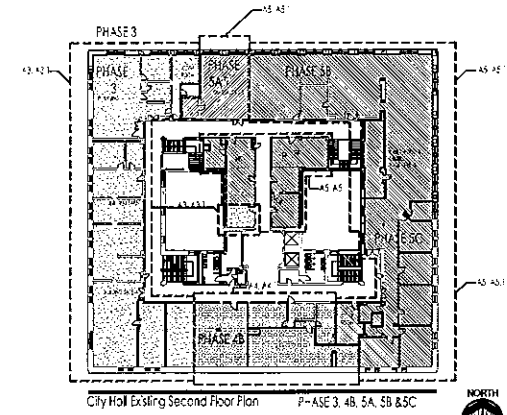


1 2ND FLOOR FURNITURE AND FILES LAYOUT - PHASE 3, 4B, 5A, 5B, & 5C - FOR REFERENCE ONLY
 FF2 FOR MECHANICAL, ELECTRICAL & DATA REFERENCE. COORDINATE AS REQUIRED.

1/8"=1'-0"



City Hall Existing Second Floor Plan P=ASE 3, 4B, 5A, 5B & 5C



RW Fern Associates Inc. Architect, 413 East Superior Street, Duluth, Minnesota 55802 (218) 722-8271
 DULUTH CITY HALL - PROJECT #17-426
 INTERIOR RENOVATIONS
 411 WEST FIRST STREET, DULUTH, MN. 55802

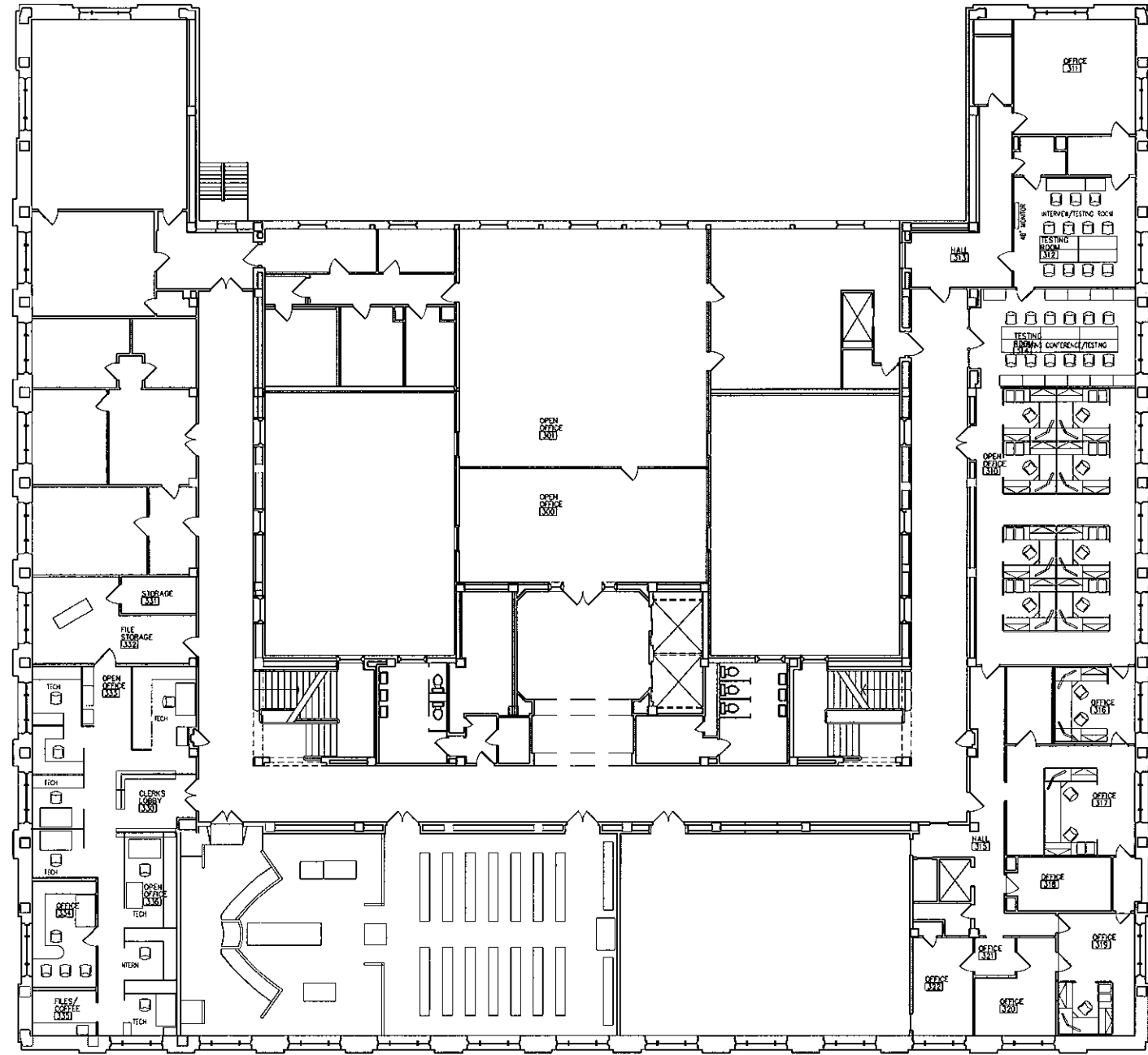
PHASE 3- FURNITURE AND FILES LAYOUT
 GIS/MIS DEPT

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 DULUTH CITY HALL - PROJECT #17-426
 INTERIOR RENOVATIONS
 411 WEST FIRST STREET, DULUTH, MN. 55802

PHASE 3,4B, 5A 5B & 5C

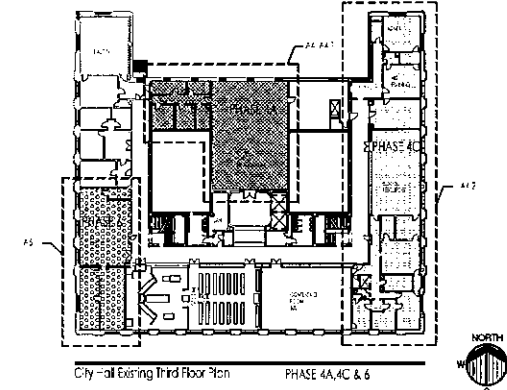
1/8"=1'-0"
 1"=1'-0" SCALE

FF2
 06-3



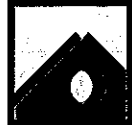
1 3RD FLOOR FURNITURE AND FILES LAYOUT - PHASE 4A, 4C & 6
FF3 FOR MECHANICAL, ELECTRICAL & DATA REFERENCE. COORDINATE AS REQUIRED.

- FOR REFERENCE ONLY
1/8"=1'-0"



PHASE 4A, 4C & 6

LINE IS TWO INCHES
FOR TOTAL SCALE OF 1/8"=1'-0"
IF NOT 2" - SCALE ACCORDINGLY



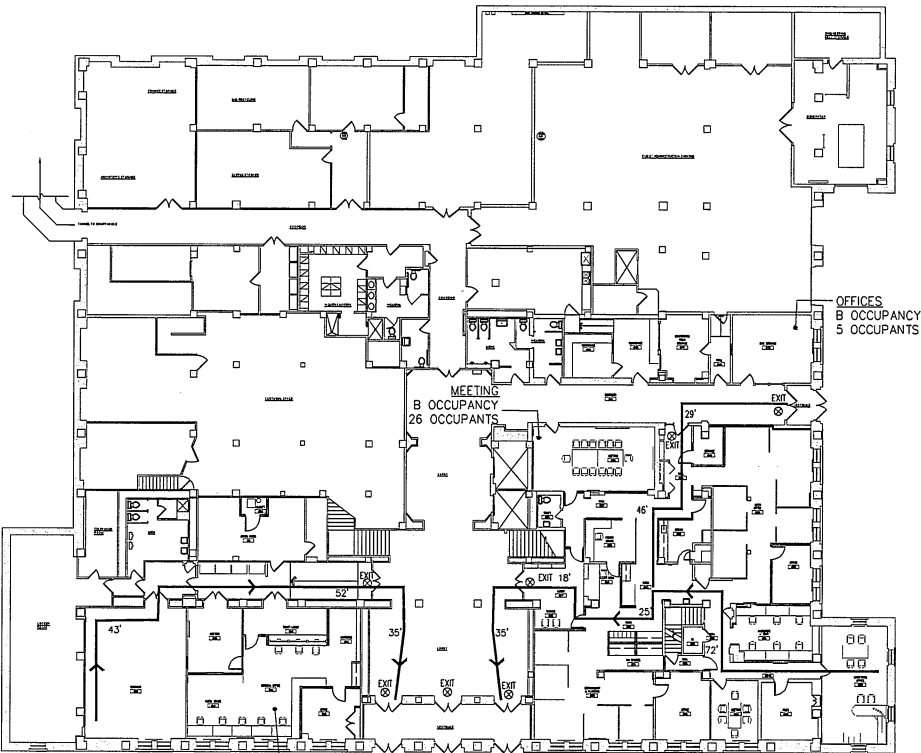
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of MINNESOTA.
PROJECT: DULUTH CITY HALL RENOVATIONS
DATE: 8/1/17
SHEET NO.: 20005

3RD FLR FURNITURE AND FILES LAYOUT
PHASE 4A, 4C & 6

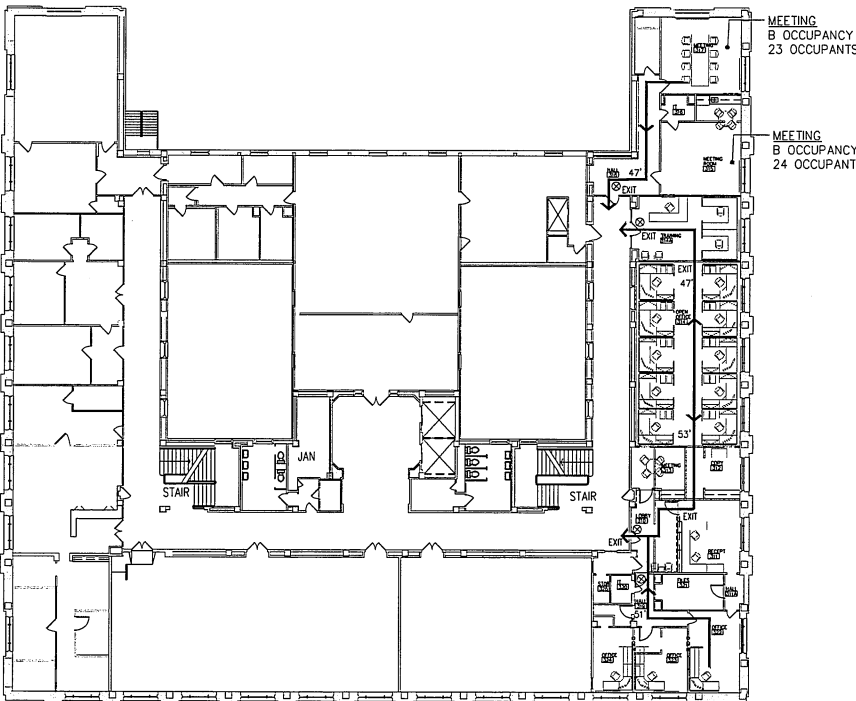
RW Fern Associates Inc. Architect, 413 East Superior Street, Duluth, Minnesota 55802 (218) 722-8271
DULUTH CITY HALL - PROJECT # 17-426
411 WEST FIRST STREET, DULUTH, MN. 55802

Sheet: 22
FF3
of 3

DULUTH CITY HALL - PROJECT # PFM20
INTERIOR RENOVATIONS - GROUND FLOOR, THIRD FLOOR, FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MINNESOTA 55802



EGRESS PLANS- GROUND FLOOR - PHASE III & IV



EGRESS PLANS- THIRD FLOOR- PHASE II

SHEET INDEX

ARCHITECTURAL:

- T1 TITLE SHEET - EGRESS PLAN
- A1 GROUND FLOOR- EXISTING/DEMO
- A1.1 GROUND FLOOR- NEW CONSTRUCTION
- A2 THIRD FLOOR PLANS
- A3 FOURTH FLOOR DEMO & NEW PLAN
- A3.1 FOURTH FLR CEILING PLANS
- A3.2 ELEVATIONS AND ENLARGED PLANS
- A4 SCHEDULES, DOORS, FRAMES / DETAILS
- A4.1 INTERIOR ELEVATIONS
- A4.2 SECTIONS/ DETAILS
- A5 FURNITURE AND FILES LAYOUT

MECHANICAL:

- M1.1 MECHANICAL TITLE SHEET
- M1.2 MECHANICAL SPECIFICATIONS
- M2.1 GROUND FLOOR MECHANICAL DEMOLITION PLAN
- M2.2 4TH FLOOR MECHANICAL DEMOLITION PLAN
- M3.1 GROUND FLOOR HVAC AND FIRE PROTECTION PLAN
- M3.2 THIRD FLOOR PLUMBING AND FIRE PROTECTION PLAN
- M3.3 4TH FLOOR HVAC, PLUMBING AND FIRE PROTECTION PLANS AND SCHEDULES
- M3.4 ROOF HVAC AND PLUMBING PLAN

ELECTRICAL:

- E1.1 ELECTRICAL TITLE SHEET & SPECIFICATIONS
- E2.1 GROUND FLOOR ELECTRICAL DEMOLITION PLAN
- E2.2 3 & 4TH FLOOR ELECTRICAL DEMOLITION PLANS
- E3.1 GROUND FLOOR LIGHTING, POWER & SYSTEMS PLANS
- E3.2 3RD FLOOR LIGHTING POWER & SYSTEMS PLANS
- E3.3 4TH FLOOR LIGHTING, POWER & SYSTEMS PLANS
- E4.1 ELECTRICAL SCHEDULES & DETAILS

CODE SUMMARY

City Hall Renovation - Ground, Third, and Fourth Floors
411 West First Street, Duluth, Minnesota

Code Summary
MN 2020 State Building Code Summary w/Amendments

1) Occupancy Group: B

2) Type of Construction: II B

3) Allowable Building Area (Table 503)
B Occupancy: 69,000 S.F./Floor Sprinklered
4 stories maximum
Frontage increase not required or calculated.

Actual Building and Project Area:

Ground	31,814
First	28,467
Second	28,467
Third	24,547
Fourth	18,318
Total	131,613 S.F.

This project does not change the occupancy classification, construction type, or increase building area.

4) Sprinkler System: Building has an automatic sprinkler system.

5) Fire Alarm: Bldg. has an automatic fire alarm system w/monitoring.

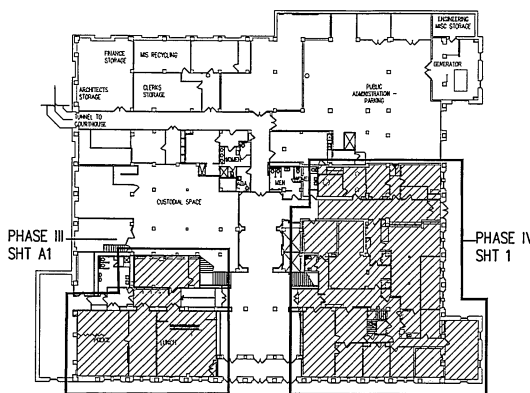
6) Height/Number of Stories: Existing Basement (Ground Floor)
4 stories (First to Fourth Floor)

7) Occupant Load: See egress plans for department occupant load.

