"



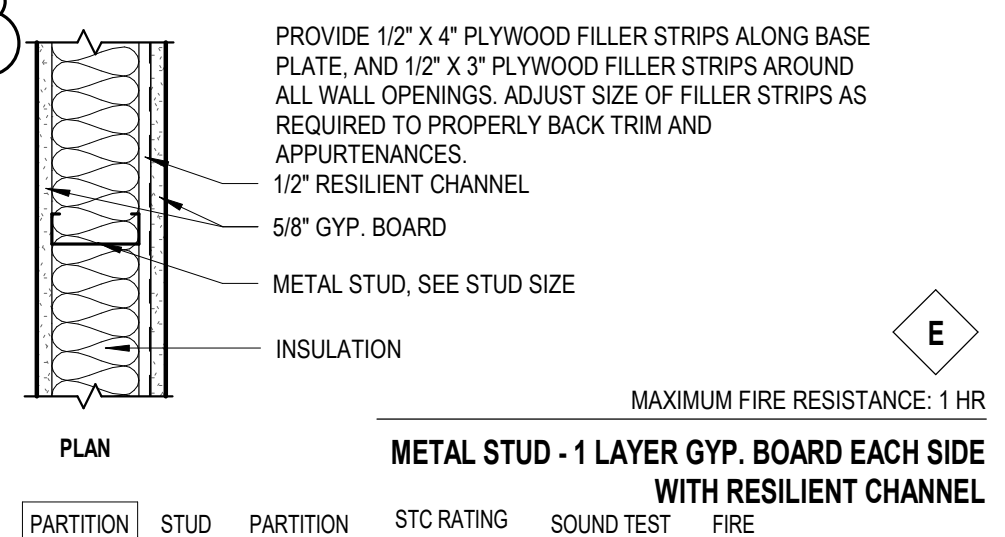
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
C1	2 1/2"	4 1/2"	51		KG-18	

M WALL TYPE M SERIES
1 1/2" = 1'-0"



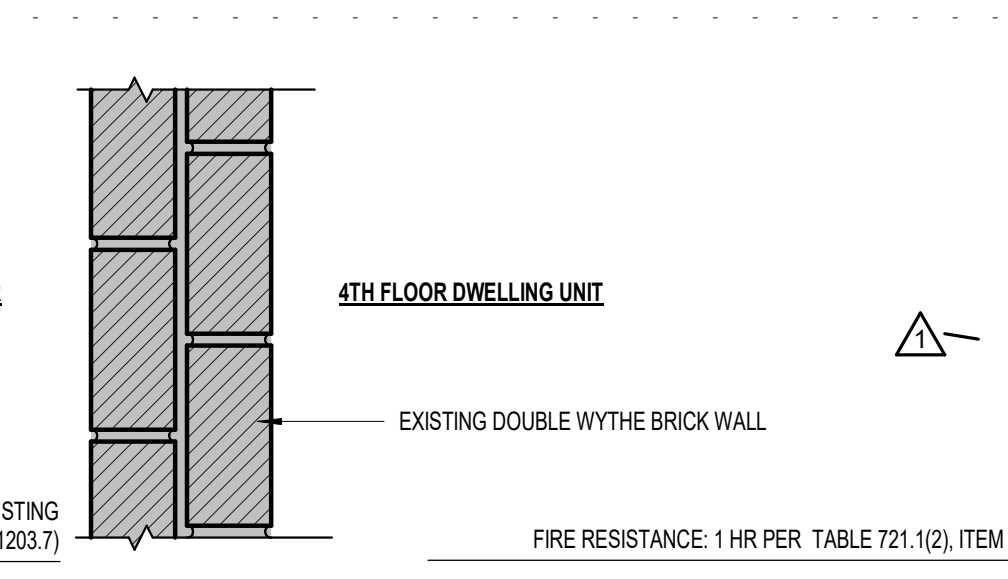
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
P4	2X4	4 3/4"	40	34	U305	
P6	2X6	6 3/4"	44	40	U305	

B WALL TYPE B SERIES
1 1/2" = 1'-0"



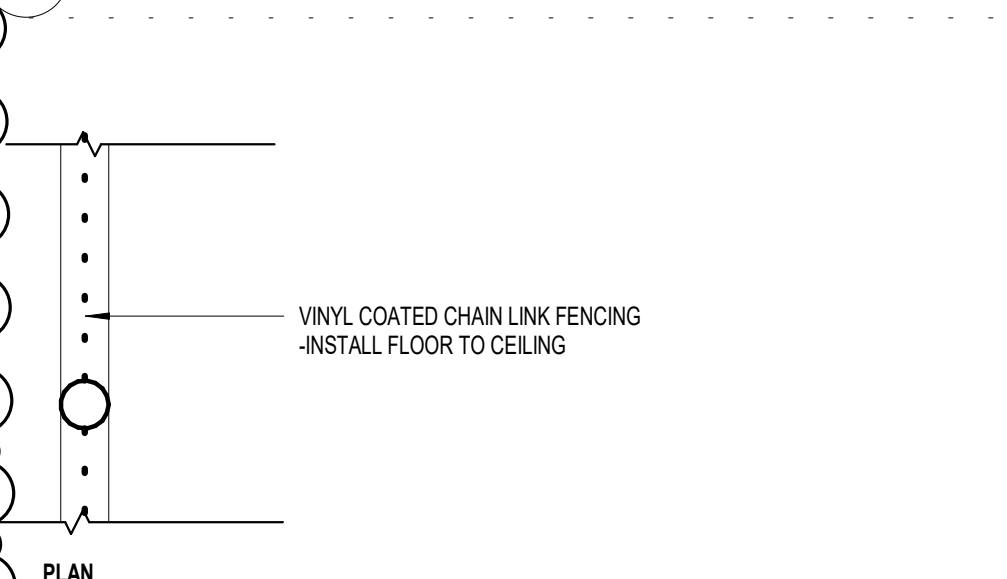
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
E3	3 5/8"	5 3/8"	54	--	RAL-TL-83-216	U451
E5	5 1/2"	7 1/4"	54	--	RAL-TL-83-216	U451

C WALL TYPE C SERIES
1 1/2" = 1'-0"



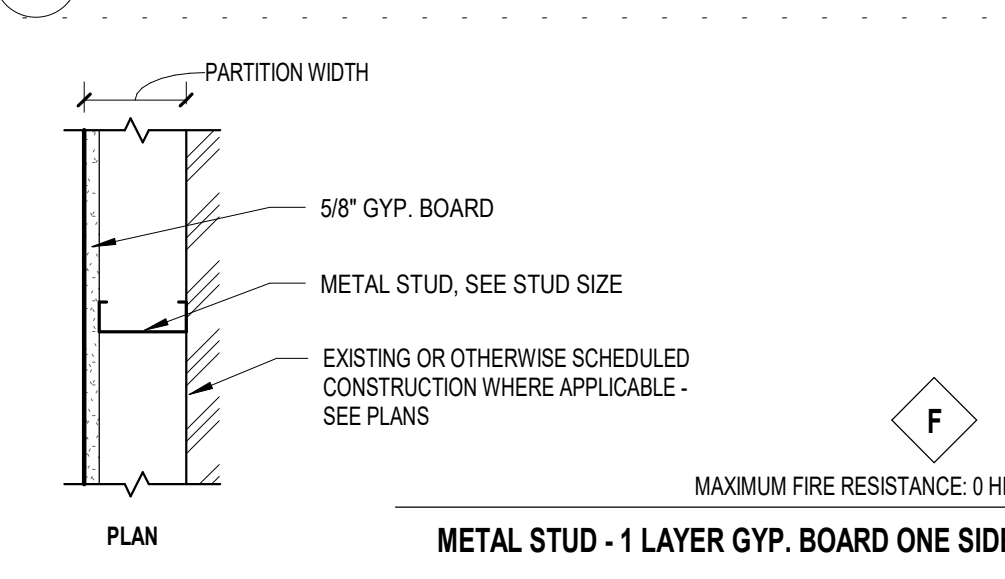
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
F0	NONE	5/8"				ENCAPSULATES CELL DOOR, SEE DETAILS
F1	1 5/8"	2 1/4"				
F3	3 5/8"	4 1/4"				
F5	5 1/2"	6 1/8"				
F7	1 5/8"	8 7/8"				

P WALL TYPE P SERIES
1 1/2" = 1'-0"



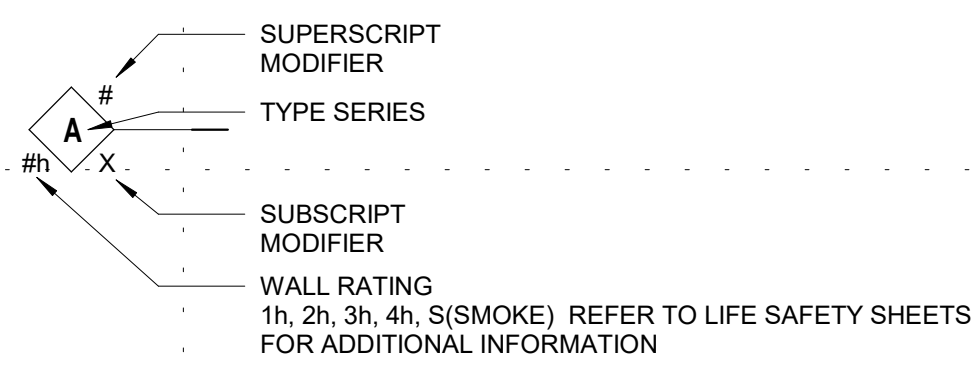
PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
F0	NONE	5/8"				ENCAPSULATES CELL DOOR, SEE DETAILS
F1	1 5/8"	2 1/4"				
F3	3 5/8"	4 1/4"				
F5	5 1/2"	6 1/8"				
F7	1 5/8"	8 7/8"				

E WALL TYPE E SERIES
1 1/2" = 1'-0"



PARTITION TYPE	STUD SIZE	PARTITION WIDTH	STC RATING INSUL. NO INSUL.	SOUND TEST W/INSUL.	FIRE TEST	COMMENTS
F0	NONE	5/8"				ENCAPSULATES CELL DOOR, SEE DETAILS
F1	1 5/8"	2 1/4"				
F3	3 5/8"	4 1/4"				
F5	5 1/2"	6 1/8"				
F7	1 5/8"	8 7/8"				

WALL TAG:



PARTITION SUBSCRIPT KEY:

- A** - ACOUSTICALLY RATED - FILL WITH ACOUSTIC INSULATION
- G** - GROUT FILL
- P** - WOOD PANELLING OVER GYP BOARD ON TAG SIDE
- 42"** - NUMBER INDICATES TOP OF WALL ABOVE FINISHED FLOOR
- NO SUBSCRIPT** - EXTEND ENTIRE PARTITION TO STRUCTURE ABOVE - NO ACOUSTICAL INSULATION

PARTITION SUPERScript NOTES:

- ADD LAYER(S) OF GYP TO ALIGN WALL FINISH WITH ADJACENT WALL
- ADHERE ONE LAYER 5/8" GYP BOARD TO TAG SIDE

BIM 360/180039 SL-C Jail Rehab into Housing/180039 St. Louis Co Housing Reuse A20.rvt
11/9/2021 4:45:37 PM

CLIENT:
New Burnham, LLC

**575 9th Street Southeast, Unit 215
Minneapolis, MN 55414**

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NO	DATE	ISSUED FOR
1/10/20	100% CONSTRUCTION DOCUMENTS	
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: **ANDREW MADSON**
Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
WALL TYPES

DRAWN BY: ADM
CHECKED BY: Checker
PROJ. NO: 180039

DRAWING NO: **A5.00**



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CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

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PROJECT NAME:

The Burnham - Historic St.
Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
FLOOR/CEILING
ASSEMBLIES

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO: 180039

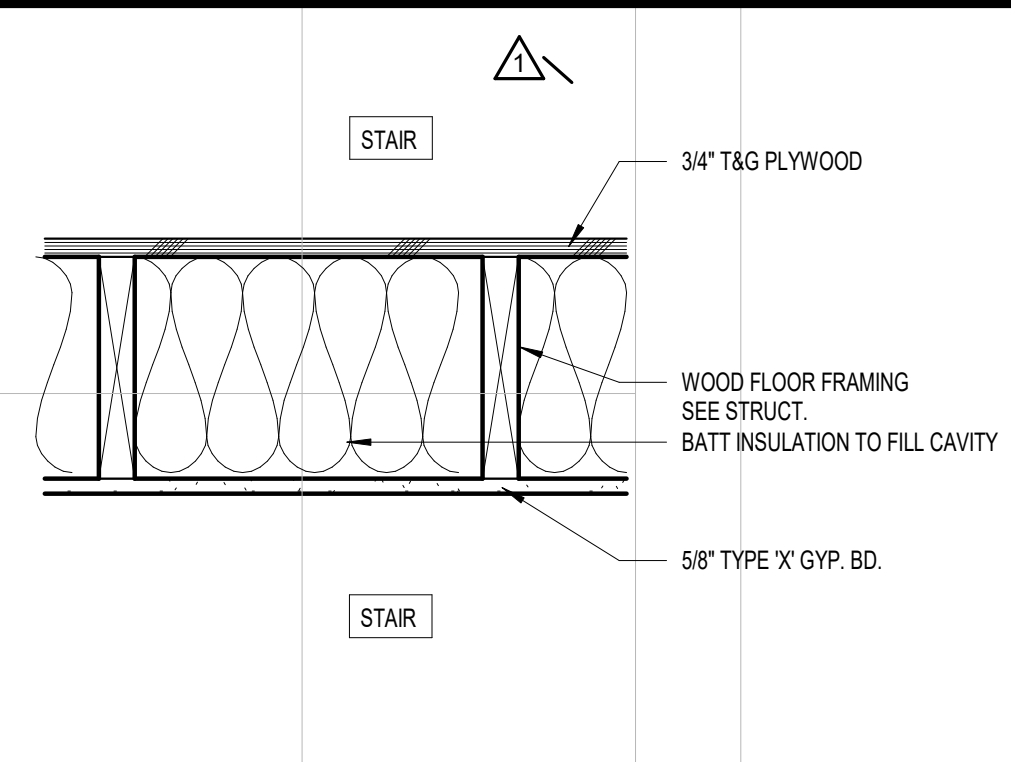
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A5.01

GENERAL SHEET NOTES

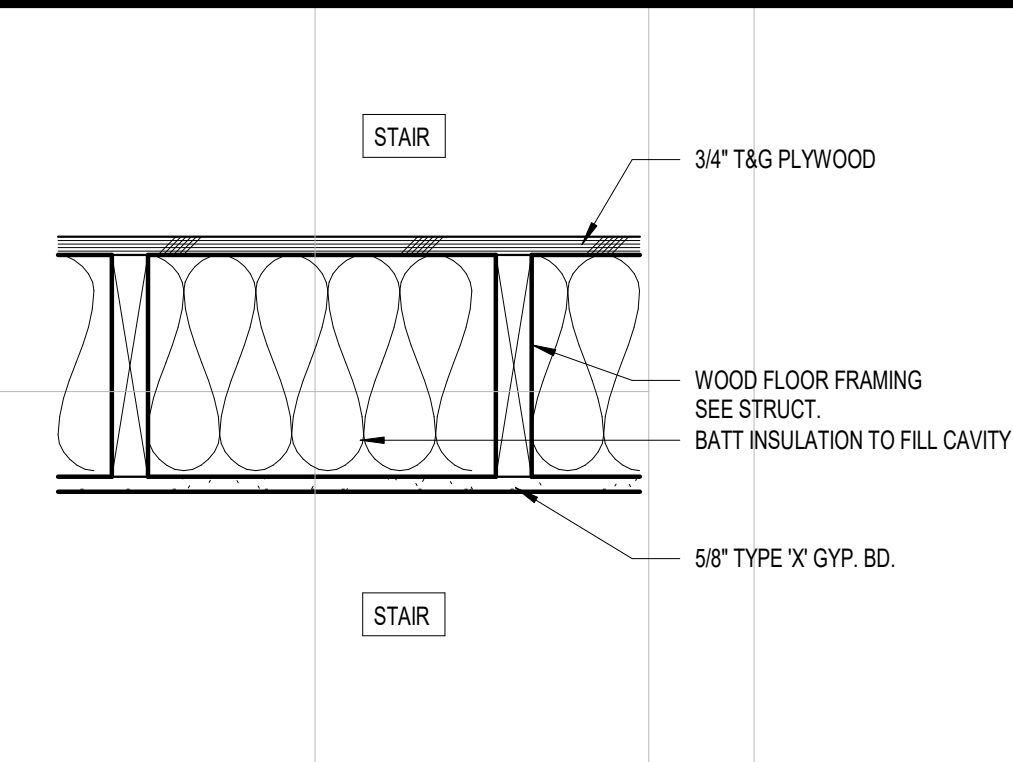
- SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
- SEE G0.10 FOR PROJECT NOTES INCLUDING:
 - GENERAL BUILDING PLAN NOTES
 - HISTORIC APPROVAL INFORMATION
 - GENERAL UNIT PLAN NOTES
 - GENERAL KITCHEN NOTES
 - GENERAL BATHROOM NOTES
 - GENERAL ELEVATOR NOTES
 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
 - GENERAL CUTTING AND PATCHING NOTES
- SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.

ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



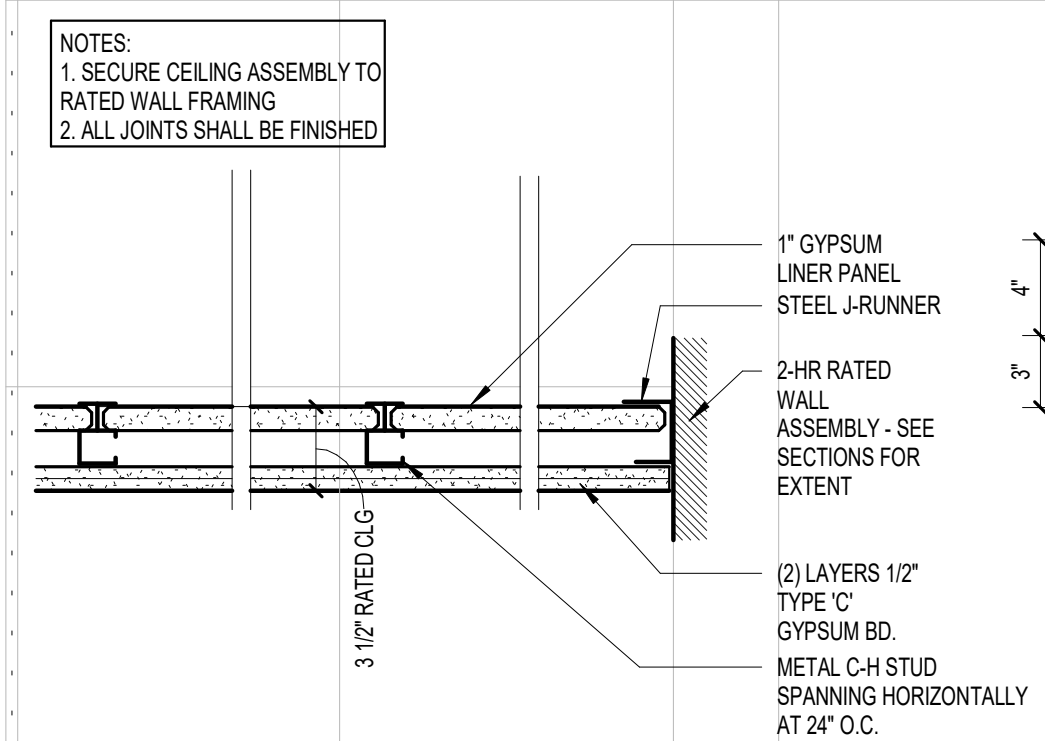
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1 HR	UL DESIGN NO. L501	-	-

8 STAIR LANDING @ FLOOR ELEVATIONS
1 1/2" = 1'-0"



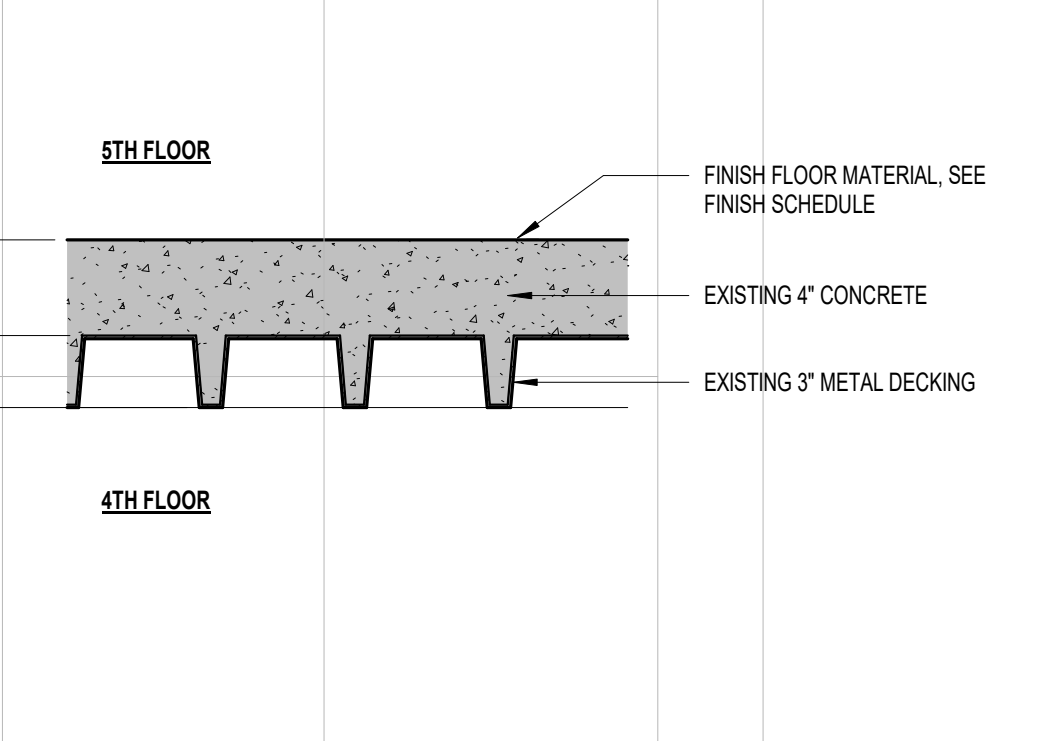
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-	-	-	-

4 STAIR LANDING @ INTERMEDIATE LANDINGS
1 1/2" = 1'-0"



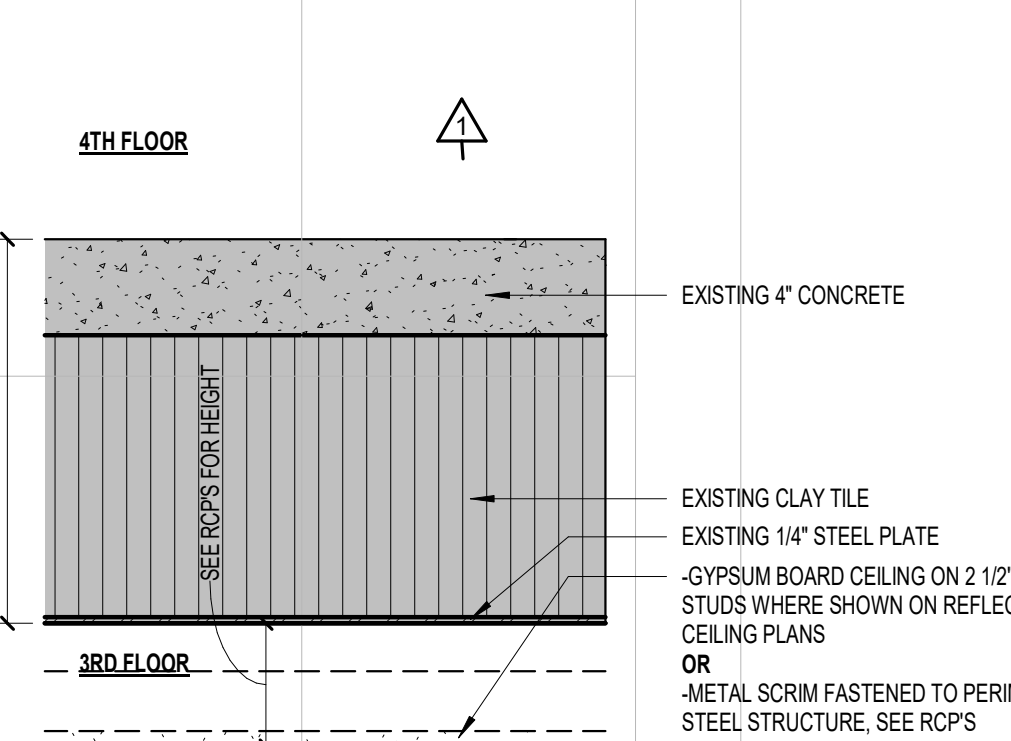
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2 HR	NER-258	N/A	N/A

17 2HR RATED LINER PANEL CEILING
1 1/2" = 1'-0"



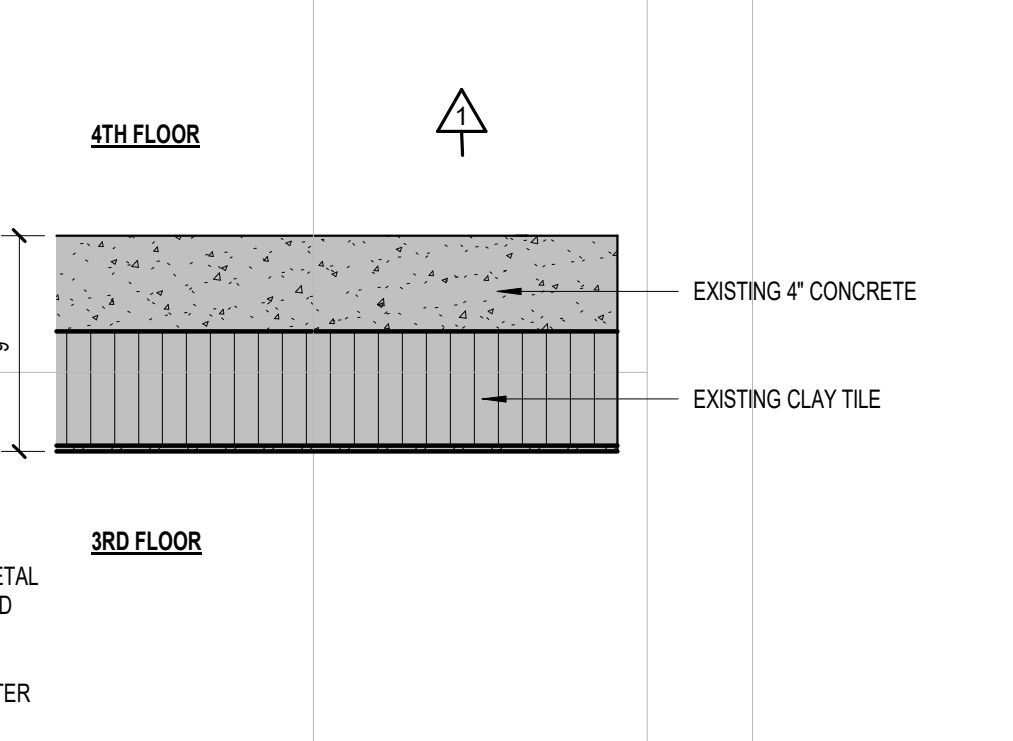
RATING	REFERENCE ASSEMBLIES	STC	IIC
1-HR	TABLE 722.2.1, SILICEOUS CONCRETE	-	-

13 CONCRETE OVER STEEL DECKING
1 1/2" = 1'-0"



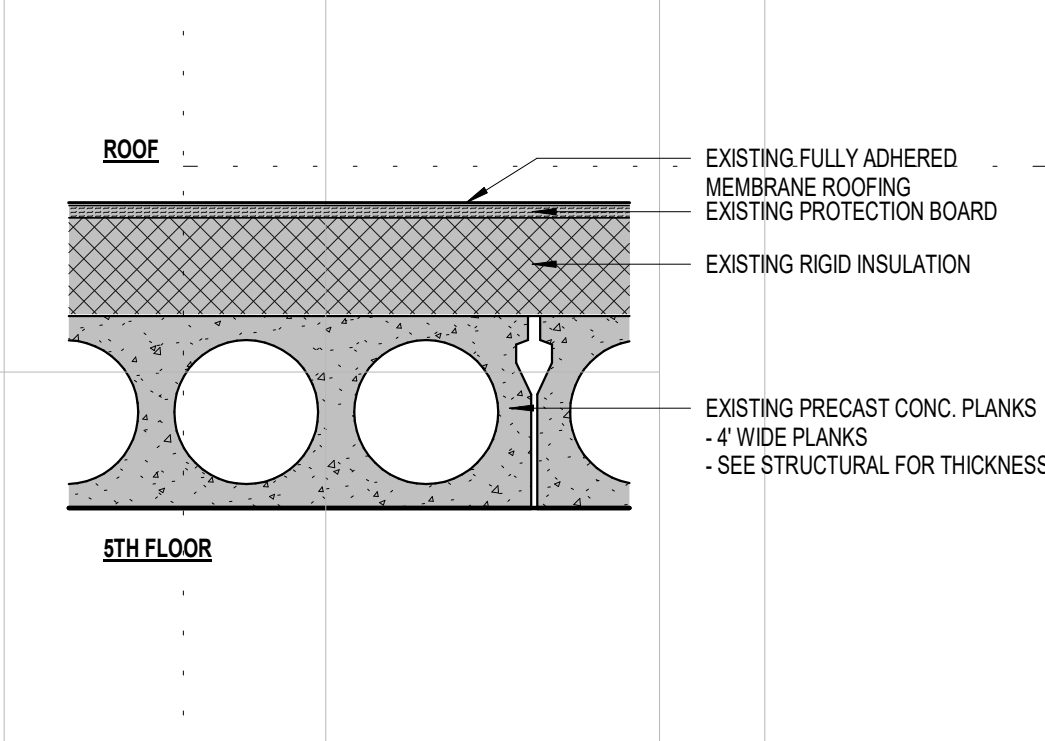
RATING	REFERENCE ASSEMBLIES	STC	IIC
2-HR	MNSBC TABLE 722.2.1, SILICEOUS CONCRETE	-	-