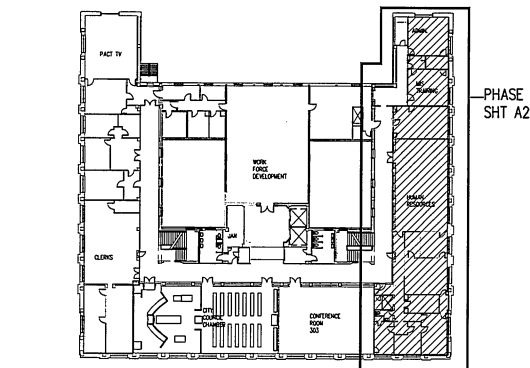
This project does not increase the occupant load for this building.

8) Separations Required:
Corridors: 0 with sprinkler system - Table 1020.1
Existing Corridor Doors: 0 - MN Conservation Code Chapter 8
New Corridor Doors: 0 - IBC 1020
Stairway: 0 - MN Conservation Code Chapter 8
New Stairway: 1 hour/30 minute not more than 3 stories - MN Conservation Code 802.2
Transoms: Existing allowed per MN Conservation Code 805.5.2
Glazing: Existing allowed per MN Conservation Code 805.5.1

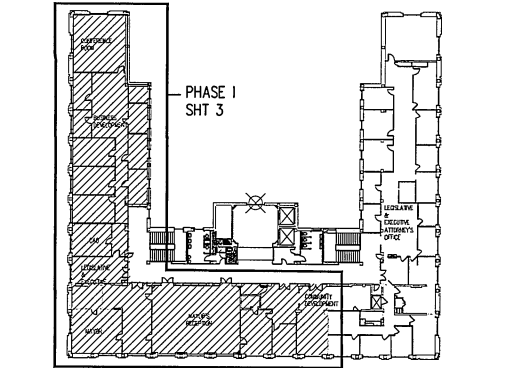
9) Minimum Plumbing Fixtures: Existing toilet rooms to remain as is.
This project does not change occupant load.
No Special Inspections required



City Hall Existing Ground Floor Plan



City Hall Existing Third Floor Plan



City Hall Existing Fourth Floor Plan

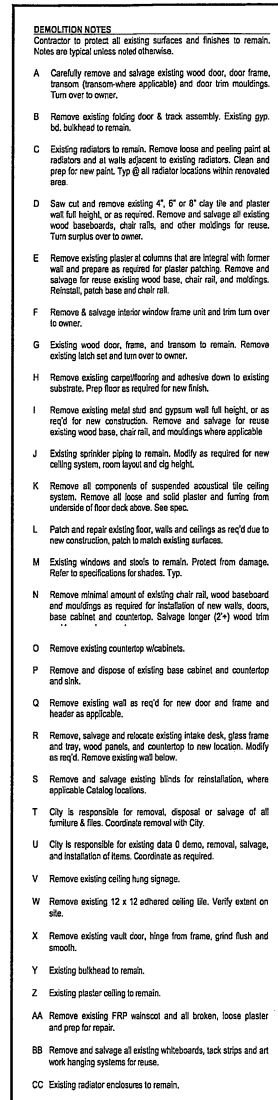
KEY PLAN OF PROJECT AREA

CONTACTS

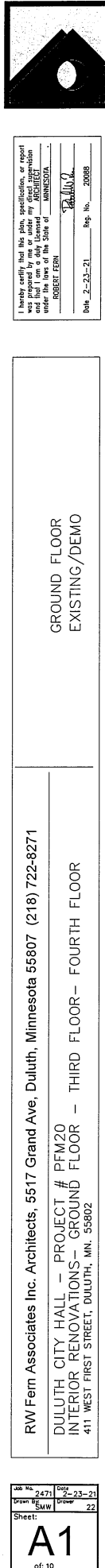
ARCHITECT:
RW Fern Associates, Inc. Architects
5517 Grand Ave
Duluth, MN 55807
(218) 722-8271
CONTACT: Robert Fern
E-MAIL: robert@fernassociates.com

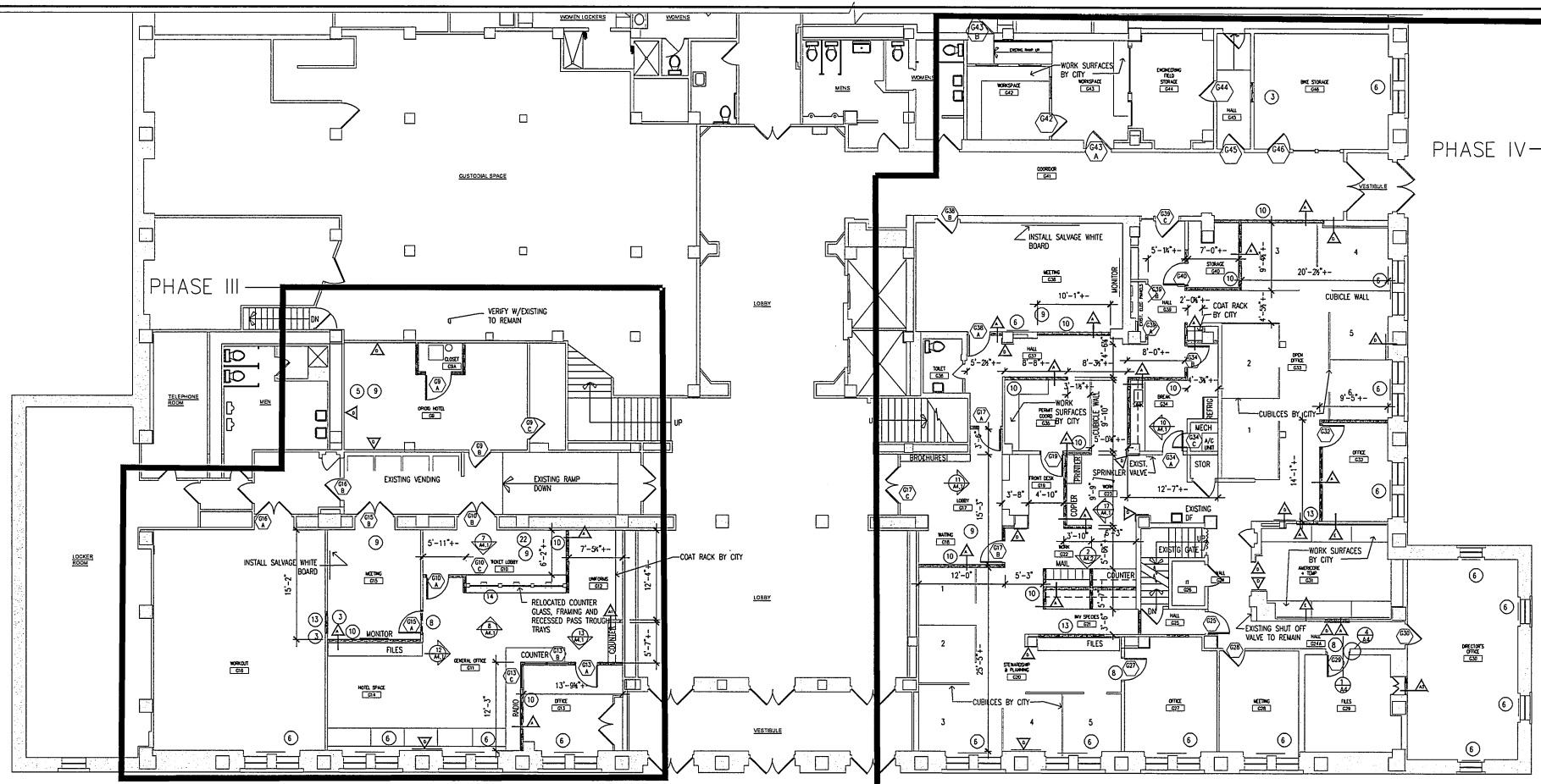
MECHANICAL/
ELECTRICAL:
Gausman and Moore Engineers
1700 Hwy 35 #700
Roseville, MN 55113
MECHANICAL ENGINEER
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(651) 604-3131
phaslach@gausman.com
ELECTRICAL ENGINEER
Ed Studinski
(651) 604-3155
estudinski@gausman.com

OWNER:
City of Duluth
Property & Facilities Management
1532 West Michigan Street
Duluth, MN 55806
(218) 720-4429
Cell (218) 268-9174
CONTACT: Erica Vatvaas
Construction Project Technician
E-MAIL: evatvaas@duluthmn.gov



VERIFY ALL DIMENSIONS TYP.





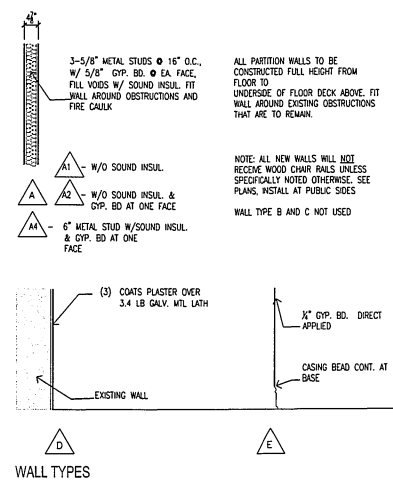
TYPICAL NOTES AT ALL NEW AND EXISTING SPACES PHASE III & IV
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮

① PARTIAL GROUND FLOOR - SOUTH END
A1.1



TYPICAL NOTES AT ALL NEW AND EXISTING SPACES PHASE III & IV
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮

② PARTIAL GROUND FLOOR REFLECTED CEILING PLAN - SOUTH END
A1.1



WALL TYPES

- CONSTRUCTION NOTES**
See plans and specification for additional requirements.
- Patch and repair existing floor surfaces as required for new floor surfaces.
 - Existing wood doors and transoms at corridor are to be modified as follows:
 - Remove any room numbering/labeling from glass.
 - Remove existing latch assembly and cover holes with blank plate matching existing hardware style.
 - Paint non-corridor side of glass light and transom. Color as selected.
 - Screw door shut from non-corridor side.
 - Secure mail slot to prevent opening (if equipped).
 - Infill non-corridor side of door louver with painted plywood and screw to door (if equipped).
 - Refinish corridor side of door panel, casings and transom.
 - Construct new wall assembly on non-corridor side in front of secured door - see plan for wall type.
 - Install salvaged chair rail and/or base board molding as req'd - match, fit, align with existing. Contractor to fill old nail holes and defects. Prep, touch-up stain and varnish all woodwork - see specifications. Supplement shortages as required with new, matching species and profile.
 - Contractor to fill old nail holes and defects on all chair rails and wood base boards. Prep, touch-up stain, and varnish all woodwork - see specification.
 - Patch existing plaster exposed to view to new condition - see specification. Plaster patching to align existing and match texture. Patch to be invisible when painted.
 - Patch existing plaster behind radiators (to remain) as best as possible (patching of plaster visible beyond radiator). Prep, prime, and paint wall and radiator.
 - Install salvaged blinds.
 - Prepare opening in existing wall as required for installation of new door. See door schedule.
 - New walls at public space to receive wood base, chair rail and wood trim at doors frames and at cased opening where applicable. See room finish schedule.
 - Install new metal stud w/ gyp bd. Walls full height or as shown on plans and elevations.
 - Signage by owner.
 - Patch and repair walls, ceilings and floors to match with existing surfaces as req'd due to new construction.
 - Infill existing door opening with metal studs, sound insulation & w/ 5/8" gyp. bd at ea. face. Wall surfaces to be flush at ea. side, match existing surfaces. Install new wood chair rail and base board at each side of wall to match existing. See elevation and details.
 - Install salvaged glass.
 - Extend painting of surfaces into existing areas. See Spec.
 - Install new suspended ceiling system. See Spec.
 - Patch and repair existing damaged plaster ceilings as required. See specification.
 - Paint plaster ceilings and bulkhead. See spec.
 - Hang new susp ceiling system at previous ceiling height unless noted otherwise.
 - New metal stud and gyp bd, bulkhead at ceiling transition.
 - Install new metal stud and gyp bd bulkhead 2' below adjacent suspended ceiling system.
 - Existing terrazzo floor surface and base to be restored. Remove existing adhesives and polished and seal surface to glossy condition. Patch bulkheads with matching patch material and grind to match existing surface.

VERIFY ALL DIMENSIONS TYP.

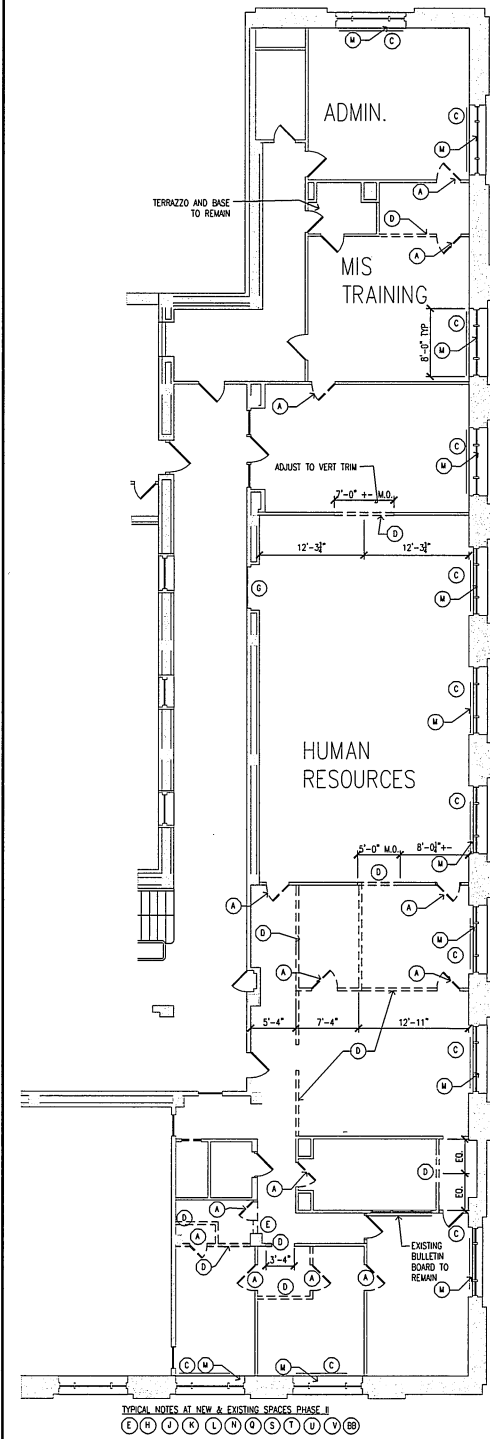


I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.
JENNIFER ZEHN
Date: 2-23-21
Reg. No.: 20066

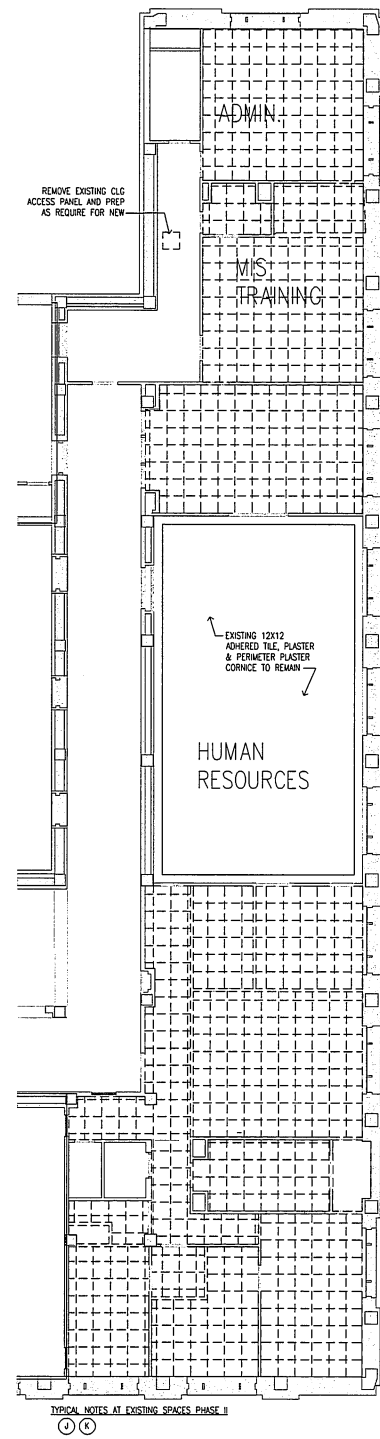
GROUND FLOOR
NEW CONSTRUCTION

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DULUTH CITY HALL - PROJECT # PFM20
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

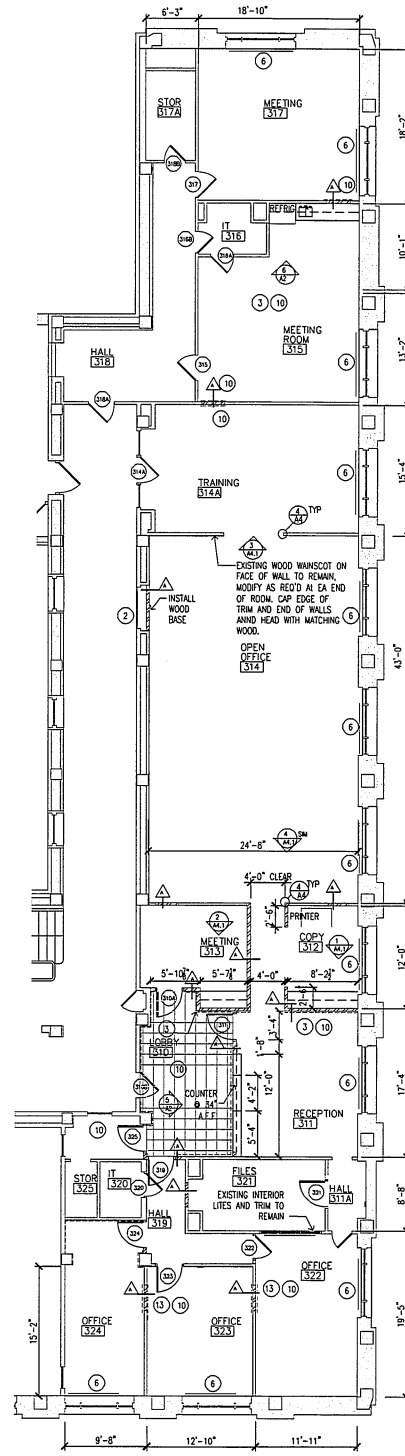
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Sheet: 22
A1.1
of 10



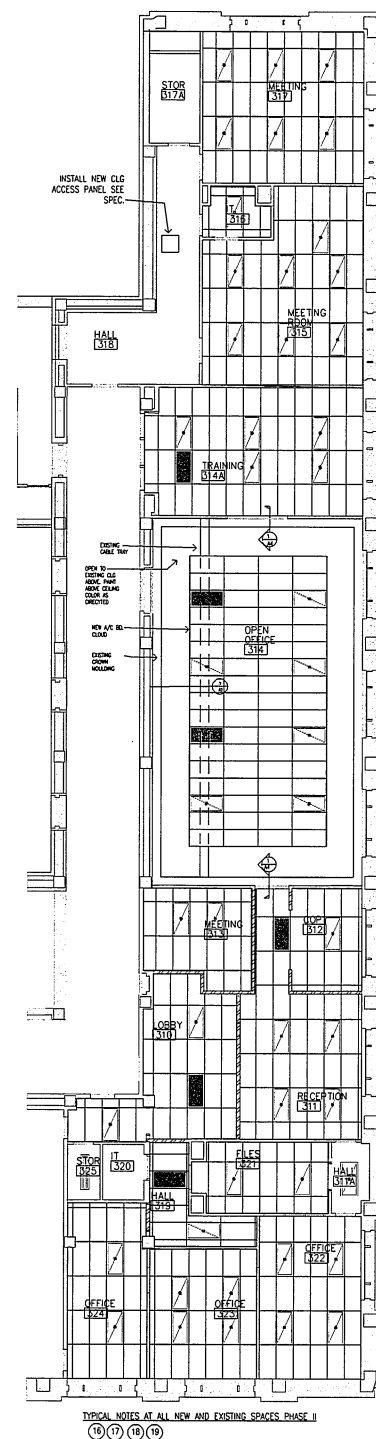
1 PARTIAL EXIST'G 3RD FLR DEMOLITION PLAN
A2 EAST SIDE - PHASE II 1/8"=1'-0"



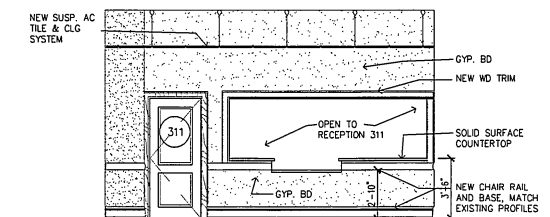
2 PARTIAL EXIST'G 3RD FLR DEMOLITION CLG PLAN
A2 EAST SIDE - PHASE II 1/8"=1'-0"



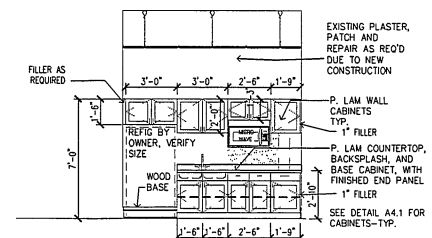
3 PARTIAL 3RD FLOOR PLAN
A2 EAST SIDE - PHASE II 1/8"=1'-0"



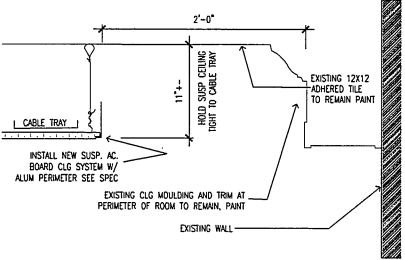
4 PARTIAL 3RD FLOOR CLG PLAN
A2 EAST SIDE - PHASE II 1/8"=1'-0"



5 INTERIOR ELEVATION
A2 LOBBY RM 310 1/8"=1'-0"



6 INTERIOR ELEVATION
A2 BREAK ROOM 316 1/8"=1'-0"



7 CEILING DETAIL
A2 OPEN OFFICE 314 1-1/2"=1'-0"

DEMOLITION NOTES: SEE SHEET A1
CONSTRUCTION NOTES: SEE SHEET A1.1
WALL TYPES: SEE SHEET A1.1

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.
ROBERT J. JEN
Date: 2-23-21 Reg. No. 20988

PHASE II - 3RD FLOOR PLAN

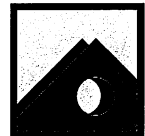
RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271

DULUTH CITY HALL - PROJECT # PFM20
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - 4TH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

2417
Drawn: SUM
Sheet: A2
Date: 2-23-21
Checked By: [Signature]
of: 10

LINE IS TWO INCHES
AT FULL SCALE ON A 30x42 sheet
(IF NOT 2"=1'-0" SCALE ACCORDINGLY)

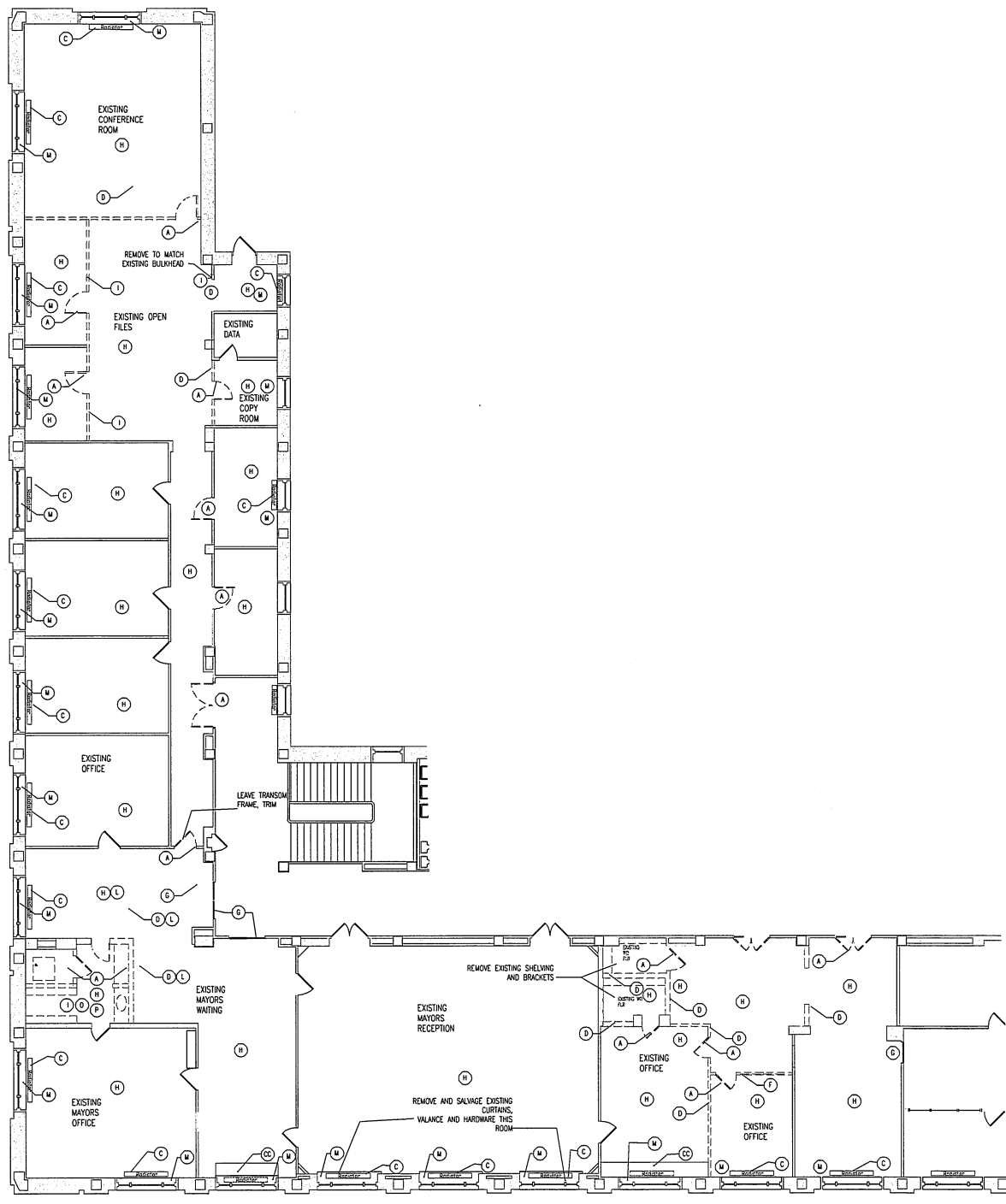
DEMOLITION NOTES: SEE SHEET A1
CONSTRUCTION NOTES: SEE SHEET A1.1
WALL TYPES: SEE SHEET A1.1



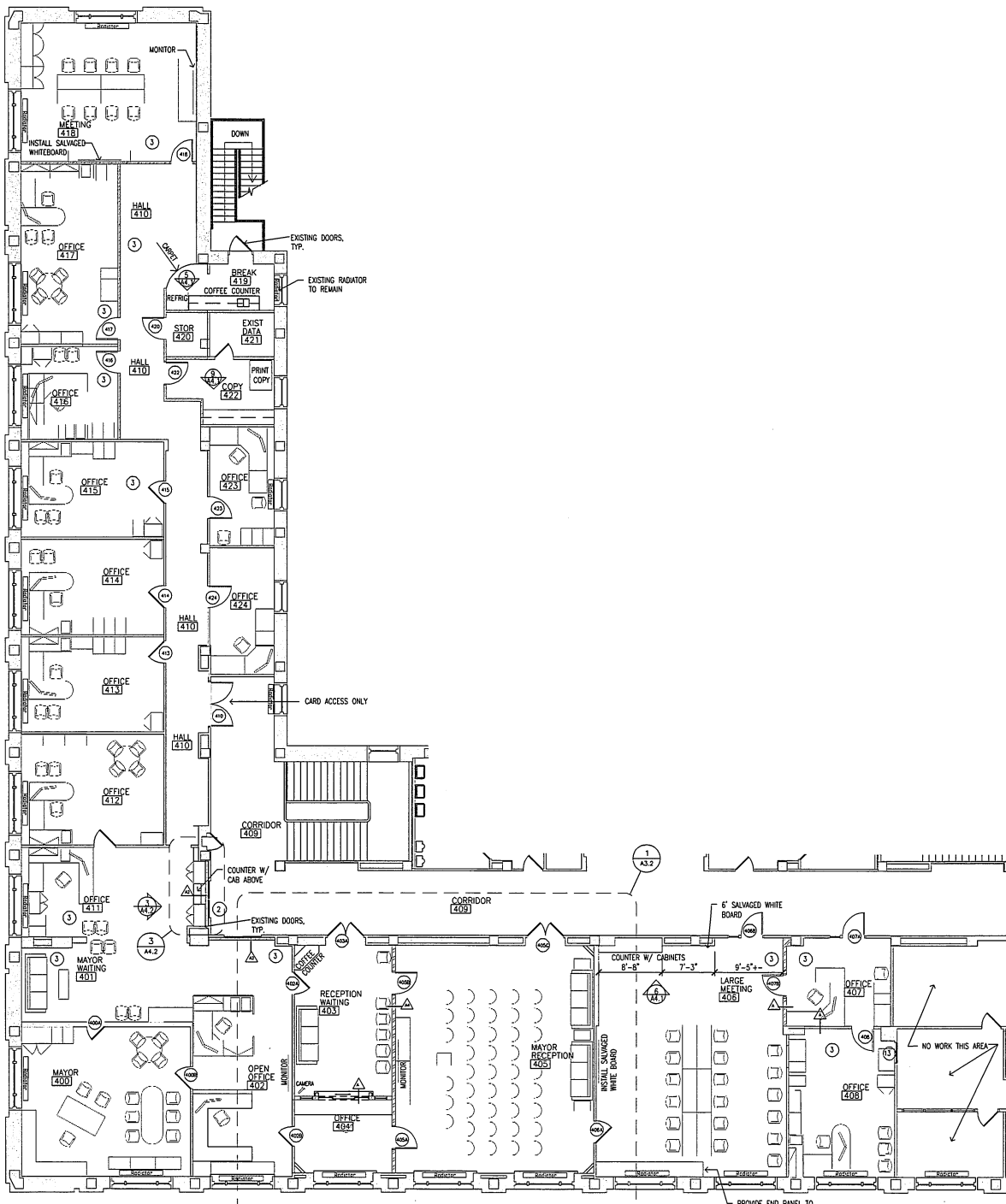
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.
ROBERT J. JON *[Signature]*
Architect
Date: 2-23-21 Reg. No. 70098