9 CONCRETE OVER CLAY TILE - 4TH FLOOR, 16"
1 1/2" = 1'-0"



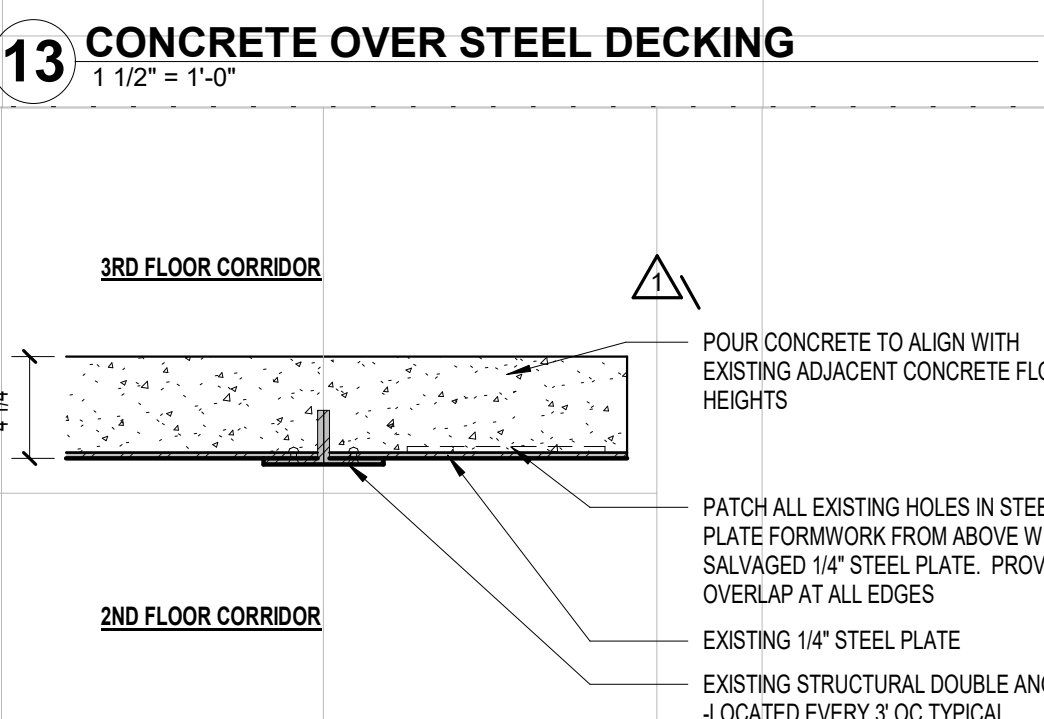
RATING	REFERENCE ASSEMBLIES	STC	IIC
2-HR	MNSBC TABLE 722.2.1, SILICEOUS CONCRETE	-	-

5 CONCRETE OVER CLAY TILE - 4TH FLOOR, 9"
1 1/2" = 1'-0"



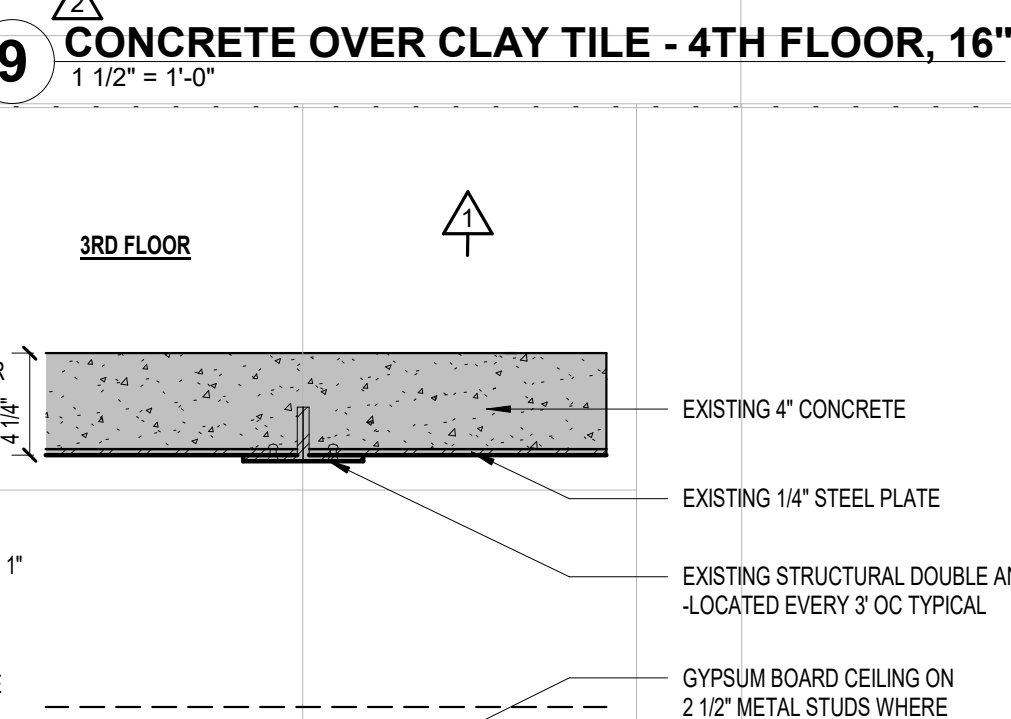
RATING	REFERENCE ASSEMBLIES	STC	IIC
1-HR	MNSBC TABLE 722.2.1.1	-	-

1 PRECAST PLANK - ROOF
1 1/2" = 1'-0"



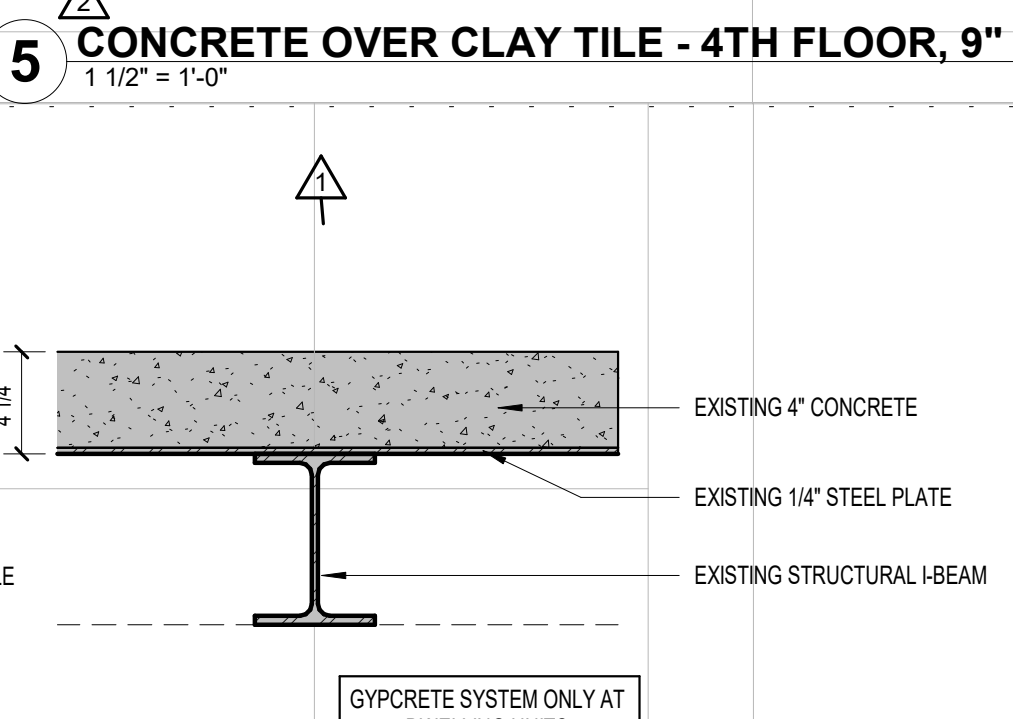
RATING	REFERENCE ASSEMBLIES	STC	IIC
1-HR	MNSBC TABLE 722.2.1, CONCRETE	-	-

14 CONCRETE OVER STEEL PLATE - NEW
1 1/2" = 1'-0"



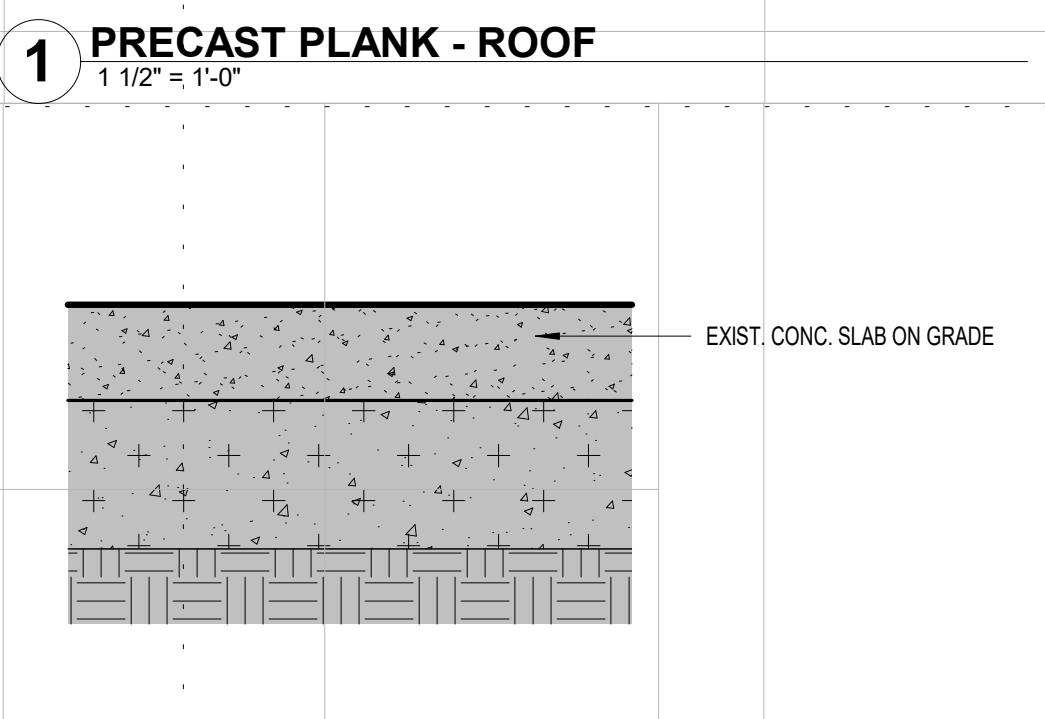
RATING	REFERENCE ASSEMBLIES	STC	IIC
1-HR	MNSBC TABLE 722.2.1, SILICEOUS CONCRETE	-	-

10 CONCRETE OVER STEEL PLATE - EXIST.
1 1/2" = 1'-0"



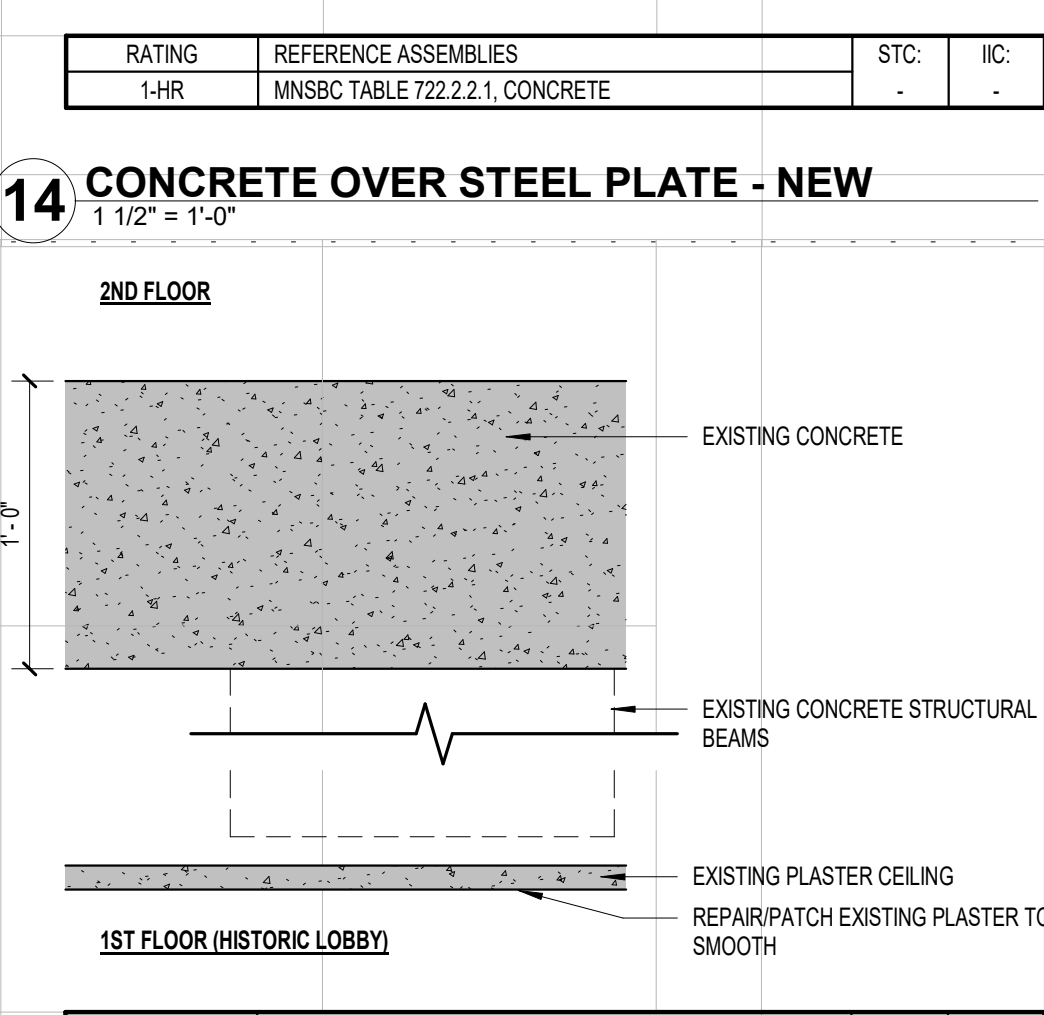
RATING	REFERENCE ASSEMBLIES	STC	IIC
1-HR	MNSBC TABLE 722.2.1, SILICEOUS CONCRETE	-	-

6 CONCRETE OVER STEEL PLATE/BEAMS
1 1/2" = 1'-0"



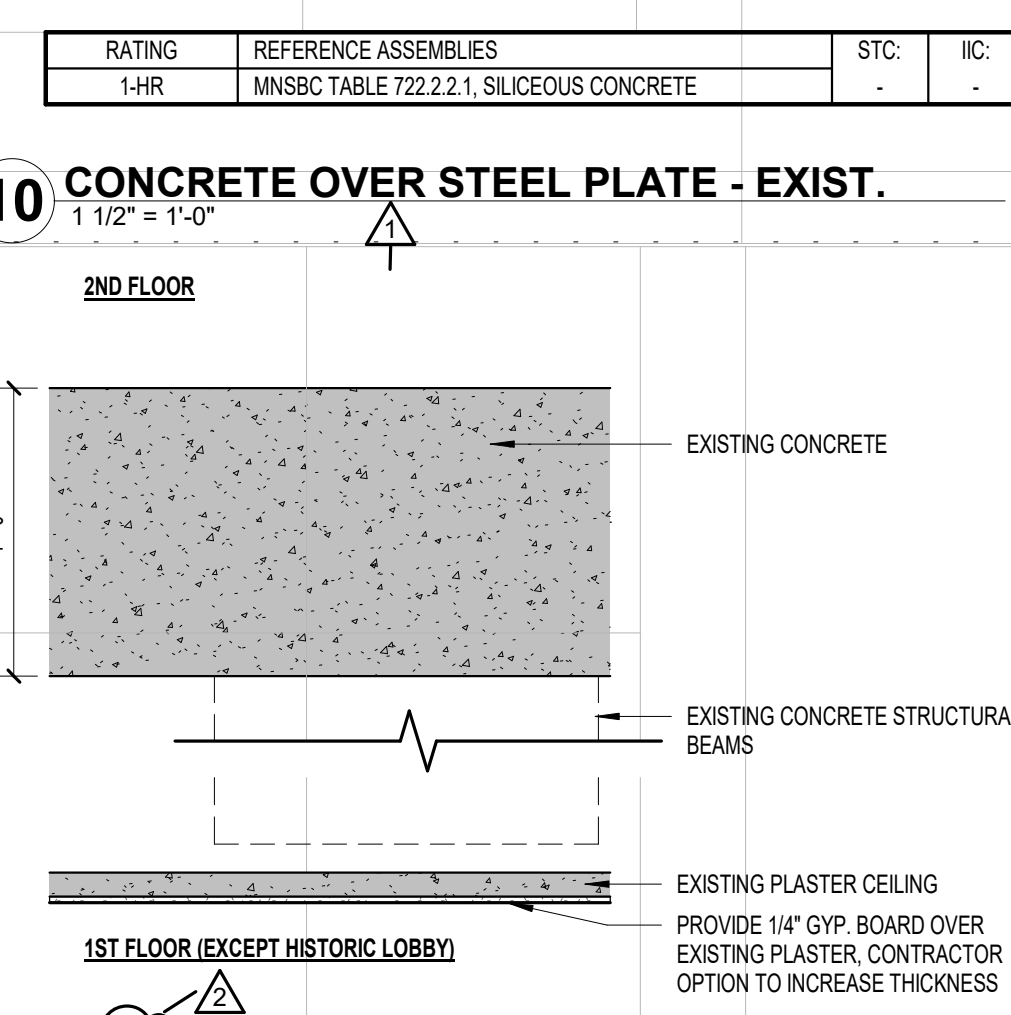
RATING	REFERENCE ASSEMBLIES	STC	IIC
NOT RATED	N/A	-	-

2 SLAB ON GRADE - EXISTING
1 1/2" = 1'-0"



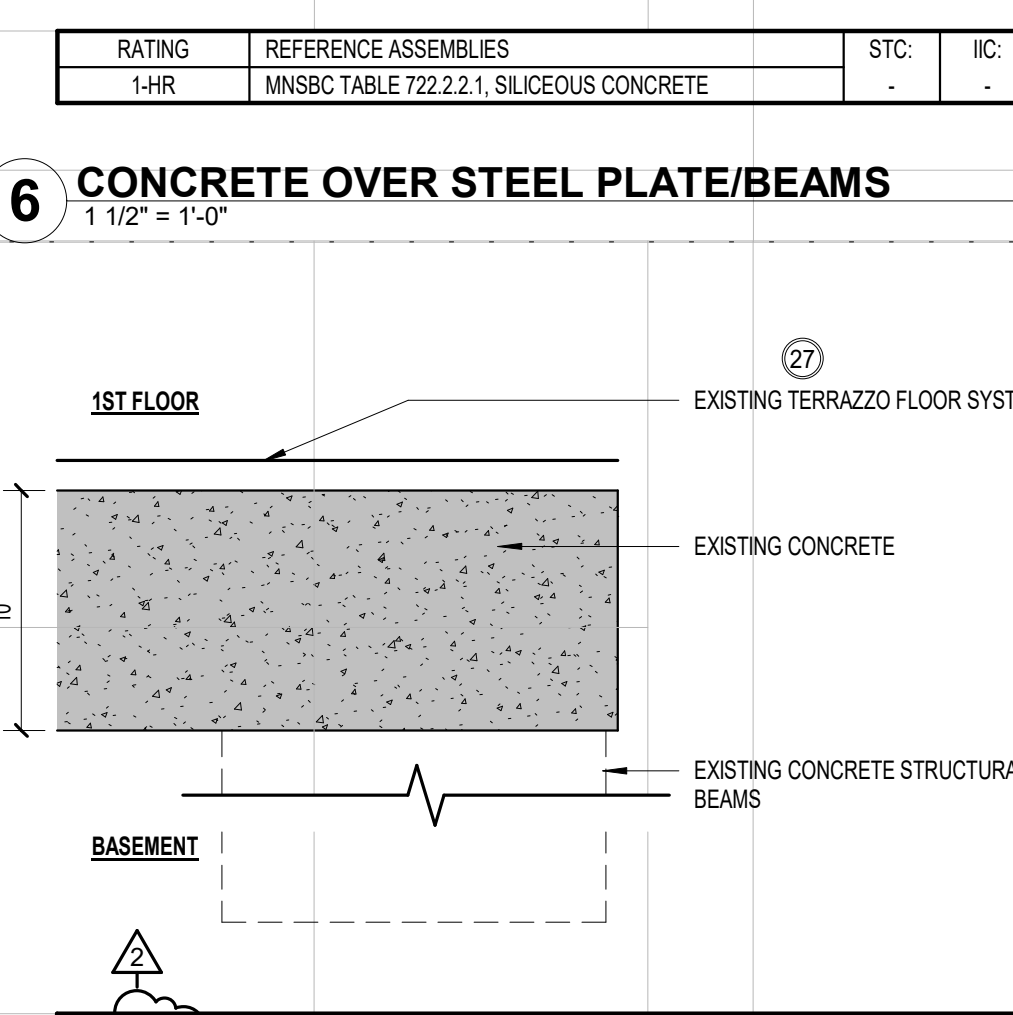
RATING	REFERENCE ASSEMBLIES	STC	IIC
1-HR	MNSBC TABLE 722.2.1, CONCRETE	-	-

15 CONCRETE OVER CONCRETE BEAMS 12" HISTORIC LOBBY
1 1/2" = 1'-0"



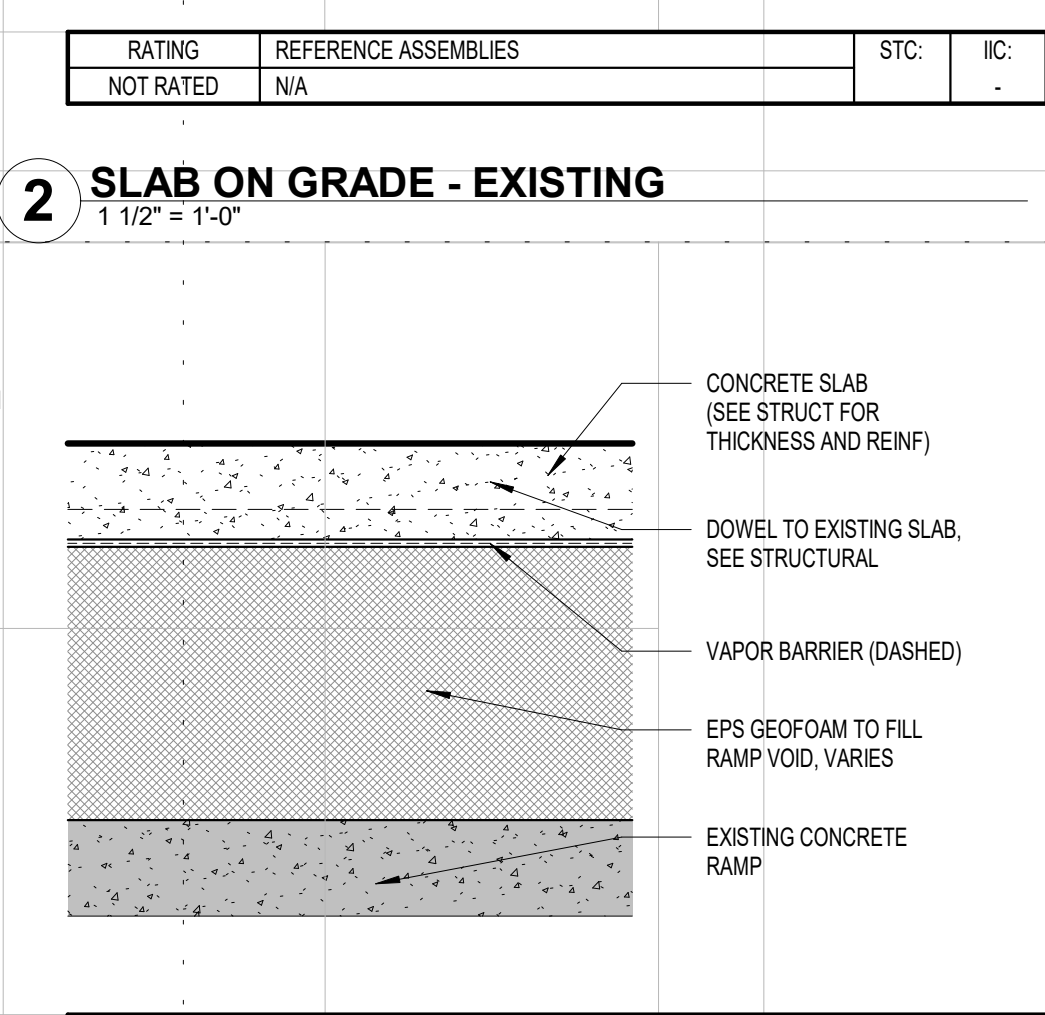
RATING	REFERENCE ASSEMBLIES	STC	IIC
2-HR	MNSBC TABLE 722.2.1, CONCRETE	-	-

11 CONCRETE OVER CONCRETE BEAMS 12"
1 1/2" = 1'-0"



RATING	REFERENCE ASSEMBLIES	STC	IIC
2-HR	MNSBC TABLE 722.2.1, CONCRETE	-	-

7 CONCRETE OVER CONCRETE BEAMS 10"
1 1/2" = 1'-0"



RATING	REFERENCE ASSEMBLIES	STC	IIC
NOT RATED	N/A	N/A	N/A

3 SLAB ON GRADE - RAMP INFILL
1 1/2" = 1'-0"

BIM 360/180039 S.L.C. Jail Rehab into Housing/180039 St. Louis Co Housing Reuse A20.rvt
11/9/2021 4:45:39 PM

DOOR AND FRAME SCHEDULE - COMMON AREAS															
DOOR NUMBER	DOOR					FRAME		DETAIL			GLAZING	FIRE RATING (MINUTES)	HDWR GROUP	COMMENTS	LAST REVISED
	LEAF QTY	WIDTH	HEIGHT	MATL	TYPE	MATL	TYPE	HEAD	JAMB	SILL					
LOWER BASEMENT															
0EA	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
006	1	3'-0"	6'-8"	HM	D11	KD	F10	13/A5.21	13/A5.21	-	-	0	20		
SBOA	1	3'-0"	6'-8"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	07		
UPPER BASEMENT															
001A	1	3'-0"	6'-8"	HM	D11	DW	F10	5/A5.21	5/A5.21	-	-	0	05		
001B	1	3'-0"	6'-8"	HM	D11	DW	F10	5/A5.21	5/A5.21	-	-	0	08		
002A	1	3'-0"	6'-8"	HM	D11	DW	F10	5/A5.21	5/A5.21	-	-	0	05		
002B	1	3'-0"	6'-8"	HM	D11	DW	F10	5/A5.21	5/A5.21	-	-	0	05		
003	1	3'-0"	6'-8"	HM	D10	DW	F10	5/A5.21	5/A5.21	-	-	0	23		
004	1	3'-0"	6'-8"	HM	D10	DW	F10	5/A5.21	5/A5.21	-	-	0	27		
005	1	3'-0"	6'-8"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	-	21		
008	1	3'-0"	6'-8"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	90	26		
SA0	1	3'-0"	6'-8"	HM	D11	WHM	F11	11/A5.21	11/A5.21	-	-	90	28		
GARAGE															
0EB	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
009A	2	8'-0"	7'-4"	AL	-	AL	F11	-	-	-	-	0	03	SEE A5.30	
009B	1	3'-0"	6'-8"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	10		
FIRST FLOOR															
1EA	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
100A	1	3'-0"	7'-0"	AL	-	AL	F10	-	-	-	-	0	01		
100B	1	3'-0"	6'-8"	HM	D13	WHM	F10	-	-	-	-	0	11		
115A	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	-		
115B	1	3'-6"	7'-0"	HM	D10	-	-	-	-	-	-	-	-		
E103	1	3'-0"	7'-0"	WD	D16	F12	6&10/A5.21	20/A5.21	-	-	-	-	15	SEE ADDITIONAL HISTORIC DOOR INFORMATION	
E104	1	3'-0"	7'-0"	WD	D16	F12	6&10/A5.21	20/A5.21	-	-	-	-	15	SEE ADDITIONAL HISTORIC DOOR INFORMATION	
E105	1	3'-0"	7'-0"	WD	D16	F12	6&10/A5.21	20/A5.21	-	-	-	-	15	SEE ADDITIONAL HISTORIC DOOR INFORMATION	
E106	1	3'-0"	7'-0"	WD	D16	F12	6&10/A5.21	20/A5.21	-	-	-	-	15	SEE ADDITIONAL HISTORIC DOOR INFORMATION	
E108	1	3'-0"	7'-0"	WD	D16	F12	6&10/A5.21	20/A5.21	-	-	-	-	15	SEE ADDITIONAL HISTORIC DOOR INFORMATION	
E109	1	3'-0"	7'-0"	WD	D10	-	-	-	-	-	-	-	15	SEE ADDITIONAL HISTORIC DOOR INFORMATION	
E116	2	4'-2"	7'-2"	MTL	-	F11	-	-	-	-	-	-	01	EXIST. HISTORIC RIOT DOORS	
SA1A	1	3'-0"	7'-0"	HM	D14	WHM	F10	-	-	-	-	90	07	FIRE-RATED GLAZING MARKING = D-H-T-W-90 PER MNSBC TABLE 716.1(2), note b, 716.1.2.3	ADD 2
SA1B	1	3'-0"	7'-0"	AL	D15	AL	F10	-	-	-	-	-	02		
SA1C	1	3'-0"	7'-0"	HM	D12	WHM	F10	-	-	-	-	-	-		
WARDEN'S ROOM															
1EB	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
SECOND FLOOR															
2E	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
209	1	3'-0"	6'-8"	HM	D10	DW	F10	7/A5.21	7/A5.21	-	-	45	24		
E210	1	2'-0"	6'-8"	HM	D10	-	-	-	-	-	-	-	-		
SA2A	1	3'-0"	6'-8"	HM	D11	WHM	F11	11/A5.21	11/A5.21	-	-	90	25		
SA2B	1	3'-0"	6'-8"	HM	D12	WHM	F10	-	-	-	-	-	-		
THIRD FLOOR															
3E	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
309	1	3'-0"	6'-8"	HM	D10	-	-	-	-	-	-	-	24		
SA3	1	3'-0"	6'-8"	HM	D10	WHM	F11	11/A5.21	11/A5.21	-	-	90	25		
FOURTH FLOOR															
4E	1	3'-6"	7'-10"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	06	MHO	
409	1	3'-0"	6'-8"	HM	D10	DW	F10	-	-	-	-	45	26		
SA4	1	3'-0"	8'-0 1/2"	HM	D10	WHM	F10	11/A5.21	11/A5.21	-	-	90	25		
FIFTH FLOOR															
503	1	3'-0"	7'-0"	HM	D10	KD	F10	13/A5.21	13/A5.21	-	-	45	26		
E500B	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	09		
E501	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	-		
E502	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	09		
ESB5A	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	22		
ESB5B	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	22		
PENTHOUSE FLOOR															
600	1	3'-0"	7'-0"	HM	D10	-	-	-	-	-	-	-	04		