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DULUTH CITY HALL - PROJECT # PFM20
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

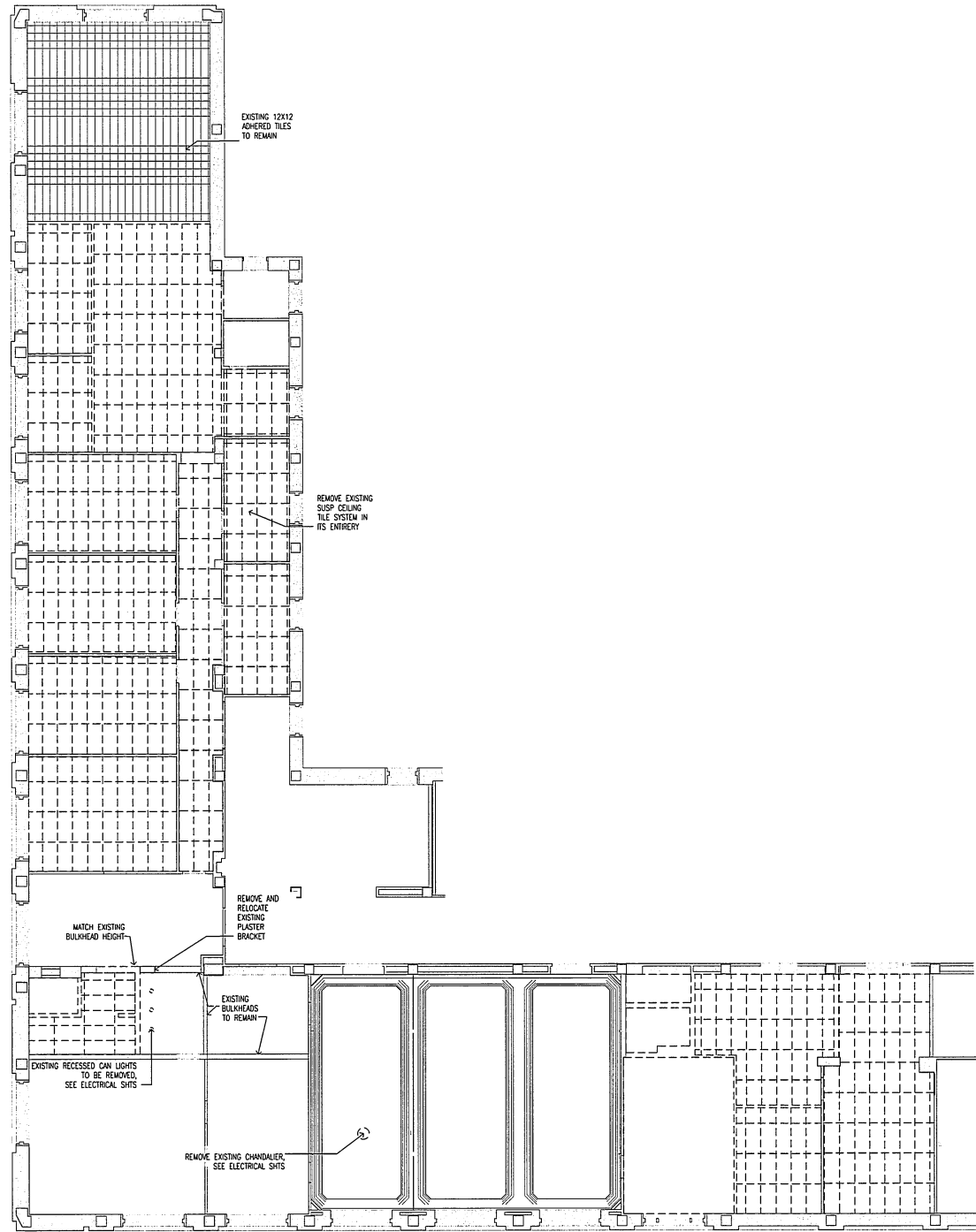
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Sheet:
A3
of 10



TYPICAL NOTES AT EXISTING SPACES PHASE I
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳ ㉑ ㉒ ㉓ ㉔ ㉕ ㉖ ㉗ ㉘ ㉙ ㉚ ㉛ ㉜ ㉝ ㉞ ㉟ ㊱ ㊲ ㊳ ㊴ ㊵ ㊶ ㊷ ㊸ ㊹ ㊺ ㊻ ㊼ ㊽ ㊾ ㊿
① PARTIAL EXISTING 4TH FLOOR DEMOLITION PLAN
A3 WEST SIDE
1/8"=1'-0"



TYPICAL NOTES AT ALL NEW AND EXISTING SPACES PHASE I
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨ ⑩ ⑪ ⑫ ⑬ ⑭ ⑮ ⑯ ⑰ ⑱ ⑲ ⑳ ㉑ ㉒ ㉓ ㉔ ㉕ ㉖ ㉗ ㉘ ㉙ ㉚ ㉛ ㉜ ㉝ ㉞ ㉟ ㊱ ㊲ ㊳ ㊴ ㊵ ㊶ ㊷ ㊸ ㊹ ㊺ ㊻ ㊼ ㊽ ㊾ ㊿
② PARTIAL 4TH FLOOR PLAN
A3 WEST SIDE
1/8"=1'-0"

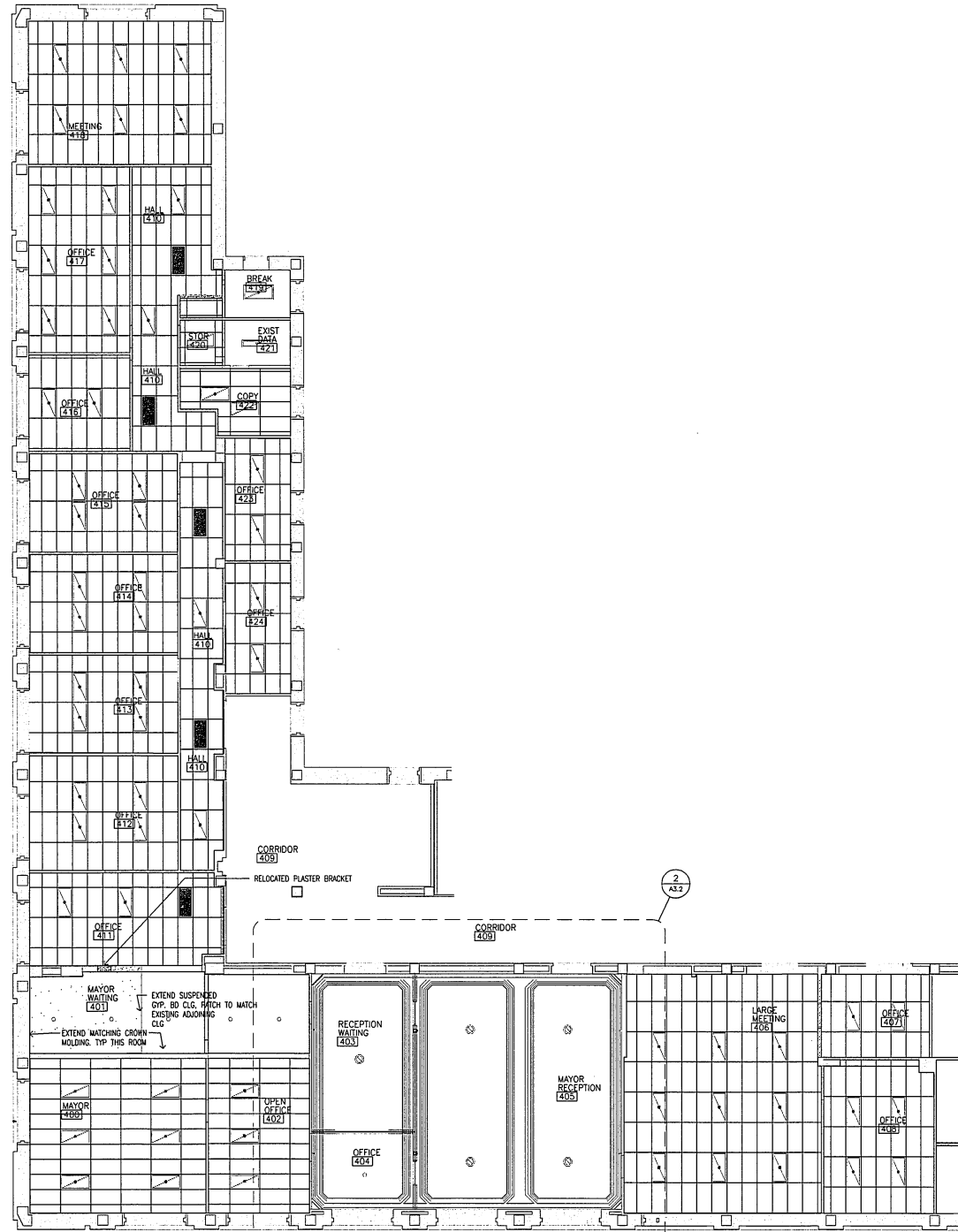


TYPICAL NOTES AT EXISTING SPACES PHASE 1
 1 2 3 4

1 PARTIAL 4TH FLOOR REFLECTED CEILING DEMOLITION PLAN
 A3.1



1/8"=1'-0"



TYPICAL NOTES AT EXISTING SPACES PHASE 1
 1 2 3 4

2 PARTIAL 4TH FLOOR REFLECTED CEILING PLAN
 A3.1



1/8"=1'-0"

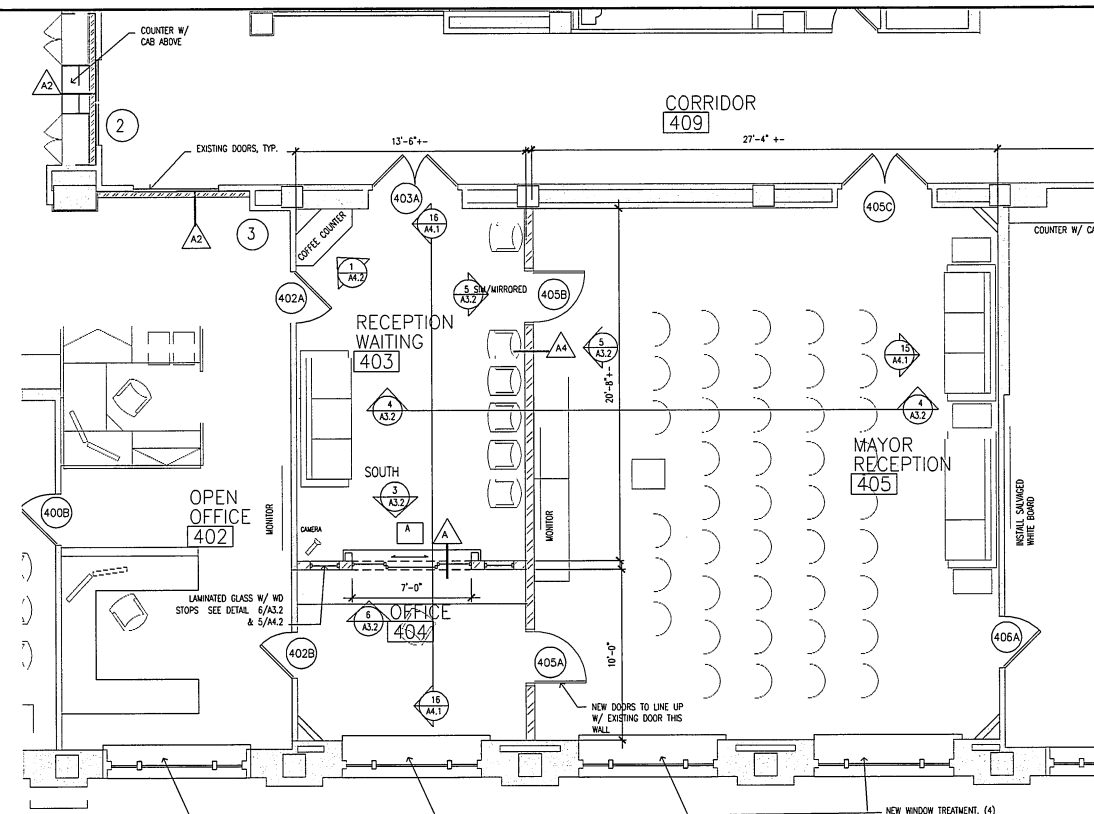
DEMOLITION NOTES: SEE SHEET A1
 CONSTRUCTION NOTES: SEE SHEET A1.1
 WALL TYPES: SEE SHEET A1.1

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.
 ROBERT ECKHART
 Date: 2-23-21 Reg. No. 20088

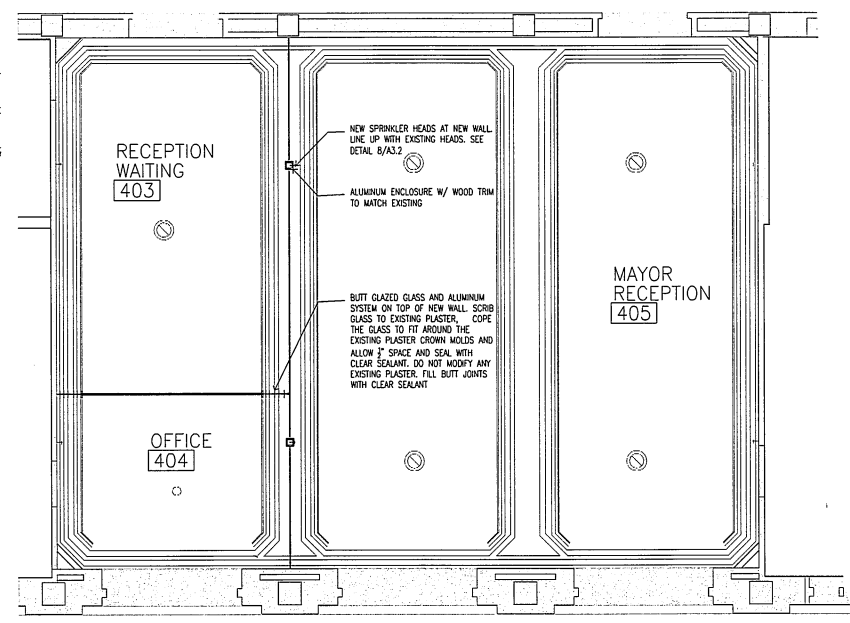
4TH FLOOR CEILING PLANS
 RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
 DULUTH CITY HALL PROJECT # PFM20
 INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
 411 WEST FIRST STREET, DULUTH, MN. 55802

Sheet: A3.1
 of 10

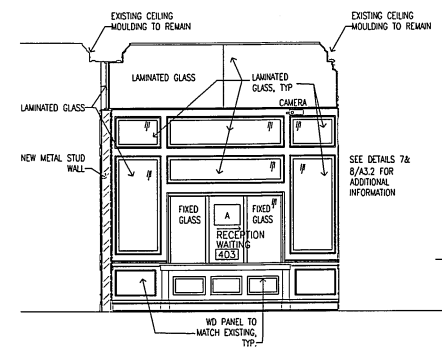
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 AT FULL SCALE (30x30 SHIT)
 IF NOT 2" - SCALE ACCORDINGLY



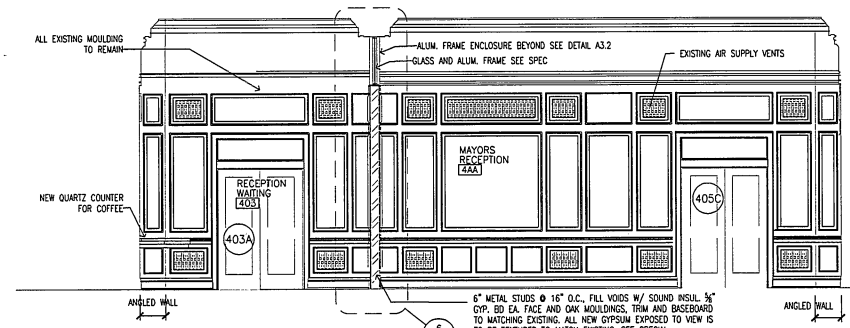
1 PARTIAL FLOOR PLAN
A3.2



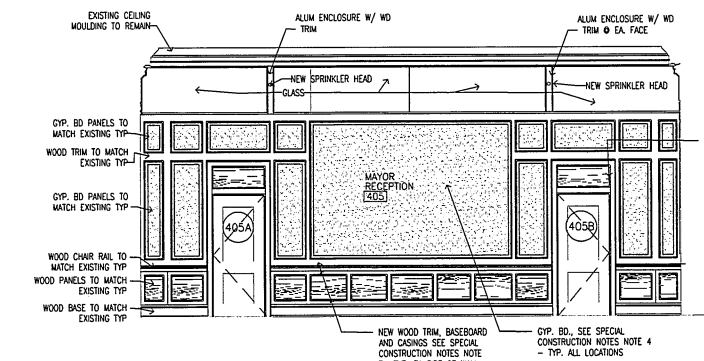
2 PARTIAL REFLECTED CEILING PLAN
A3.2



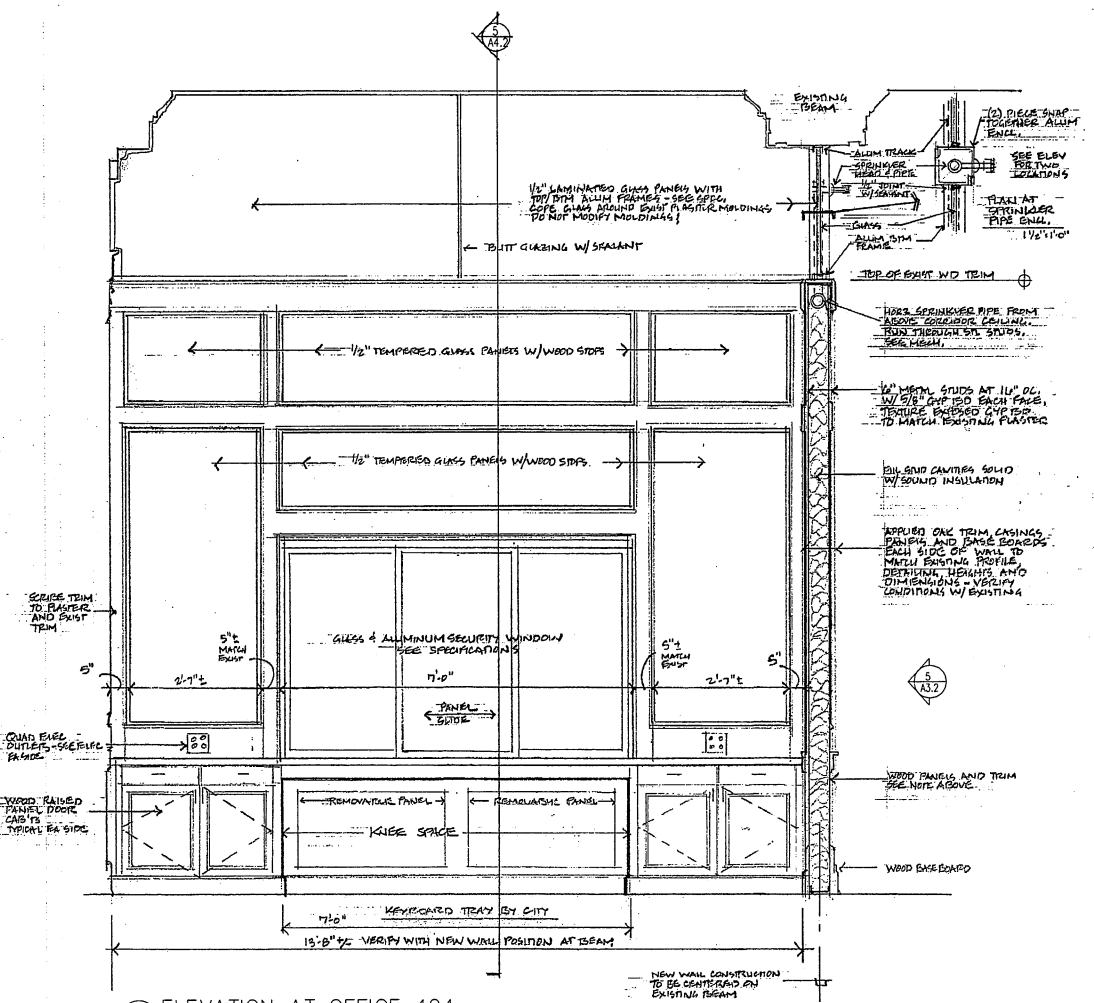
3 SOUTH ELEVATION
A3.2



4 NORTH ELEVATION
A3.2



5 WEST ELEVATION
A3.2



6 ELEVATION AT OFFICE 404
A3.2

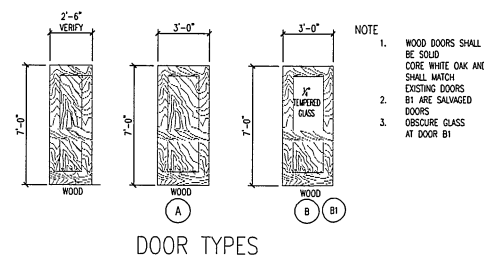
DEMOLITION NOTES: SEE SHEET A1
CONSTRUCTION NOTES: SEE SHEET A1.1
WALL TYPES: SEE SHEET A1.1

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL PROJECT # PFM20
INTERIOR RENOVATIONS- GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

ROOM NO.	ROOM NAME	FLOOR (1)		BASE (2)	WALLS (3)-(4)/(5)/(7)/(8)/(9)				CEILING (10)/(12)		REMARKS
		mnl?	fin.		NORTH	EAST	SOUTH	WEST	mnl?	IN.	
08	OPPOD HOTEL	CONC.	CARPET	EXIST'N W/PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS/OPD. BD	EXIST'N PLAS/PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	-----	
08A	CLOSET		CARPET	EXIST'N	EXIST'N PLAS	EXIST'N OPD. BD	EXIST'N OPD. BD	EXIST'N OPD. BD	EXIST'N PLAS	-----	
010	TOWEL LOBBY		TERMAZZO	TERMAZZO	EXIST'N OPD. BD	EXIST'N OPD. BD	EXIST'N OPD. BD	EXIST'N PLAS	SURF. ACCT.	-----	* WATCH EXISTING CLE HIGH
030	GENERAL OFFICE		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	-----	
033	UNIFORMS		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS	EXIST'N OPD. BD	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
033	OFFICE		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
014	WALL SPACE		CARPET	EXIST'N PLAS	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	SURF. ACCT.	11'0" +	* VERIFY
016	MEETING		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS/OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
016	WORKOUT		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
017	LOBBY		TILE	EXIST'N W/PLAS	EXIST'N PLAS/OPD. BD	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
018	WAITING		TILE	EXIST'N W/PLAS	EXIST'N PLAS/OPD. BD	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
018	FRONT DESK		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N OPD. BD	EXIST'N OPD. BD	EXIST'N PLAS	SURF. ACCT.	11'0" +	* WATCH EXISTING CLE HIGH
020	STEWARDS PLANNING		CARPET	EXIST'N W/PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
020	BV OFFICES		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	-----
022	WORK		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS/OPD. BD	EXIST'N OPD. BD	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
023	WORK		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	-----	EXIST'N OPD. BD	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
024	HALL		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
024A	HALL		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
025	HALL		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N OPD. BD	EXIST'N PLAS/OPD. BD	EXIST'N OPD. BD	EXIST'N PLAS	-----	
026	IT		EXIST	-----	-----	-----	-----	-----	-----	-----	
027	OFFICE		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	-----
028	MEETING		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
028	FILES		EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	SURF. ACCT.	10'0" +	-----
030	DIRECTOR'S OFFICE		CARPET	EXIST'N W/PLAS	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
031	ANTHONY & TRIP		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
033	OFFICE		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N PLAS	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
033	OPEN OFFICE		CARPET	EXIST'N W/PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS	EXIST'N PLAS/OPD. BD	EXIST'N PLAS/OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
034	BREAK		VCT	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N PLAS	EXIST'N PLAS	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	* WATCH EXISTING CLE HIGH
035	MURKAT COORD		CARPET	EXIST'N W/PLAS	EXIST'N OPD. BD	EXIST'N OPD. BD	-----	EXIST'N OPD. BD	SURF. ACCT.	10'0" +	-----
036	TOILET		EXIST	EXIST	-----	-----	-----	-----			

3RD FLOOR HUMAN RESOURCES FLOOR II	ROOM NO.	ROOM NAME	FLOOR (1)		BASE (2)	WALLS (3)(4)(5)(6)(7)(8)(9)				CEILING (10)(11) (12)		REMARKS
			mor1	fm		NORTH	EAST	SOUTH	WEST	mor2	M.	
		EAST – HUMAN RESOURCES										
310	LOBBY	CONC.	TILE	EXIST./NEW W/O	EXP. BD	EXP. BD	EXP. BD	EXIST. PLAS./EXP. BD	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
311	RECEPTION	CARPET	CARPET	EXIST./NEW W/O	EXP. BD	EXP. BD	EXP. BD	EXIST. PLAS./EXP. BD	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
313A	HALL	CARPET	CARPET	EXIST./NEW W/O	EXP. BD	EXP. PLAS.	EXIST. PLAS.	EXP. BD	EXP. PLAS.	SUPP. ACT.	10' x 11'	
314	OFFICE	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS./EXP. BD	EXIST. PLAS.	EXP. BD	EXP. BD	EXP. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
315	MEETING	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS./EXP. BD	EXP. BD	EXP. BD	EXP. BD	EXP. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
316	OPEN OFFICE	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS./EXP. BD	EXIST. PLAS./EXP. BD	EXP. BD	EXP. BD	EXP. PLAS./EXP. BD	SUPP. ACT.	11' x 11'	* VERIFY
314A	TRAINING	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS./EXP. BD	EXIST. PLAS./EXP. BD	EXP. BD	EXP. BD	EXP. PLAS./EXP. BD	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
315	MEETING ROOM	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS./EXP. BD	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS./EXP. BD	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
316	IT	VCT	EXIST. W/O	EXIST. W/O	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
317	MEETING	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
318A	FOUNTAINE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
319	HALL	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS./EXP. BD	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS./EXP. BD	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
320	IT	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	SUPP. ACT.	10' x 11'	
321	FILES	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS./EXP. BD	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
322	OFFICE	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS./EXP. BD	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
323	OFFICE	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS.	EXIST. PLAS./EXP. BD	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
324	OFFICE	CARPET	CARPET	EXIST./NEW W/O	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	SUPP. ACT.	10' x 11'	* MATCH EXISTING CLE HEIGHT
325	STORAGE	VCT	VCT	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	EXIST. PLAS.	SUPP. ACT/EXIST.	10' x 11'		