ADDITIONAL INFORMATION FOR HISTORIC DOORS - SLC Jail 1st floor Doors
E103 (unit entry)
 Frame: move to be unit entry frame for unit 103
 Door: 36" x 84" x 1 1/4", missing, provide new door to match door E105
 Transom: YES
E104 (unit entry)
 Frame: move to be unit entry frame for unit 104
 Door: 36" x 84" x 1 1/4", missing, provide new door to match door E105
 Transom: YES
E105 (unit entry)
 Frame: to remain
 Door: 36" x 84" x 1 1/4"
 Transom: Missing, install transom from E108 opening
E106 (unit entry)
 Frame: move to be unit entry frame for unit 106
 Door: 36" x 84" x 1 1/4", install in frame E109 (provide pic), provide new door to match door E105
 Transom: Missing, provide new transom to match others
E108 (interior opening in unit)
 Frame: to remain
 Door: 36" x 84" x 1 1/4", missing, do not install new door
 Transom: YES, remove and install at opening E105
E109 (toilet room)
 Frame: to remain
 Door: 36" x 84" x 1 1/4", to be demo'd, use door from opening E106
 Transom: YES
 **All transom units are 36" wide x 22" tall

GENERAL DOOR SCHEDULE ABBREVIATIONS:

△	AL	Aluminum
△	CH	Chainlink
△	CL	Closer
△	DW	Drywall (3 piece frame w/ snap-on trim)
△	F	FOB Access
△	HB	Hard Board
△	HC	Hollow Core (Door)
△	HM	Hollow Metal
△	KD	Knock Down (3 piece frame w/ integral trim)
△	MHO	Magnetic Hold Open
△	NO-DO	No Door Operator
△	OH-INS	Overhead Insulated (Door)
△	SM	Smoke Gasketing
△	VP	View Panel
△	WD	Wood
△	WHM	Welded Hollow Metal (Frame)



701 Washington Ave. N. Ste 200 | Minneapolis, MN 55401 | 612.338.2029

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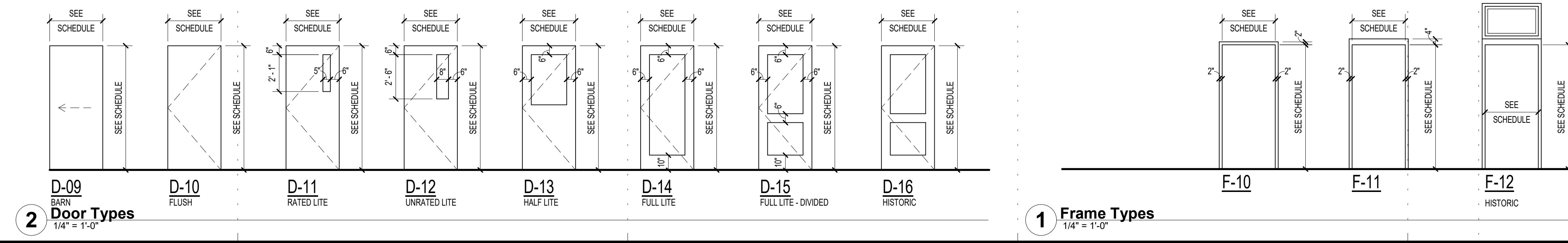
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Duluth, MN 55802

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DOOR SCHEDULE and FRAME TYPES

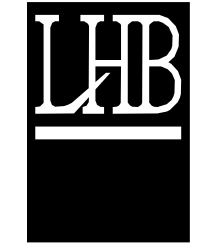
DRAWN BY: Author
 CHECKED BY: Checker
 PROJ. NO: 180039

DRAWING NO: **A5.20**

DOOR AND FRAME SCHEDULE - UNITS															
ID Type Mark	DOOR					FRAME		DETAIL			GLAZING	FIRE RATING (MINUTES)	HDWR GROUP	COMMENTS	LAST REVISED
	LEAF QTY	WIDTH	HEIGHT	MATL	TYPE	MATL	TYPE	HEAD	JAMB	SILL					
U01	1	3'-0"	6'-8"	CH	D-10	-	-	-	1/A5.21, 4/A5.21	-	-	-	-	TENANTS TO PROVIDE LOCKS	ADD 1
U10	1	3'-0"	7'-0"	HB	D-10	DW	F-10	7/A5.21	7/A5.21	14/15.21	-	45	15		
U12	1	3'-0"	8'-2"	HB	D-10	WHM	F-10	11/A5.21	11/A5.21	-	-	45	15		ADD 1
U20	1	2'-10"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	16		
U21	1	3'-0"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	16		
U22	1	2'-6"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	16		
U30	1	2'-10"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	16		
U31	1	3'-0"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	16		
U41	1	2'-0"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	17		
U43	1	2'-6"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	17		
U44	1	2'-8"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	17		
U45	1	2'-10"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	17		
U51	2	3'-6"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	14		
U52	2	4'-0"	6'-8"	HC	D-10	DW	F-10	5/A5.21	5/A5.21	-	-	-	14		
U90	1	3'-2"	6'-8"	HB	D-09	-	-	17/A5.21	18/A5.21	-	-	-	13		



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The Burnham - Historic St.
Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

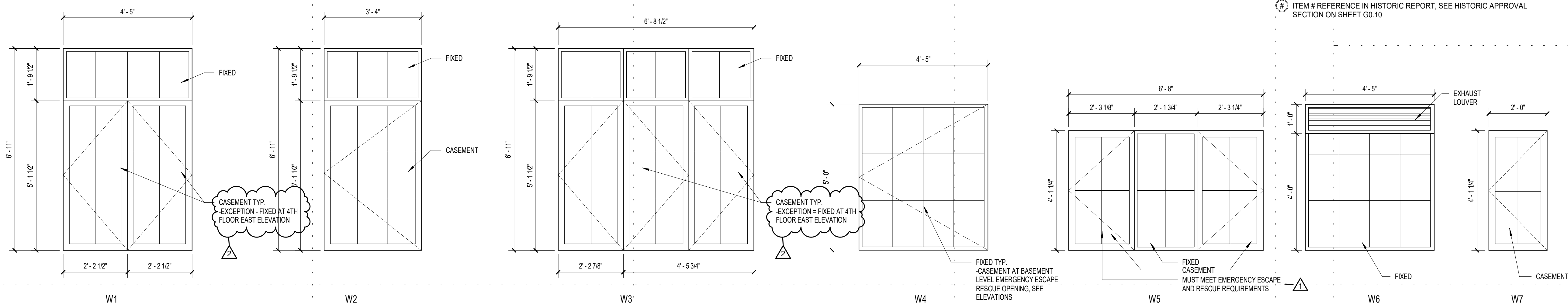
DRAWING TITLE:
WINDOW AND DOOR
TYPES

DRAWN BY: Author
CHECKED BY: Checker
PROJ. NO.: 180039

DRAWING NO.:

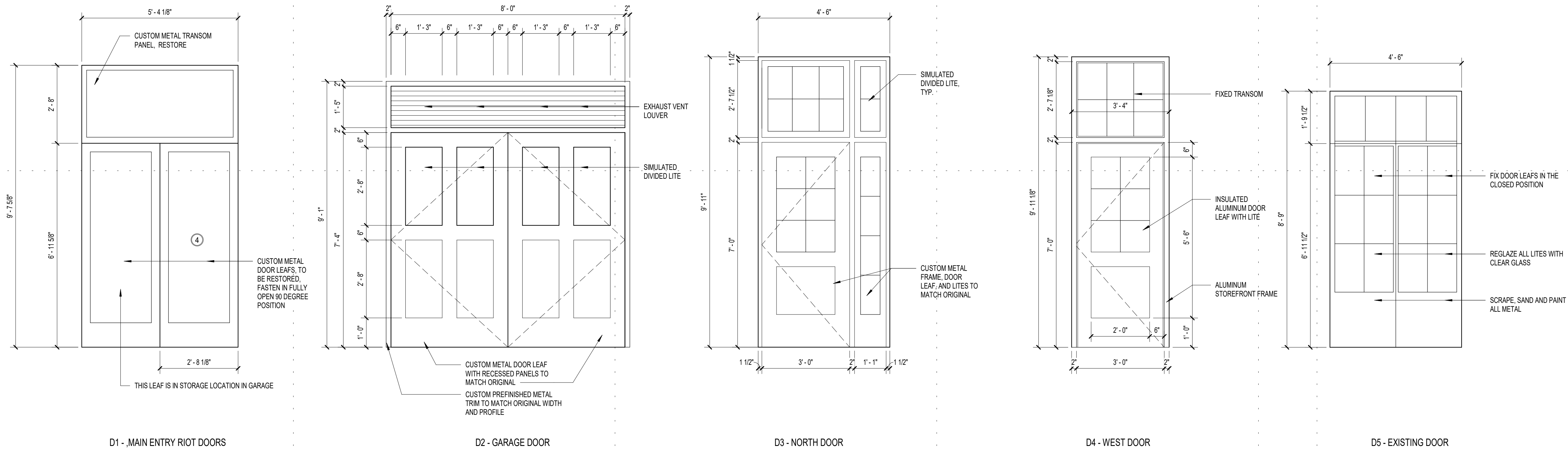
A5.30

ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10



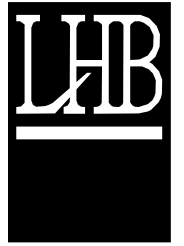
NOTES:
-MUNTIN BARS ARE 3/4", SIMULATED DIVIDED LIGHTS WITH SPACER
-LOWEST TIER OF BARS SHALL BE RETAINED AT ALL OPERABLE WINDOW LOCATIONS TO ACT AS FALL PROTECTION WHERE GRADE IS > 72" BELOW THE LOWEST PART OF THE OPENING
* ALL DIMENSIONS TO BE FIELD VERIFIED.

1 WINDOW TYPES
1/2" = 1'-0"



2 DOOR TYPES
1/2" = 1'-0"

BIM 360/180039 St. Louis County Jail Rehab into Housing/180039 St. Louis Co. Housing Release A20.rvt
11/20/21 1:45:16 PM



CLIENT:
New Burnham, LLC

**575 9th Street Southeast, Unit 215
Minneapolis, MN 55414**

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

NO	DATE	ISSUED FOR
1/10/20	100% CONSTRUCTION DOCUMENTS	
2	11/11/2021	ASI 1
1	7/12/2021	ADDENDUM 1
NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: **ANDREW MADSON**

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

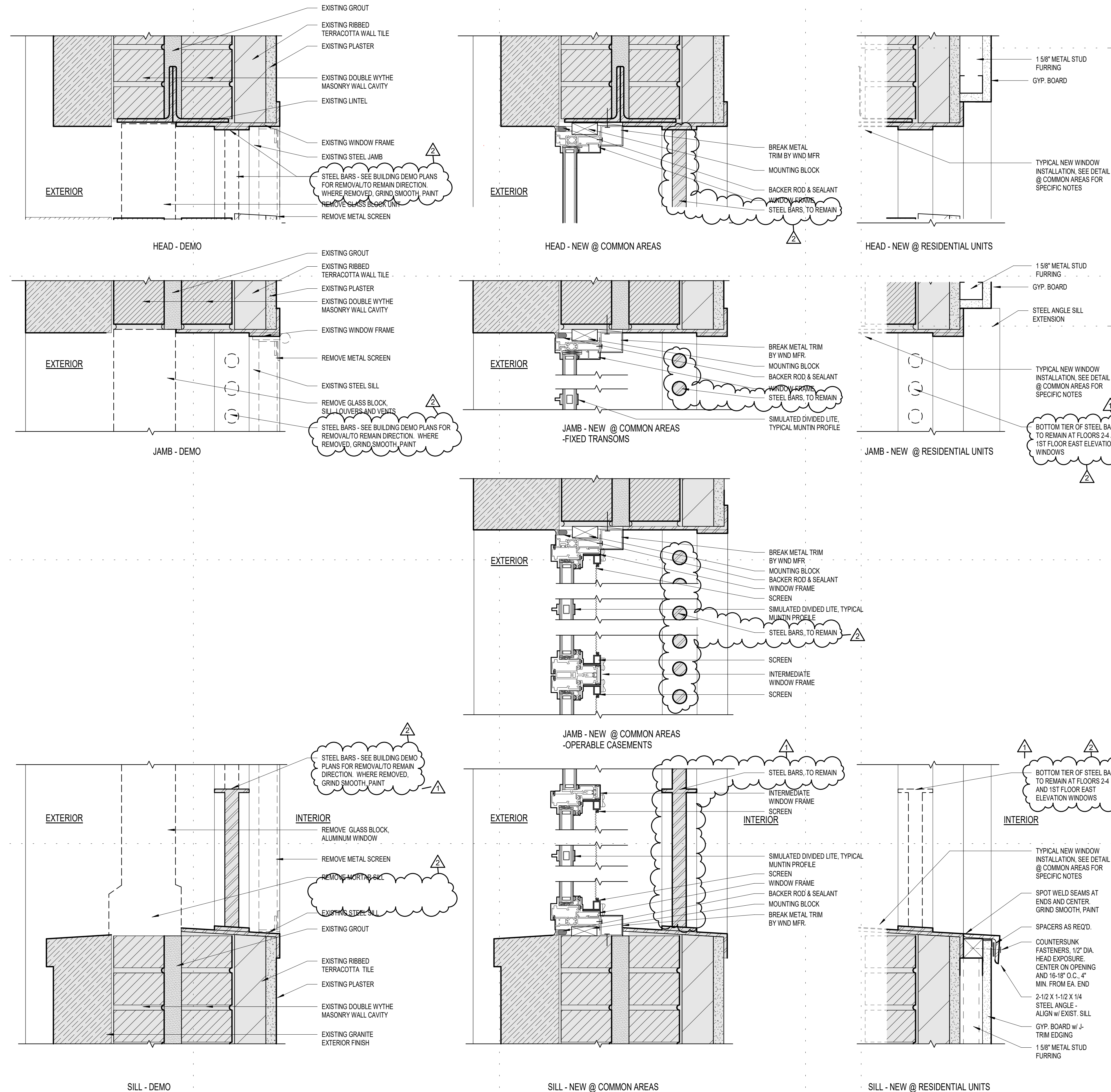
**521 W. 2ND STREET
Duluth, MN 55802**

DRAWING TITLE:
WINDOW DETAILS

DRAWN BY: AUTHOR
CHECKED BY: CHECKER
PROJ. NO: 180039

DRAWING NO:

A5.31





PERFORMANCE
DRIVEN DESIGN.
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701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

GENERAL SHEET NOTES

- SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
- SEE G0.10 FOR PROJECT NOTES INCLUDING:
 - GENERAL BUILDING PLAN NOTES
 - HISTORIC APPROVAL INFORMATION
 - GENERAL UNIT PLAN NOTES
 - GENERAL KITCHEN NOTES
 - GENERAL BATHROOM NOTES
 - GENERAL ELEVATOR NOTES
 - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
 - GENERAL CUTTING AND PATCHING NOTES
- SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.

ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

CLIENT:

New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

1/10/20	100% CONSTRUCTION DOCUMENTS
NO	DATE ISSUED FOR

2	11/11/2021	ASI 1
NO	DATE	REVISION

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Typed or Printed Name: ANDREW MADSON

Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:

The Burnham - Historic St.
Louis County Jail

521 W. 2ND STREET
Duluth, MN 55802

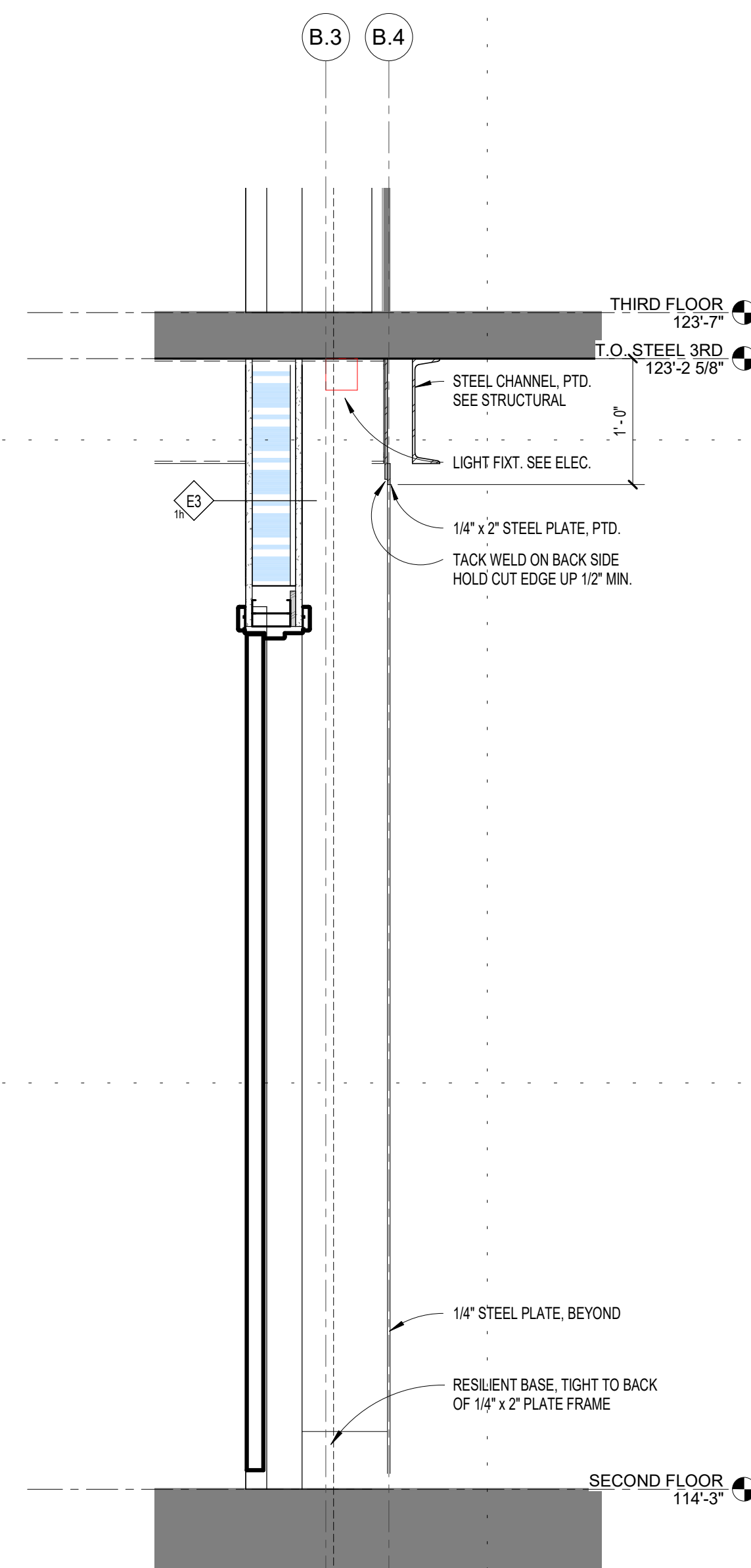
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INTERIOR DETAILS

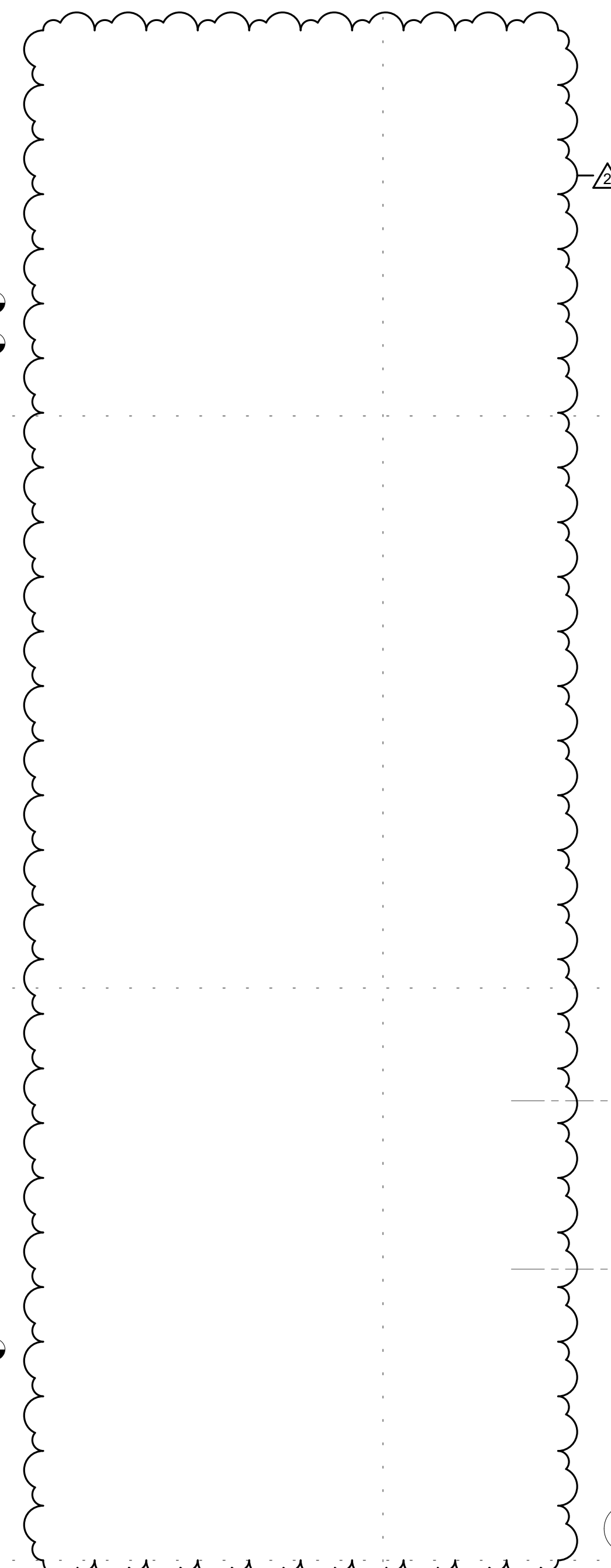
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CHECKED BY: Checker
PROJ. NO: 180039

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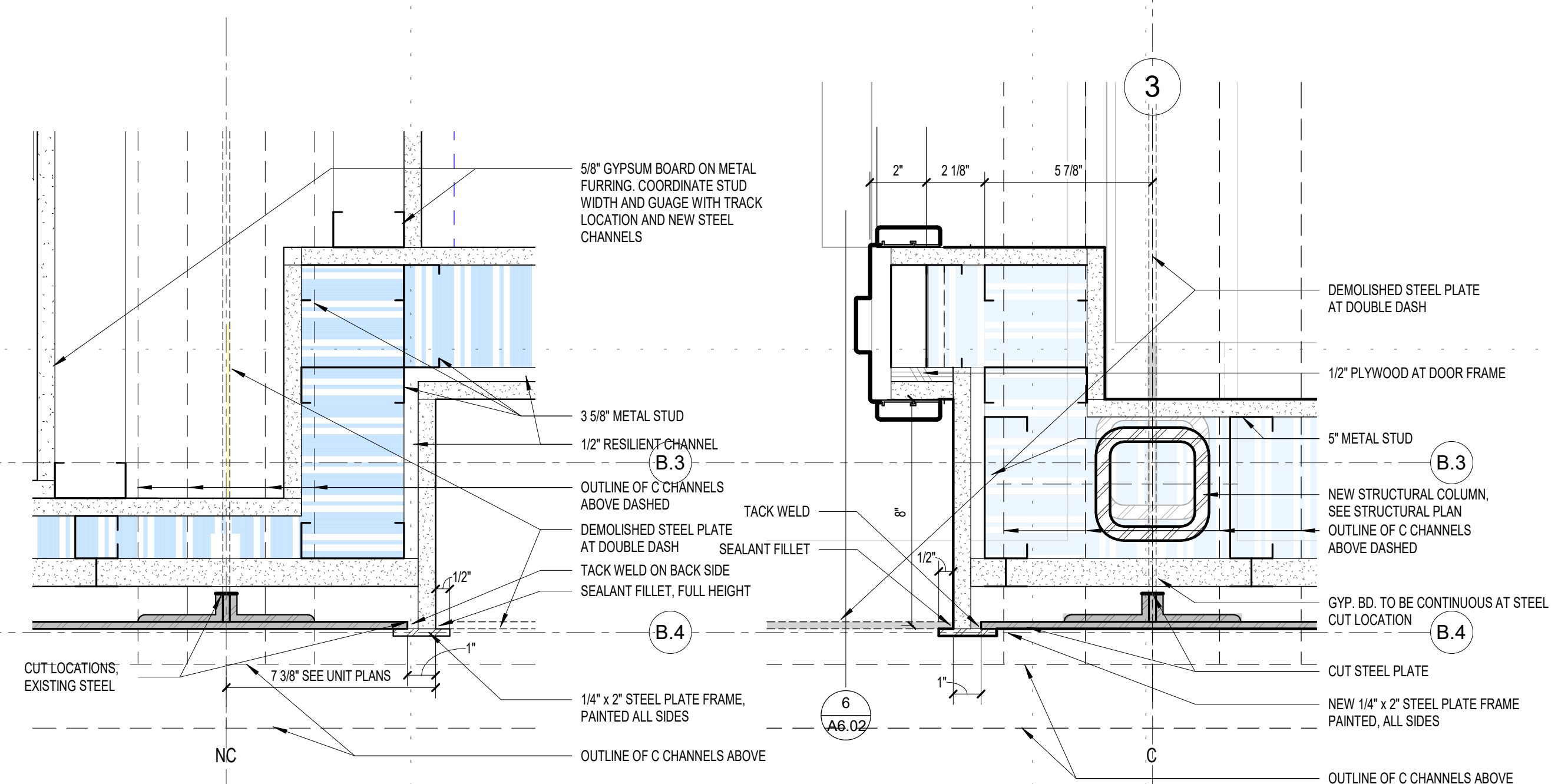
A6.02



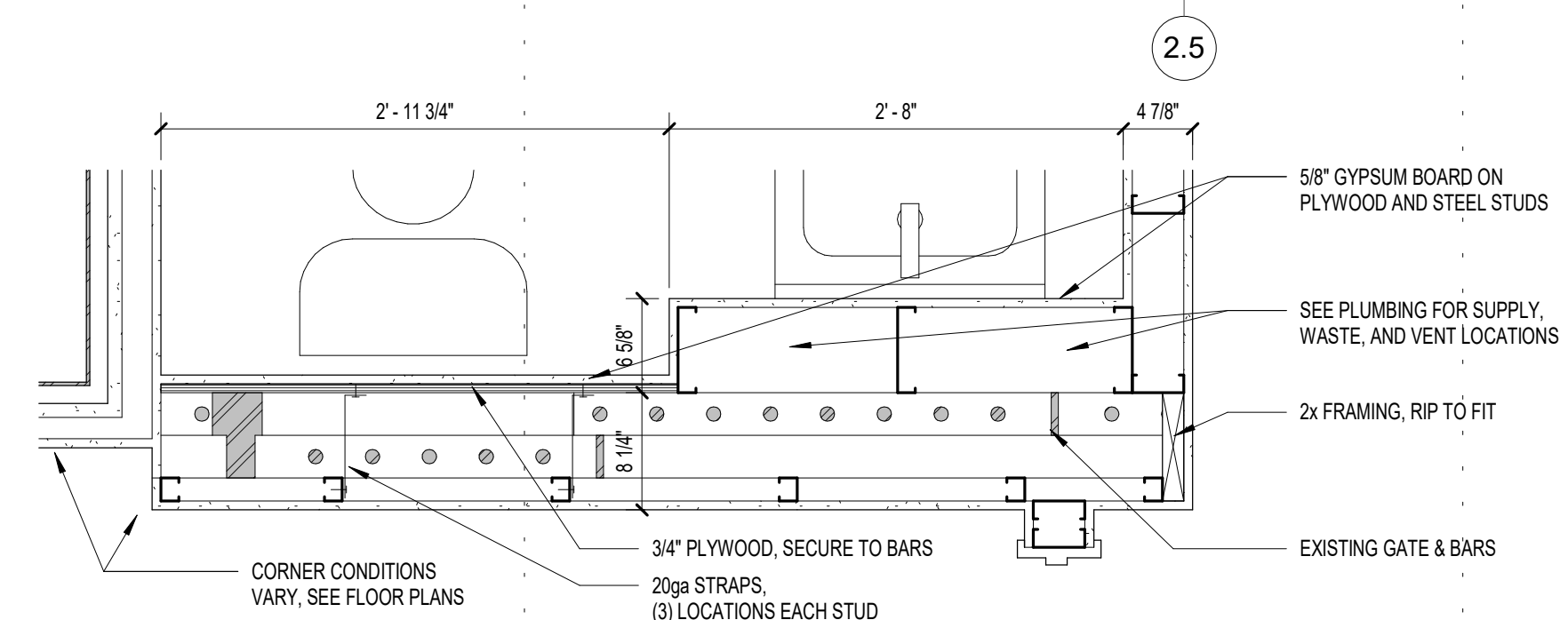
6 SECTION AT UNIT ENTRY
1" = 1'-0"