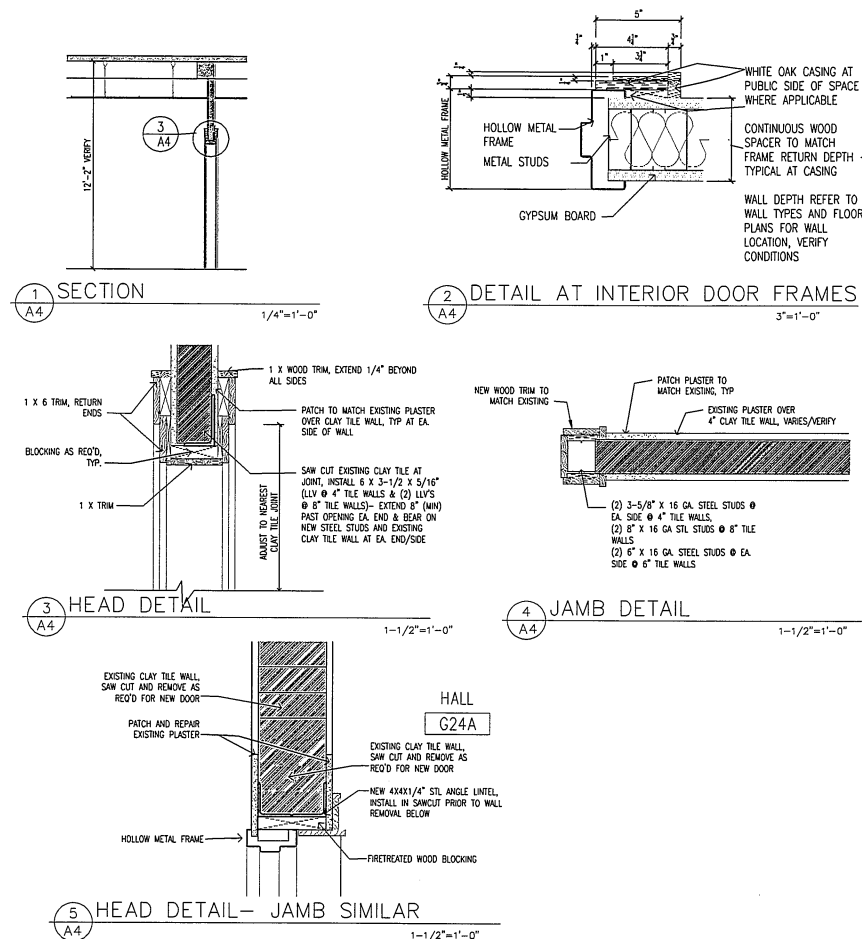
ROOM NO.	ROOM NAME	FLOOR (1)		BASE (2)	WALLS (3)(4)(5)(6)(7)(8)(9)				CEILING (10)(11)		REMARKS
		mat1	fr.		NORTH	EAST	SOUTH	WEST	mat2	M.	
400	WATER	CONC.	EXISTING	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
401	WATER WASTING		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	PLASTER	10'++	* MATCH EXISTING CLE HEIGHT
402	OPEN OFFICE		CARPET	EXIST_AEW	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS/CP/BD	10'++	* MATCH EXISTING CLE HEIGHT
403	RECEPTION WAITING		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	10'++	SEE INTERIOR ELEVATIONS
404	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	10'++	SEE INTERIOR ELEVATIONS
405	WATER RECEPTION		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	10'++	SEE INTERIOR ELEVATIONS
406	LARGE MEETING		CARPET	EXIST_AEW	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	10'++	* MATCH EXISTING CLE HEIGHT
407	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS/CP/BD	CP/BD	10'++	* MATCH EXISTING CLE HEIGHT
408	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS/CP/BD	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
409	CORRIDOR		CARPET	---	---	---	---	---	---	10'++	* MATCH EXISTING CLE HEIGHT
410	HALL		CARPET	EXIST_AEW	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	10'++	---
411	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS/CP/BD	EXIST_PLAS/CP/BD	10'++	* MATCH EXISTING CLE HEIGHT
412	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
413	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
414	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
415	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
416	OFFICE		CARPET	EXIST_AEW	EXIST_PLAS/CP/BD	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
417	OFFICE		CARPET	EXIST_AEW	CP/BD	CP/BD	EXIST/CP/BD	EXIST_PLAS	SUPP. ACT.	10'++	---
418	MEETING		CARPET	EXIST_AEW	EXIST_PLAS	CP/BD	CP/BD	---	---	10'++	* MATCH EXISTING CLE HEIGHT
419	RESEA		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS/CP/BD	CP/BD	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
420	STORAGE		CARPET	EXIST_AEW	CP/BD	EXIST_PLAS	CP/BD	---	SUPP. ACT.	10'++	* MATCH EXISTING CLE HEIGHT
421	EXISTING DATA ROOM		CARPET	EXIST_AEW	EXIST_PLAS	EXIST_PLAS	EXIST_PLAS	---	---	10'++	---
422	COPY ROOM		CARPET	EXIST_AEW	EXIST/CP/BD	---	EXIST/CP/BD	CP/BD	SUPP. ACT.	10'++	---
423	OFFICE		CARPET	EXIST_AEW	EXIST	EXIST	EXIST	EXIST	SUPP. ACT.	10'++	---
424	OFFICE		CARPET	EXIST_AEW	EXIST	EXIST	EXIST	---	SUPP. ACT.	10'++	---



	DOOR NO.	SIZE			DOOR TYPE	FRAME TYPE	JAMB 1	HOWR SEE SPEC.	REMARKS
		w.	h.	t.					
GROUND FLOOR - PARKS AND RECREATION PHASE III	G8A	3'-6"	7'-0"	1 3/4"	A	1	METAL STUD		
	G9B	EXISTING DOOR							CARD ACCESS
	G9C	EXISTING DOOR							
	G10A	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD		CARD ACCESS
	G10B	EXISTING DOOR							
	G10C								TICKET WINDOW
	G13A	3'-0"	7'-0"	1 3/4"	B	1	METAL STUD		
	G13B	6'-8"	3'-0"			2	METAL STUD		WINDOW
	G13C	3'-4"	3'-10"			3	METAL STUD		WINDOW
	G15A	3'-0"	7'-0"	1 3/4"	B	1	CLAY TILE		
	G15B	EXISTING DOOR							CARD ACCESS
	G16A	EXISTING DOOR							CARD ACCESS
	G16B	EXISTING DOOR							CARD ACCESS
	GROUND FLOOR - PARKS AND RECREATION PHASE IV	EAST							
G17A		3'-0"	7'-0"	1 3/4"	B	1	1/2 N 1/2		CARD ACCESS
G17B		3'-0"	7'-0"	1 3/4"	B	1	METAL STUD		CARD ACCESS
G17C		EXISTING DOOR							CARD ACCESS ?
G19		3'-0"	7'-0"	1 3/4"	B	1	1/2 N 1/2		
G25		3'-0"	7'-0"	1 3/4"	A	1	CLAY TILE		VERIFY DIMENSIONS ON SITE AND ADJUST
G27		EXISTING DOOR							
G28		EXISTING DOOR							
G29		3'-0"	7'-0"	1 3/4"	A	1	CLAY TILE		
G30		EXISTING DOOR							
G32		3'-0"	7'-0"	1 3/4"	B	1	METAL STUD		
G34A		3'-0"	7'-0"	1 3/4"	B	EXISTING	METAL STUD		* VERIFY SIZE
G34B		3'-0"	7'-0"	1 3/8"	B	1	METAL STUD		
G34C		3'-0"	7'-0"	1 3/4"	A	1	1/2 N 1/2		
G38A		3'-0"	7'-0"	1 3/4"	A	1	METAL STUD		
G39B		EXISTING DOOR							CARD ACCESS
G39A	2) ?	7'-0"	1 3/4"	A	4	METAL STUD		VERIFY CLEARANCES AT ELEC. PANELS W/ FRAM	
G39B	2) ?	7'-0"	1 3/4"	A	4			VERIFY CLEARANCES AT ELEC. PANELS W/ FRAM	
G39C	EXISTING DOOR								
G40	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD		CARD ACCESS	
G42	EXISTING DOOR								
G43A	EXISTING DOOR							CARD ACCESS	
G43B	EXISTING DOOR								
G44	EXISTING DOOR								
G45	EXISTING DOOR							CARD ACCESS	
G46	EXISTING DOOR							CARD ACCESS	

THIRD FLOOR – HUMAN RESOURCES PHASE II	DOOR NO.	SIZE			DOOR TYPE	FRAME TYPE	JAMB ₁	UL LABEL	HOWR	REMARKS
		w.	h.	t.						
		310A	3'-0"	7'-0"						
310B	EXISTING DOOR									CARD READER
311	3'-0"	7'-0"	1 3/4"	B	1	METAL STUD				CARD READER
314A	EXISTING DOOR									CARD READER
315	EXISTING DOOR									
316A	EXISTING DOOR									
316B	EXISTING DOOR									
317	EXISTING DOOR									
318A	EXISTING DOOR									CARD READER
318B	EXISTING DOOR									
319	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD				CARD READER
320	EXISTING DOOR									
321	3'-0"	7'-0"	1 3/4"	A	1	CLAY TILE				
322	EXISTING DOOR									
323	3'-0"	7'-0"	1 3/4"	B	1	1/2" N 1/2"				
324	3'-0"	7'-0"	1 3/4"	B	1	1/2" N 1/2"				
325	3'-0"	7'-0"	1 3/4"	A	1	1/2" N 1/2"				VERIFY DIMENSION

DOOR NO.	SIZE			DOOR TYPE	FRAME TYPE	JAMB	UL LABEL	HWRH	REMARKS
	w.	h.	t.						
400A	EXISTING	DOOR							
400B	EXISTING	DOOR							
400A	EXISTING	DOOR							
403B	EXISTING	DOOR							CARD ACCESS
403A	EXISTING	DOOR							
405A	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD			CARD ACCESS
405B	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD			CARD ACCESS
405C	EXISTING	DOOR							CARD ACCESS
406A	EXISTING	DOOR							
407B	3'-0"	7'-0"	1 3/4"	A	EXIST	EXIST	MD		CARD ACCESS
407A	3'-0"	7'-0"	1 3/4"	A	EXIST	EXIST	MD		EXISTING DOOR IS 3/4" METAL STUD NEW 1/2" METAL STUD
408B	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD			VERIFY EXISTING DOOR R.D.
408	3'-0"	7'-0"	1 3/4"	B1	1	METAL STUD			CARD ACCESS
410	EXISTING	DOOR							CARD ACCESS
413	EXISTING	DOOR							
414	EXISTING	DOOR							
415	EXISTING	DOOR							
416	3'-0"	7'-0"	1 3/4"	B1	1	METAL STUD			
417	3'-0"	7'-0"	1 3/4"	B1	1	METAL STUD			
418	3'-0"	7'-0"	1 3/4"	B1	1	METAL STUD			
420	3'-0"	7'-0"	1 3/4"	A	1	METAL STUD			
422	3'-0"	7'-0"	1 3/4"	B	1	METAL STUD			
423	3'-0"	7'-0"	1 3/4"	B1	1	METAL STUD			
424	3'-0"	7'-0"	1 3/4"	B1	1	METAL STUD			

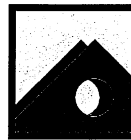


- (1) ALL FLOOR SURFACES WITHIN PROJECT AREA TO RECEIVE NEW FLOOR TREATMENTS UNLESS NOTED AS EXISTING OR TO REMAIN. ALL FLOORS ARE TO BE PREPARED AND LEVELLED AS REQUIRED FOR NEW COVERINGS. PROVIDE FLOOR FILLERS AT EXISTING WALLS THAT WERE REMOVED AND FLATHER OUT TO PROVIDE MINIMAL CHANGE IN ELEVATION. PROVIDE TRANSITION STRIPS AT INTERSECTION OF DIS-SIMILAR COVERINGS. SEE SPECIFICATION
- (2) EXISTING WOOD BOARD RAILS TO REMAIN UNLESS NOTED AS TO BE REMOVED OR REPLACED BY NEW WOOD CONSTRUCTION
- (3) EXISTING WOOD BOARD RAILS EXISTING ABOVE BASE, NEW RAIL IS TO BE FITTED ABOVE BASE BOARD. NEW WALL SECTIONS GENERALLY TO RECEIVE 4" VINYL BASE, AT WALLS WITH EXISTING BASE WHEN NEW OPENINGS ARE MADE OR WHERE WALLS WERE REMOVED ARE TO BE PATCHED WITH SALVAGED MATERIAL. PATCHES, TRIM AND JOINTS ARE TO BE FINISHED - SEE SPECIFICATIONS AND UNIT COST AND ALLOWANCE
- (4) FOR PATCHING OF BASEBOARDS, AND PAINTING/ STAINING REQUIREMENTS
- (5) ALL EXISTING PLASTER WALLS WITHIN PROJECT AREA IS TO BE LEFT IN PLACE UNLESS SPEC. INFORMATION FOR PLASTER REPAIR NOTES AND ALLOWANCES. ALL REPAIRS ARE TO BE INVISIBLE WHEN PAINTED. ALL NEW FINISHES TO BE PAINTED
- (6) ALL NEW WALLS TO BE FITTED ABOVE EXISTING BASEBOARDS AND CHAIR RAILS
- (7) GENERALLY ALL WOOD CHAIR RAILS ARE TO REMAIN THROUGHOUT PROJECT UNLESS NOTED TO BE REMOVED OR REPLACED DUE TO NEW CONSTRUCTION. WHERE NEW CONSTRUCTION IS REQUIRED, CHAIR RAILS TO BE REMOVED OR REPLACED BY NEW WOOD RAIL. NEW WALL SECTIONS GENERALLY TO RECEIVE NEW WOOD CHAIR RAILS. AT WALLS WITH EXISTING CHAIR RAILS WHERE NEW OPENINGS ARE MADE OR WHERE WALLS WERE REMOVED THEY ARE TO BE PATCHED WITH SALVAGED MATERIAL. PATCHES, TRIM AND JOINTS ARE TO BE FINISHED - ALL CHAIR RAILS ARE TO BE REFINISHED - SEE SPECIFICATIONS AND UNIT COST AND ALLOWANCE FOR PATCHING OF CHAIR RAIL AND PAINTING/ STAINING REQUIREMENTS
- (8) MISCELLANEOUS PATCHING OF WALLS REQUIRED THROUGHOUT PROJECT AREA FOR ITEMS NOT SPECIALLY NOTED AS TO BE REPAIRED, OR FOR FORMER WALL KING LINES. ALL WALLS TO BE FINISHED AND COMPLETE AT THE END OF PROJECT. NOTE DOCUMENTATION OF ACTUAL AREAS AS NOTED, SHOWN IN SPECIFICATIONS
- (9) CONTRACTOR TO PROVIDE SULL WALL BLOCKING WHERE POSSIBLE AT NEW AND EXISTING WALLS FOR ITEMS SUCH AS MOUNTINGS, SCREENS AND ETC.
- (10) ALL WIRING IN WALLS TO BE CONCEALED AND WITHIN STUD CAVITY. SEE ELECTRICAL
- (11) ALL WALLS, HARD CEILINGS, WOOD BASE BOARDS, WOOD CHAIR RAILS, DOORS/FRAMES/CEINGS AND TRIMMERS TO BE PAINTED OR STAINED THROUGHOUT. EXTERIOR TRIMMER, DOORS AND WINDOW CORRIDOR DOORS/FRAMES AND CASINGS. ALL OTHER CORRIDOR FINISHES TO REMAIN. TRIMMER TOUCH UP WORK IS REQUIRED DUE TO NEW CONSTRUCTION
- (12) CEILING HEIGHTS INDICATED ARE MINIMUM FLOOR TO CEILING DIMENSIONS. GENERALLY NEW CEILINGS WILL BE INSTALLED AT FORMER CEILING HEIGHTS TO MATCH EXISTING
- (13) CEILING DROP PLANS FOR PLANS IS ONLY A GUIDE. ACTUAL LAYOUT TO BE DETERMINED BY CEILING CONTRACTOR. ELECTRICAL CONTRACTOR TO PROVIDE LAYOUT WITHIN PROJECT AREA
- (14) SEE REFLECTED GRI DICATION FOR AN ADDITIONAL INFORMATION AND BULKHEAD LOCATIONS

- 1) All existing floor coverings to be removed down to original floor surface.
- 2) See specification for allowances for new carpet and window treatments.
- 3) See specification for base bid painting and alternate requirements.
- 4) New gypsum board wall surfaces exposed to view to receive textured coating to match original plaster texture. Provide mock up for approval before proceeding.
- 5) See electrical plans for chandelier replacement and relamping notes.
- 6) New glass decorative glass to be cut to fit around corners and moldings. No moldings are to be removed or disturbed.
- 7) Contractor to install new red oak baseboards, trim, and new wood to new walls missing existing chairs, profiles and moldings. New wood to be finished to match existing in either base bid or alternate scenario.

ALL PHASES

LINE IS TWO INCHES
AT FULL SCALE on a 30x42 sheet
(IF NOT 2" - SCALE ACCORDINGLY)



I hereby certify that this plan, specification, or report
 was prepared by me or under my direct supervision
 and that I am a duly Licensed ARCHITECT
 under the laws of the State of MINNESOTA.

 ROBERT FERN

 Date 2-23-21

 Page No. 20068

SCHEDULES/DETAILS

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
 DULUTH CITY HALL – PROJECT # PFM20
 INTERIOR RENOVATIONS – GROUND FLOOR – THIRD FLOOR– FOURTH FLOOR
 414 WEST FIRST STREET, DULUTH, MN 55802

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of: 10			



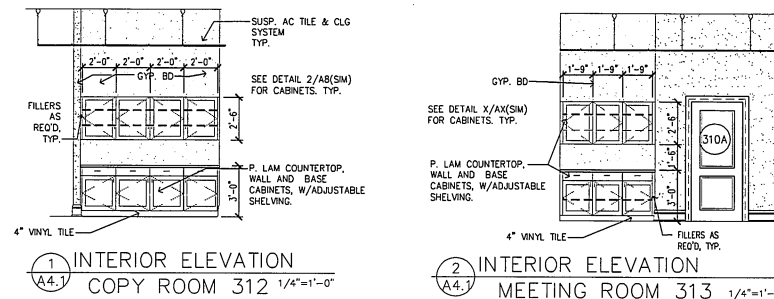
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.
ROBERT FERN
Architect
Date: 2-23-2021 Reg. No. 20088

INTERIOR ELEVATIONS / DETAILS

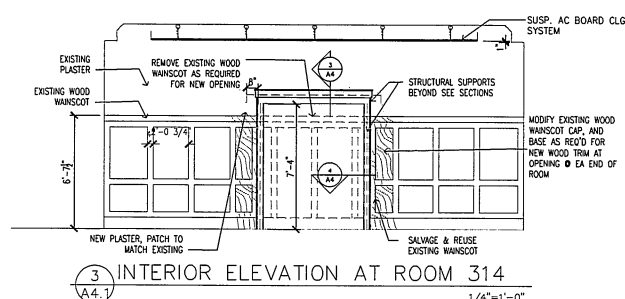
RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271

DULUTH CITY HALL - PROJECT # PF020
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

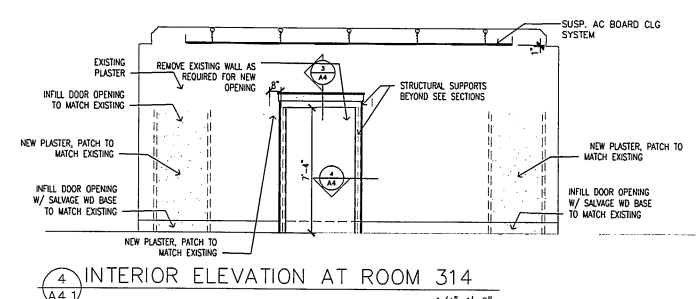
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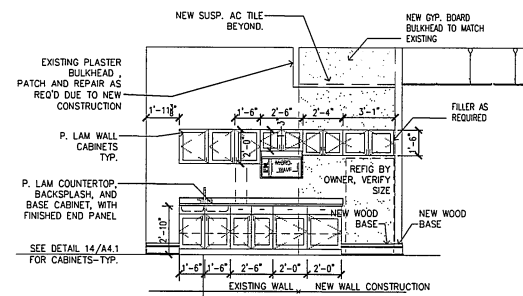
2 INTERIOR ELEVATION
A4.1 MEETING ROOM 313 1/4"=1'-0"



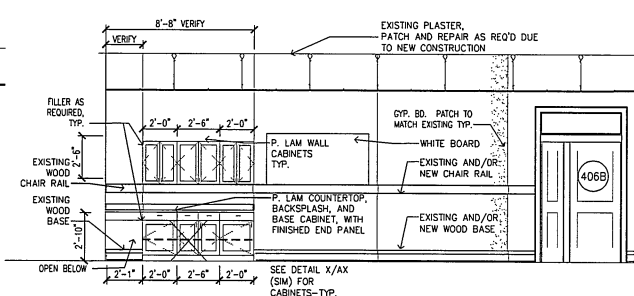
3 INTERIOR ELEVATION AT ROOM 314
A4.1 1/4"=1'-0"



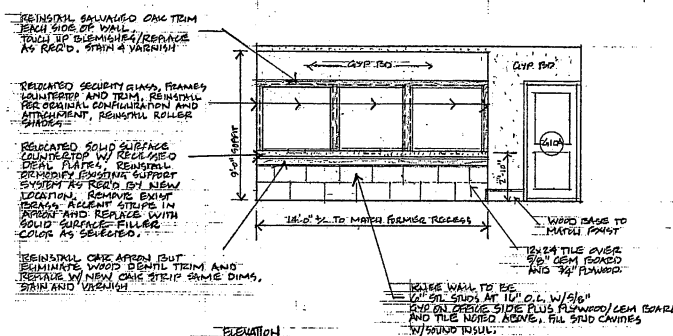
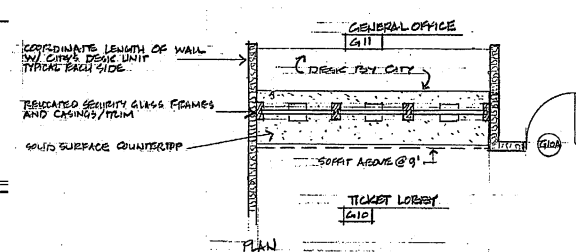
4 INTERIOR ELEVATION AT ROOM 314
A4.1 1/4"=1'-0"



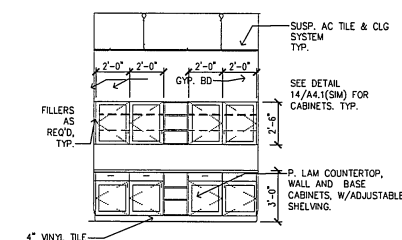
5 INTERIOR ELEVATION
A4.1 BREAK ROOM 419 1/4"=1'-0"



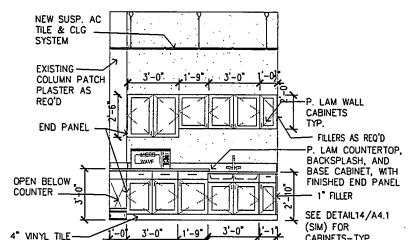
6 INTERIOR ELEVATION
A4.1 LARGE MEETING ROOM 406 1/4"=1'-0"



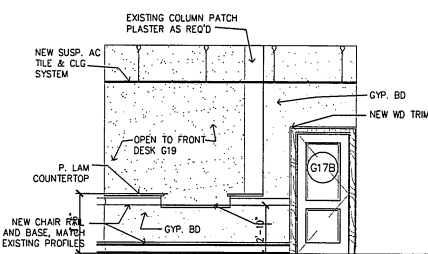
7 SECURITY WINDOW AT PARK SERVICES
A4.1 TICKET LOBBY G10 1/4"=1'-0"



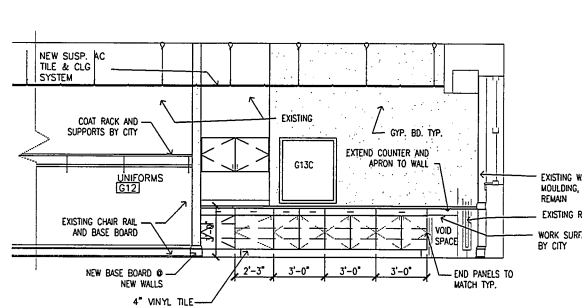
9 INTERIOR ELEVATION
A4.1 COPY ROOM 422 1/4"=1'-0"



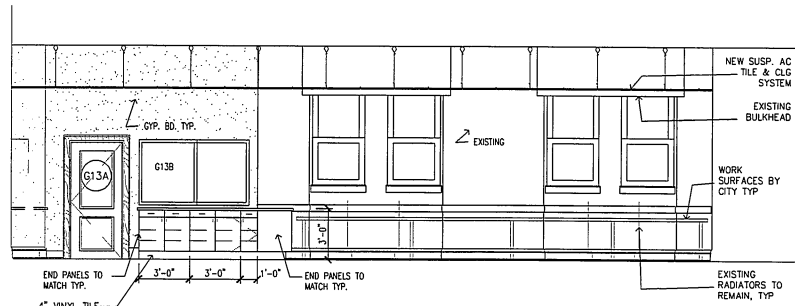
10 INTERIOR ELEVATION
A4.1 BREAK ROOM G34 1/4"=1'-0"



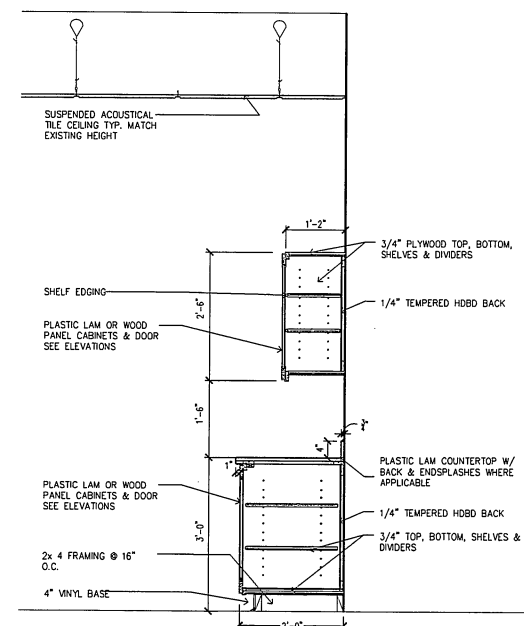
11 INTERIOR ELEVATION
A4.1 LOBBY G17 1/4"=1'-0"



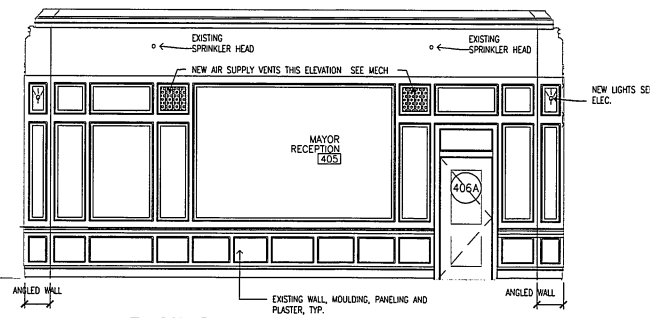
12 INTERIOR ELEVATION
A4.1 GENERAL OFFICE G10 1/4"=1'-0"



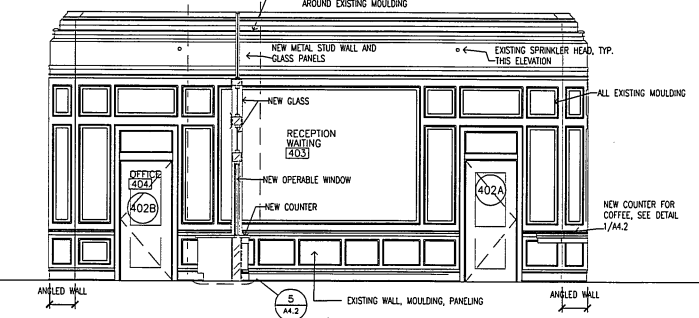
13 INTERIOR ELEVATION
A4.1 GENERAL OFFICE G10 1/4"=1'-0"



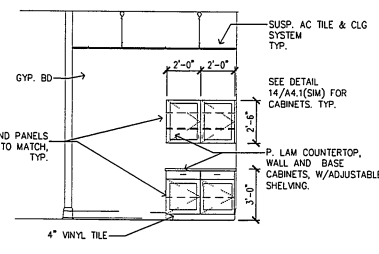
14 BASE AND WALL CABINETS DETAIL
A4.1 3/4"=1'-0"



15 EAST ELEVATION
A4.1 MAYORS RECEPTION 405 1/4"=1'-0"

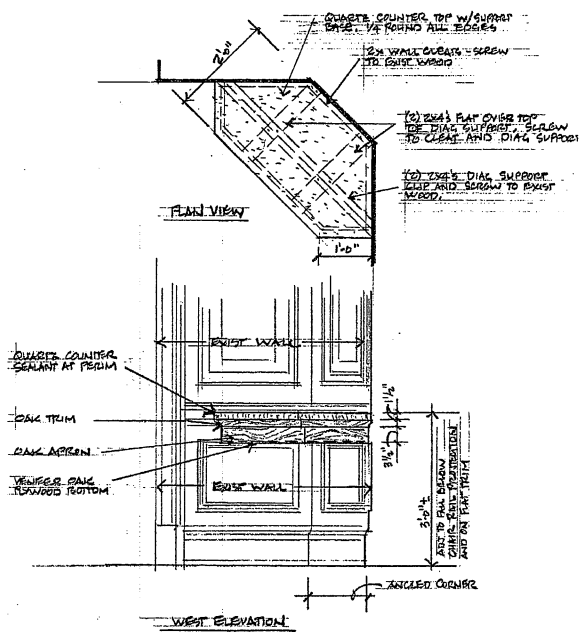


16 WEST ELEVATION/SECTION
A4.1 1/4"=1'-0"

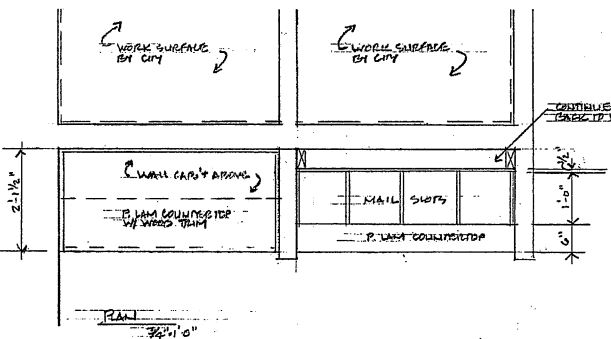


17 INTERIOR ELEVATION
A4.1 COPY ROOM G23 1/4"=1'-0"

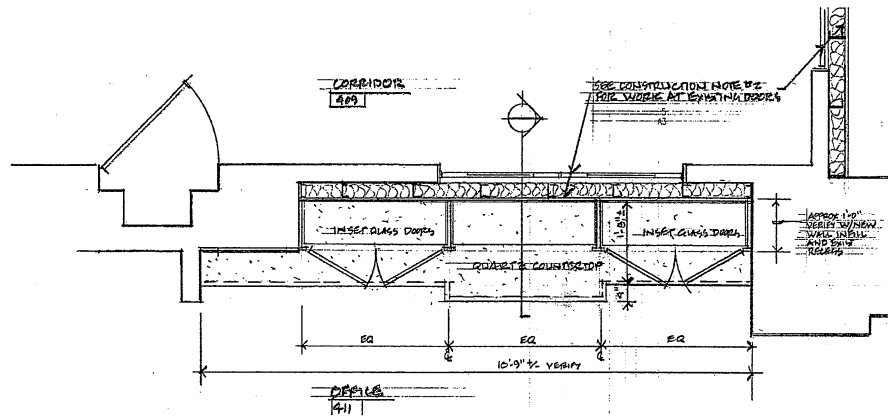
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AT FULL SCALE ON A 30x42 SHEET
(IF NOT 2\"/>