4 RECESSED UNIT ENTRY PLAN DETAIL NO COLUMN
3" = 1'-0"



3 RECESSED UNIT ENTRY PLAN DETAIL @ COLUMN
3" = 1'-0"



2 WALL DETAIL AT ENCAPSULATED BARS - BATHROOM
1" = 1'-0"

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Sheet Reissued Addendum No 2
April 11, 2013

CLIENT:
New Burnham, LLC

575 9th Street Southeast, Unit 215
Minneapolis, MN 55414

THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

NO	DATE	ISSUED FOR
1	11/10/20	100% CONSTRUCTION DOCUMENTS
2	11/11/2021	ASI 1 REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature: *Andrew Madson*
Typed or Printed Name: ANDREW MADSON
Date: 1/10/20 Reg. No.: 50555

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PROJECT NAME:
The Burnham - Historic St. Louis County Jail

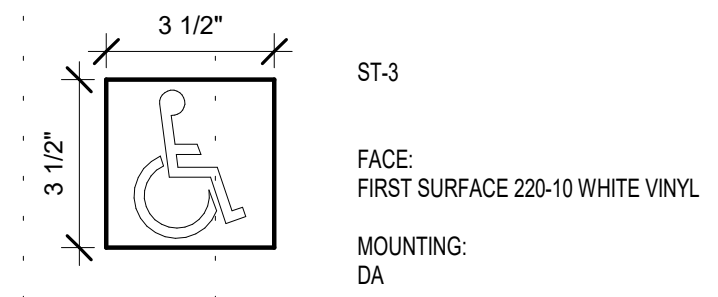
521 W. 2ND STREET
Duluth, MN 55802

DRAWING TITLE:
SIGNAGE

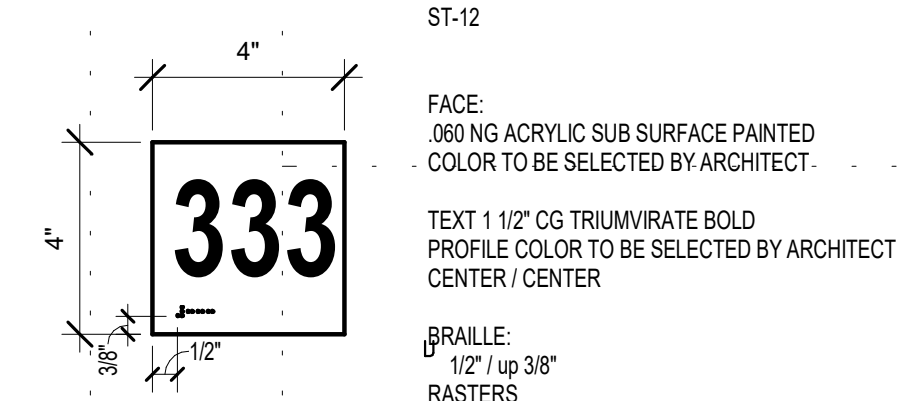
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CHECKED BY: Checker
PROJ. NO.: 180039

DRAWING NO.: **A7.10**

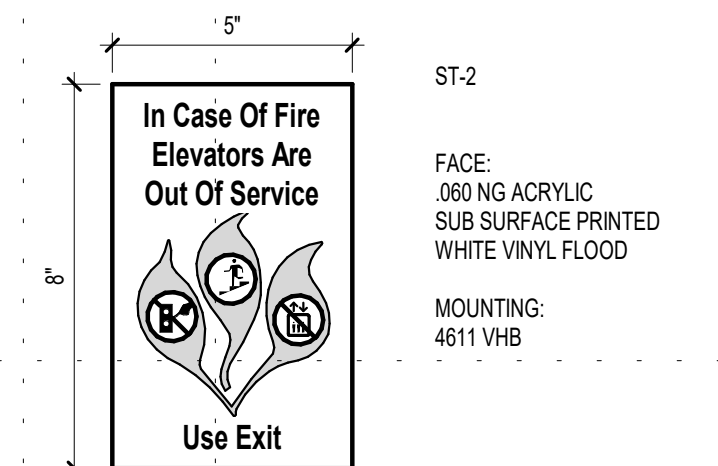
NOTE: SEE SPECIFICATION FOR ADDITIONAL INFORMATION ON SIGNS



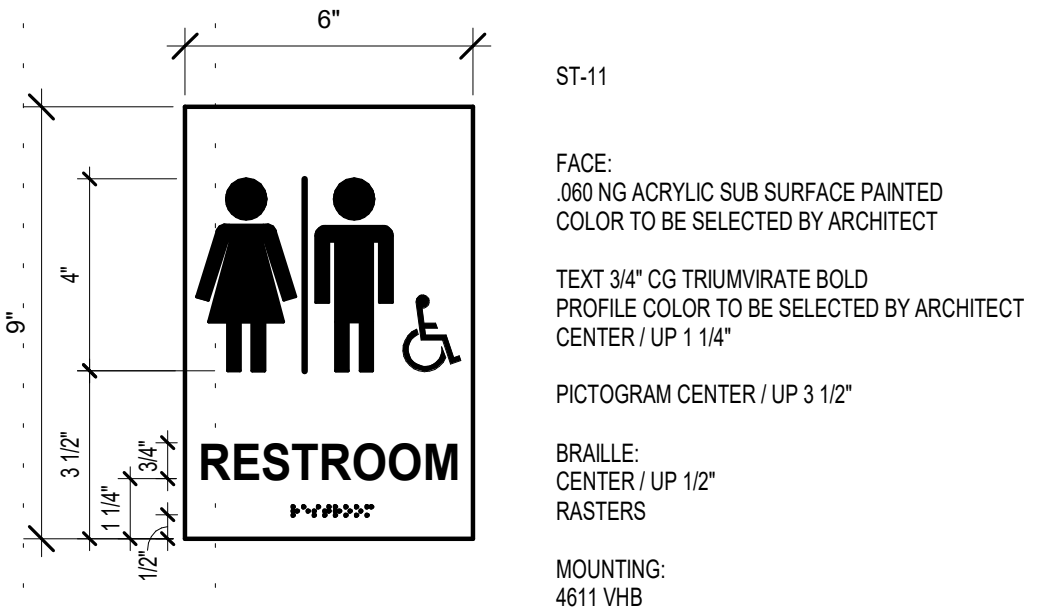
1 SIGN TYPE ST1
3" = 1'-0"



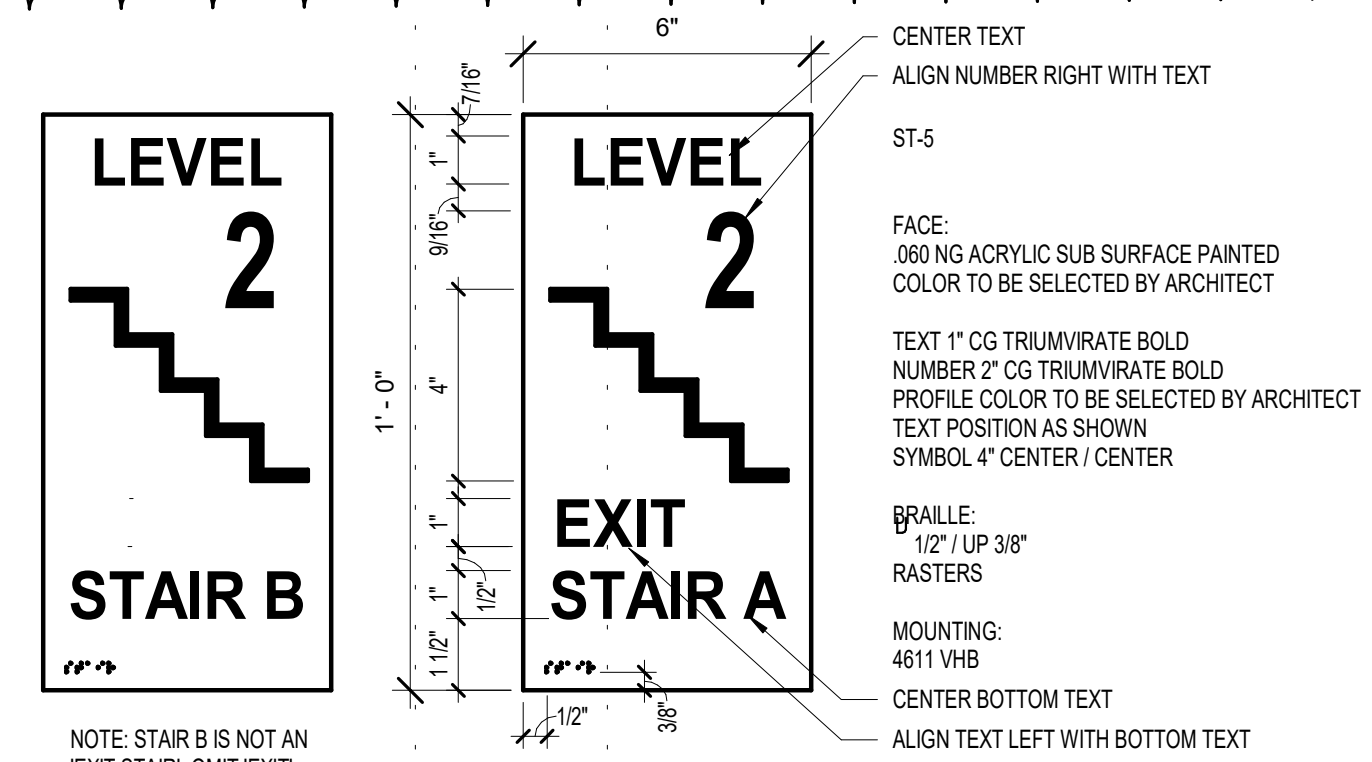
2 SIGN TYPE ST2
3" = 1'-0"



3 SIGN TYPE ST3
3" = 1'-0"



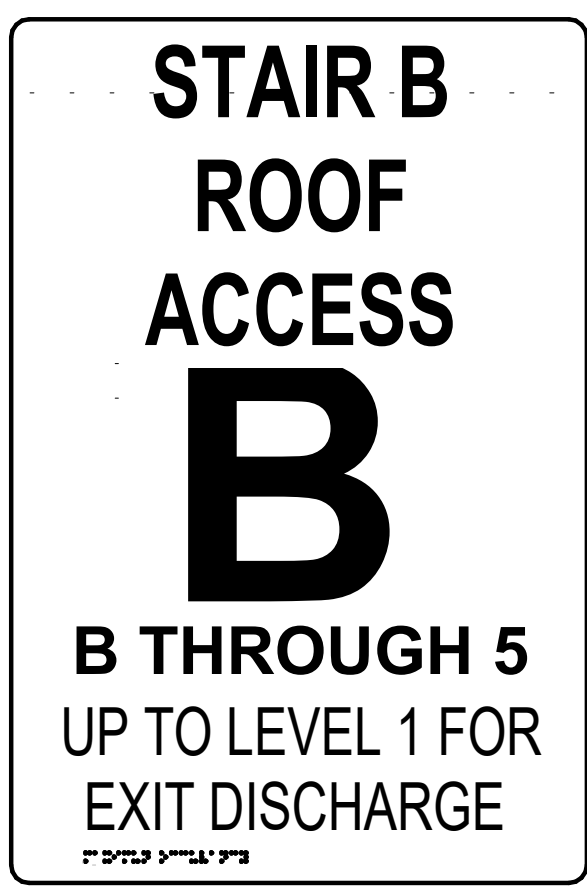
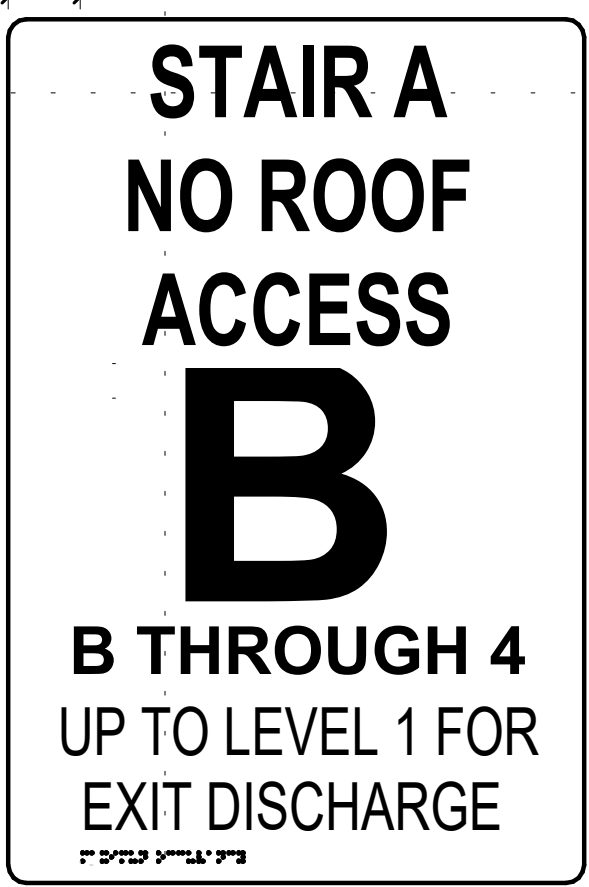
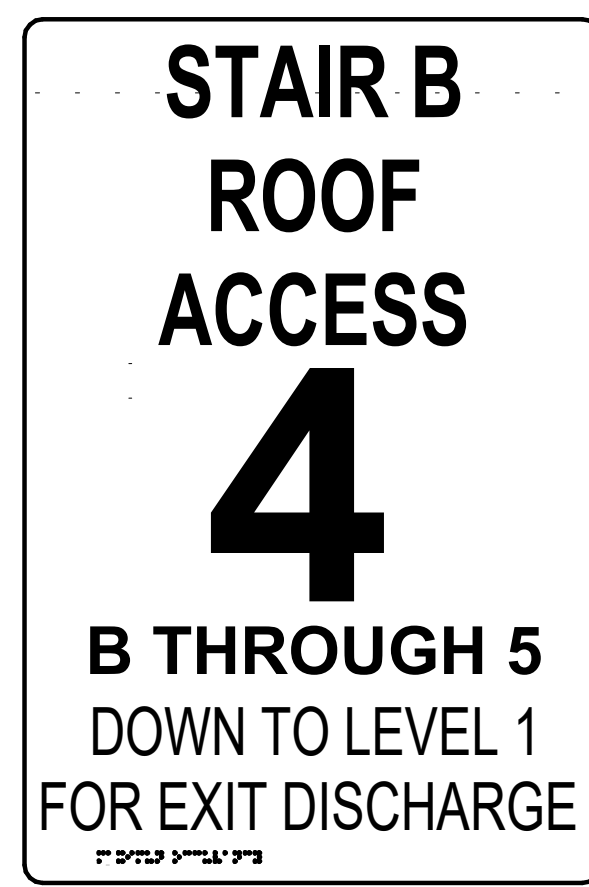
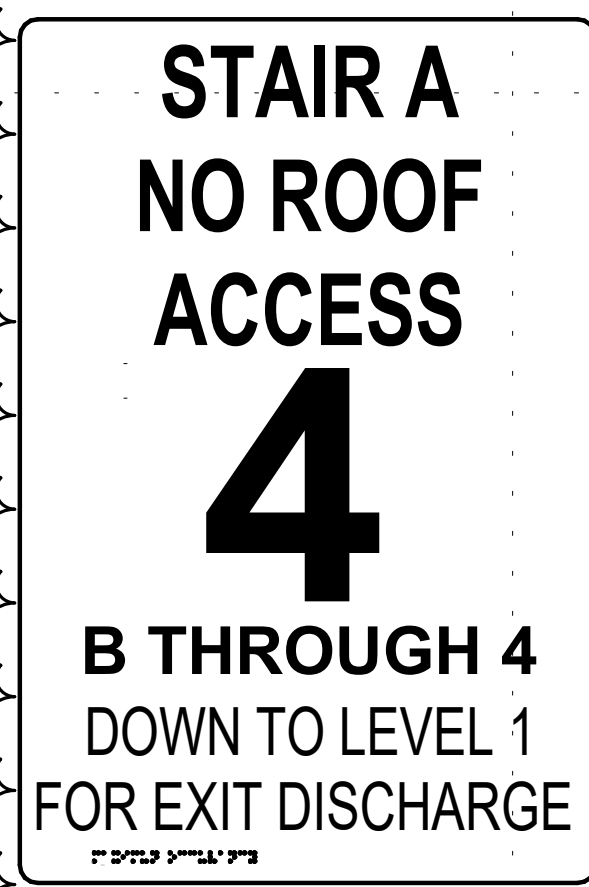
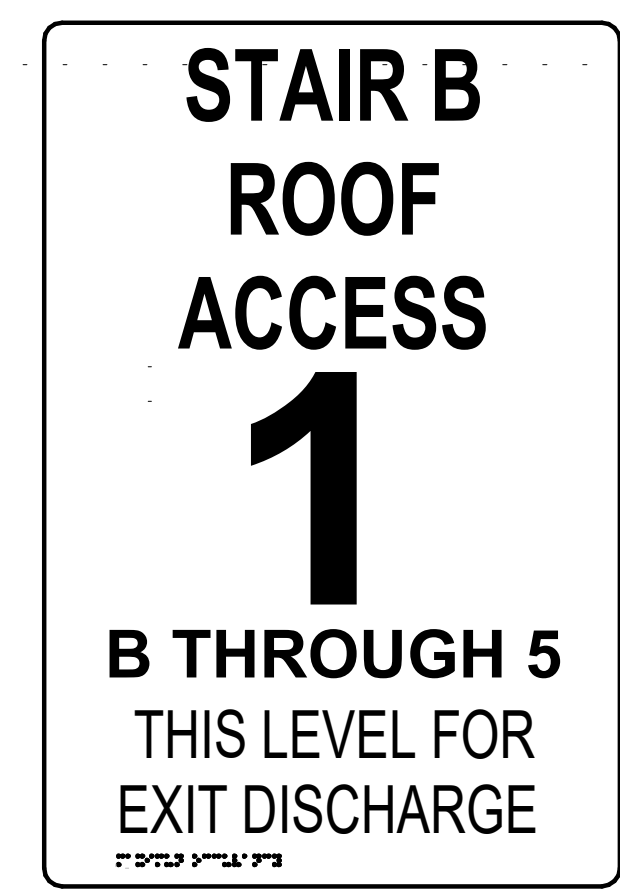
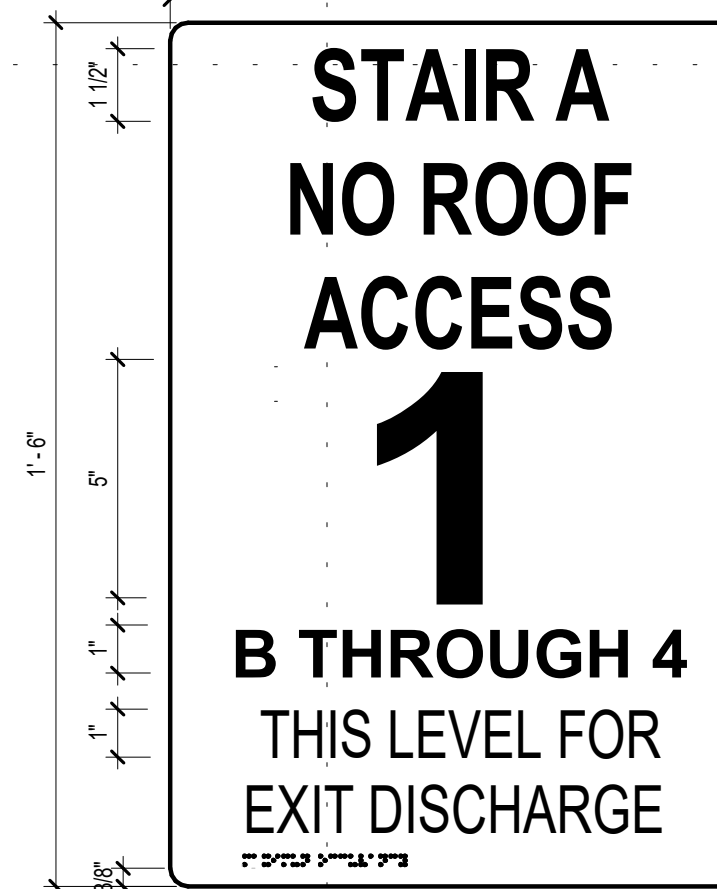
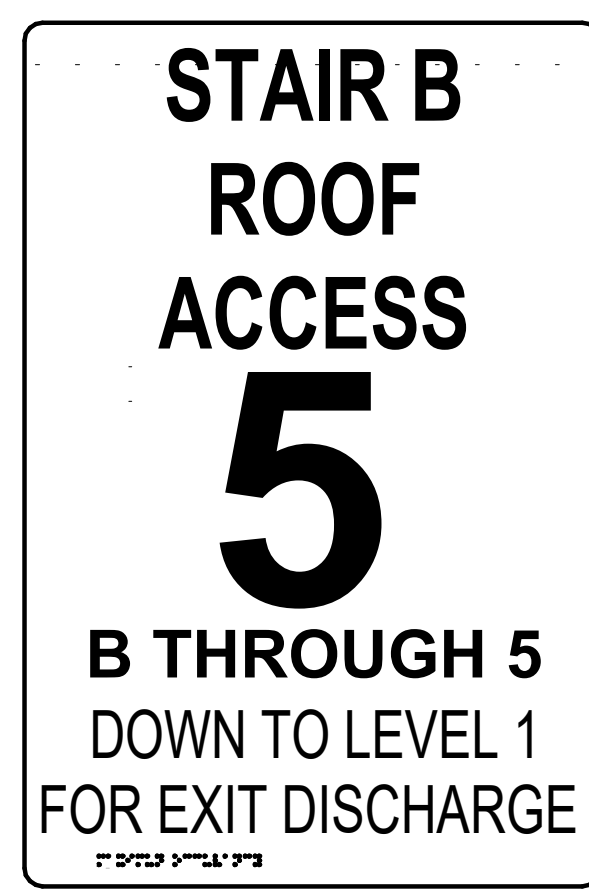
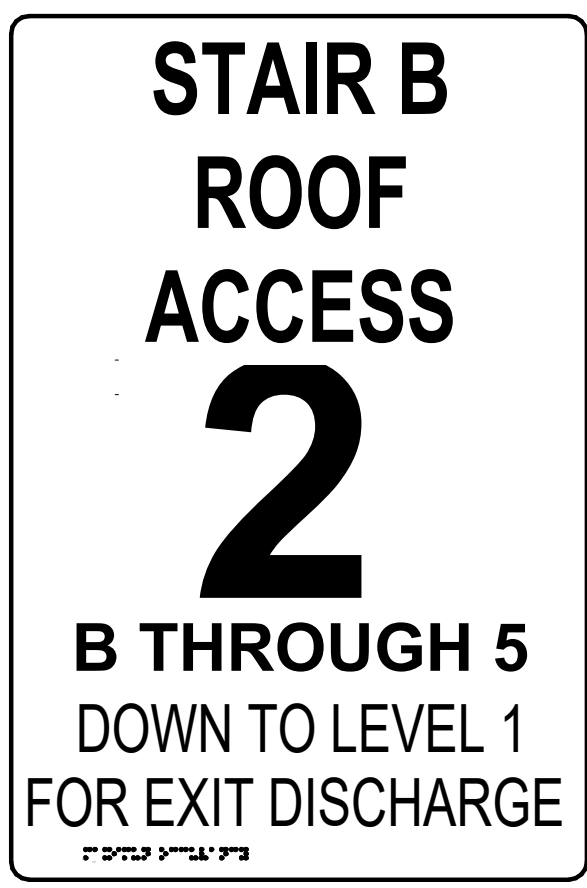
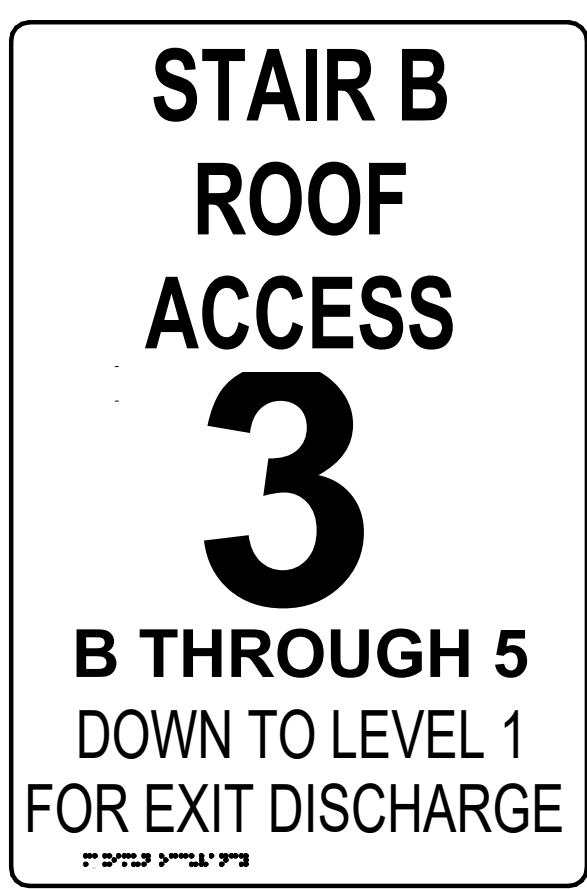
4 SIGN TYPE ST4
3" = 1'-0"



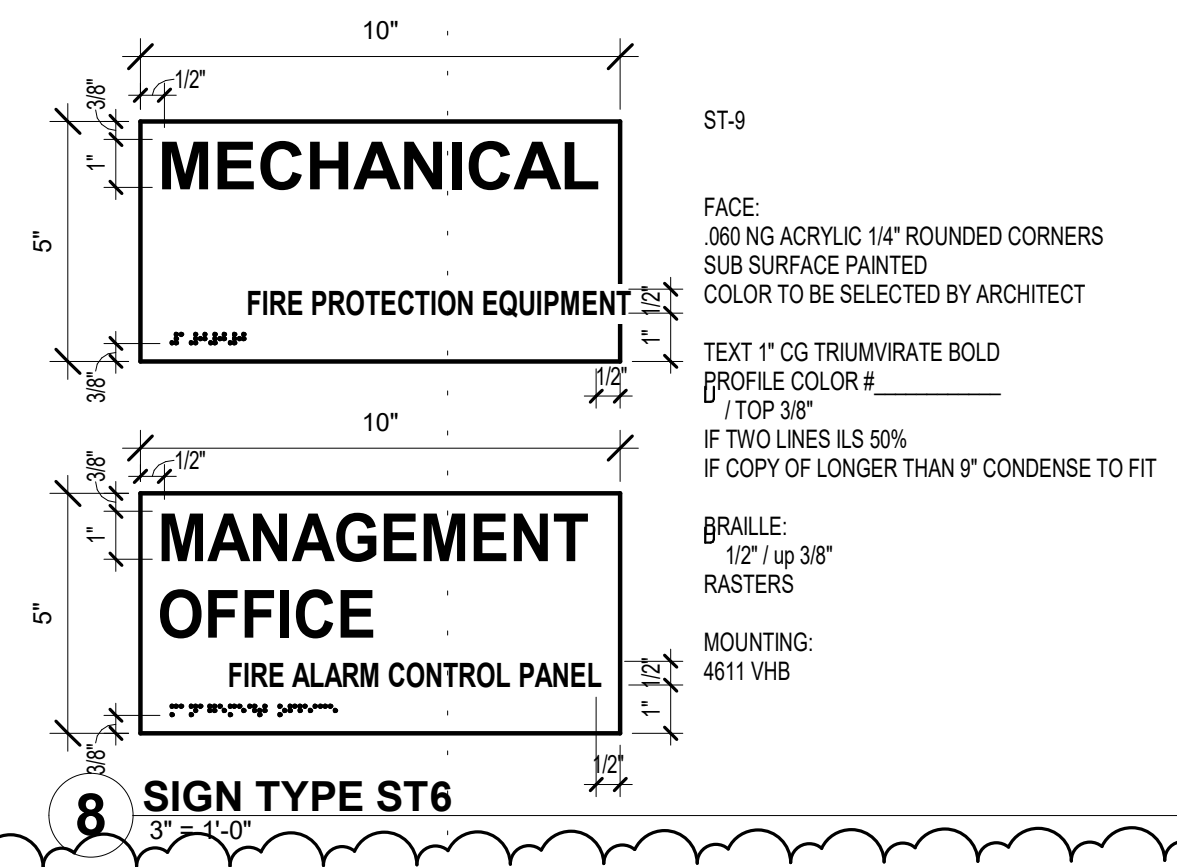
5 SIGN TYPE ST5
3" = 1'-0"

ST-1
SUB SURFACE VINYL SIGNAGE
12" X 18"
3/8" RADIUS CORNERS
STANDARD LAYOUT
.080" NON-GLARE AF ACRYLIC
SUB SURFACE PAINTED
COLOR TO BE SELECTED BY ARCHITECT
1 1/2" & 5" TEXT - SUB-VINYL COPY
HELVTICA BOLD TYPESTYLE
1" FLOOR DISCHARGE INFORMATION
HELVTICA MEDIUM TYPESTYLE
COPY COLOR TO BE SELECTED BY ARCHITECT
BRAILLE:
1/2" / UP 3/8"

NOTE: STAIR B IS NOT AN
'EXIT STAIR', OMIT 'EXIT'



6 SIGN TYPE ST8
3" = 1'-0"



8 SIGN TYPE ST6
3" = 1'-0"

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