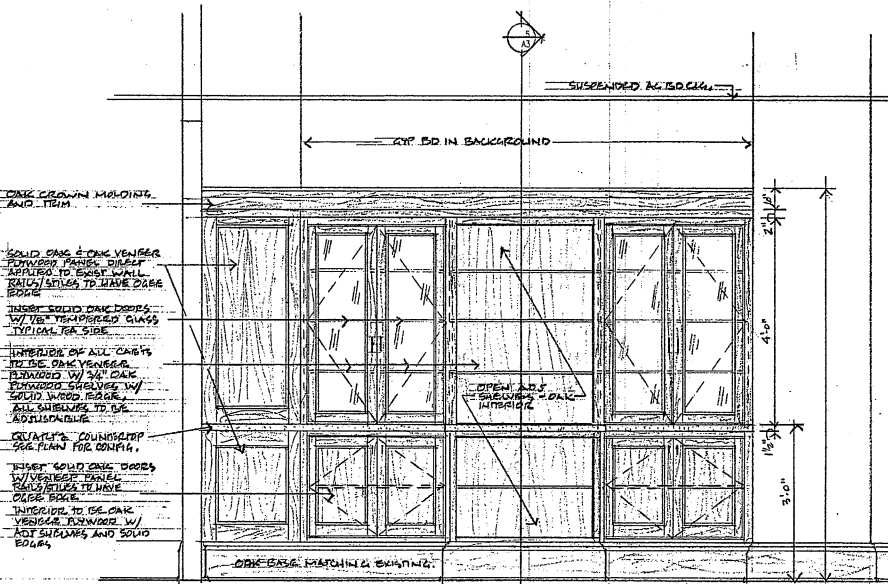
1 RECEPTION WAITING COFFEE COUNTER TOP
ROOM 403
3/4"=1'-0"



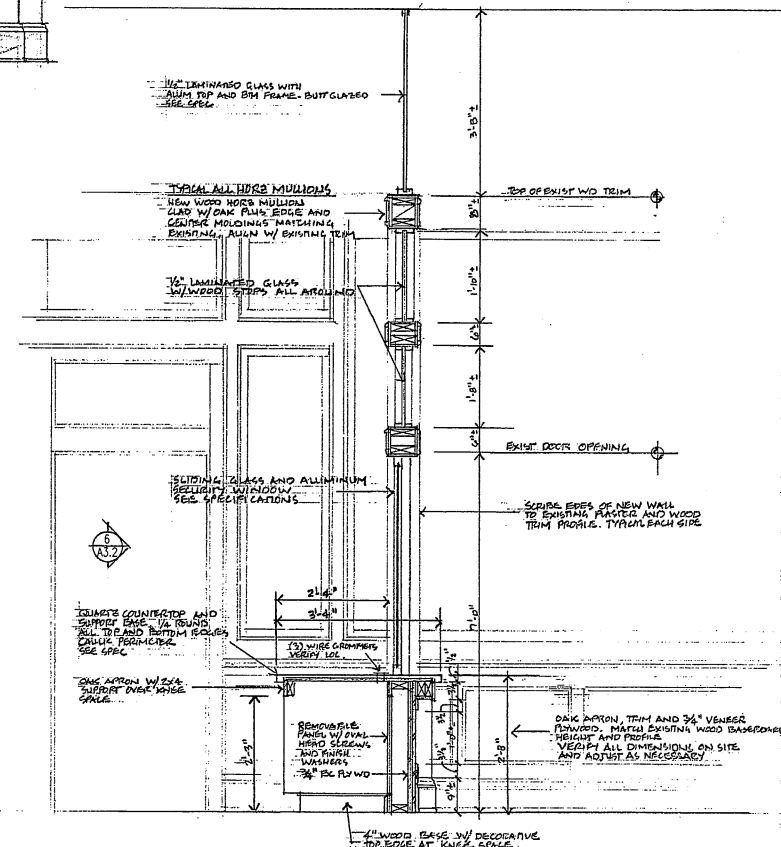
2 CABINETS AT - WORK G22
A4.2
3/4"=1'-0"



3 ELEVATION AT CABINET - OFFICE 411
A4.2
3/4"=1'-0"



4 SECTION AT 411 CABINET
A4.2
3/4"=1'-0"



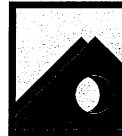
5 SECTION
A4.2
3/4"=1'-0"

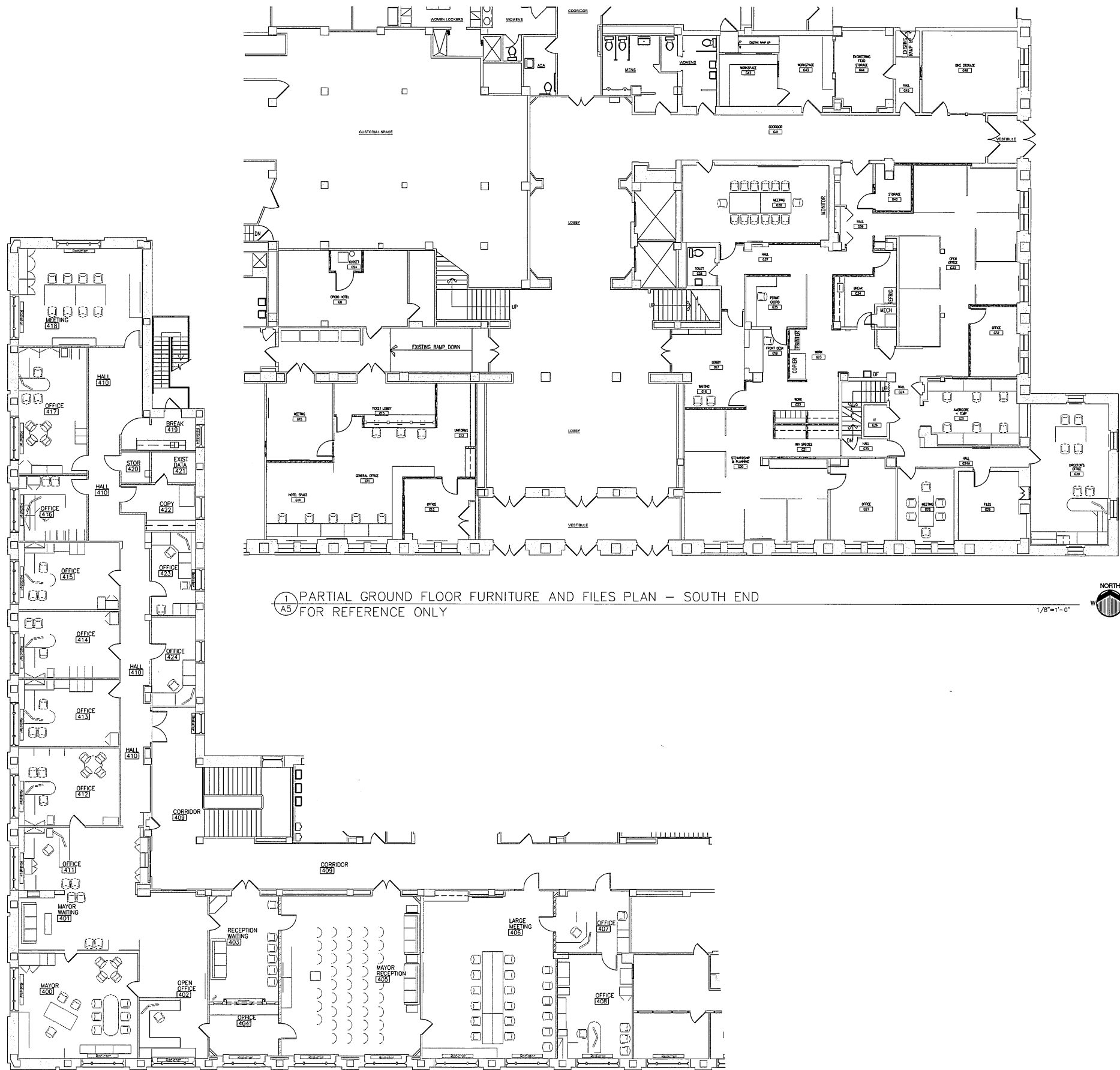
SECTIONS / DETAILS

RW Fern Associates Inc. Architects, 5517 Grand Ave. Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # PF2020
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

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of 10

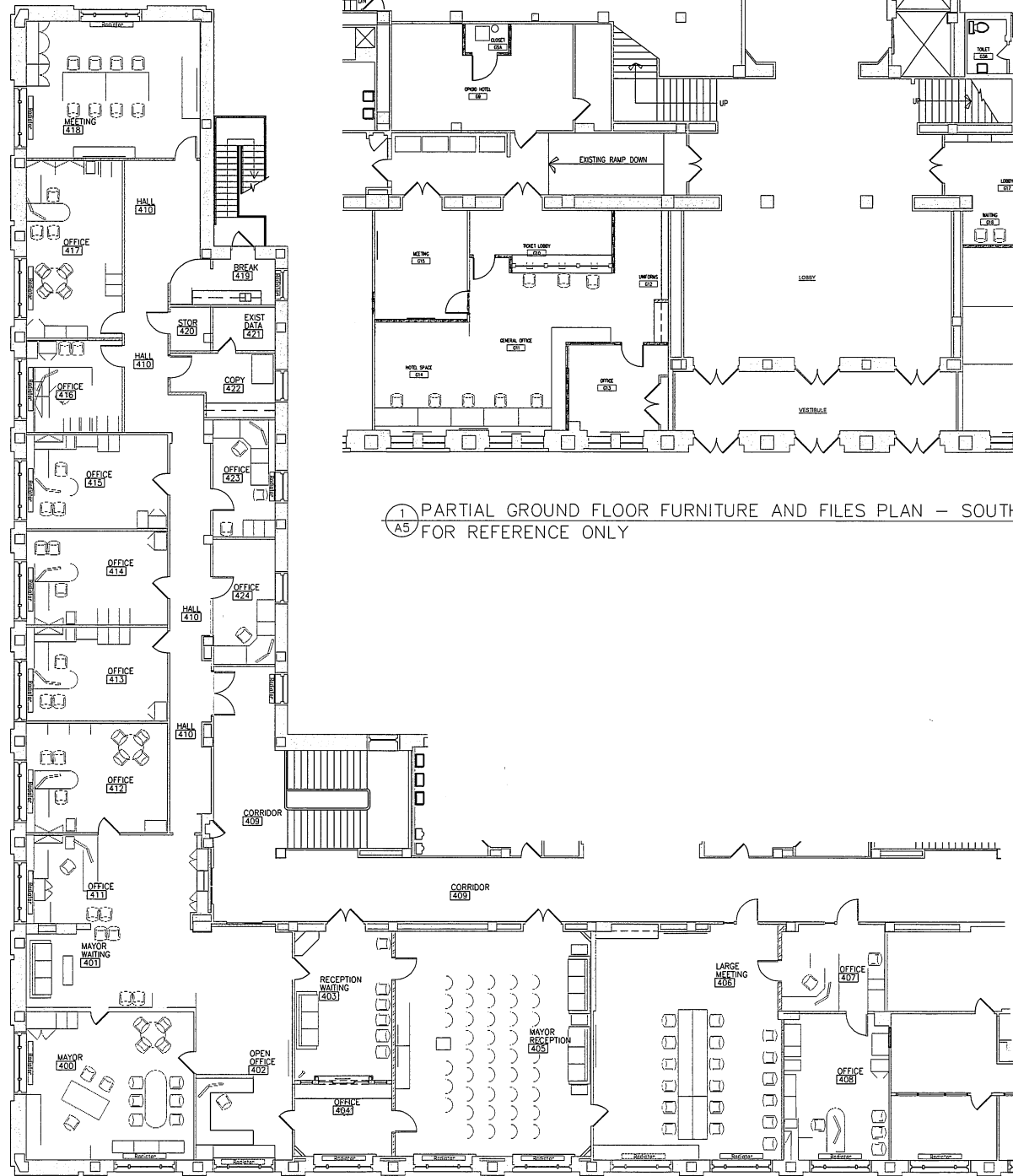
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of MINNESOTA.
PROJECT TEAM: [Signature]
Date: 2-23-2021 Reg. No. 20088





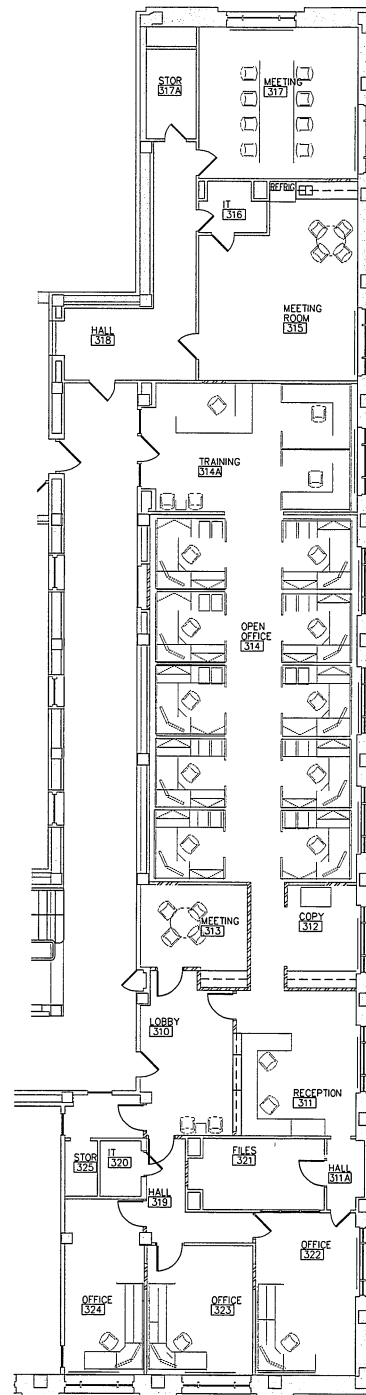
1 PARTIAL GROUND FLOOR FURNITURE AND FILES PLAN - SOUTH END
A5 FOR REFERENCE ONLY

1/8"=1'-0"



2 PARTIAL 4TH FLOOR FURNITURE AND FILES PLAN
A5 FOR REFERENCE ONLY

1/8"=1'-0"



3 FURNITURE AND FILES LAYOUT
A5 FOR REFERENCE ONLY

1/8"=1'-0"



LINE IS TWO INCHES
AT FULL SCALE on a 36x42 sheet
(IF NOT 2" SCALE ACCORDINGLY)

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # PFM20
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

FURNITURE AND FILES PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of MINNESOTA.
ROBERT FERN
Date: 2-23-21
Page No.: 20088

As No. 2471
Drawn By: [Signature]
Sheet:
A5
of 10



I HEREBY CERTIFY THAT THIS PLAN
WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA

PRINT NAME: PAUL D. HASLACH
SIGNATURE: *Paul D Haslach*
DATE: 02/20/2021 LIC. NO. 24488

MECHANICAL TITLE SHEET

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271.

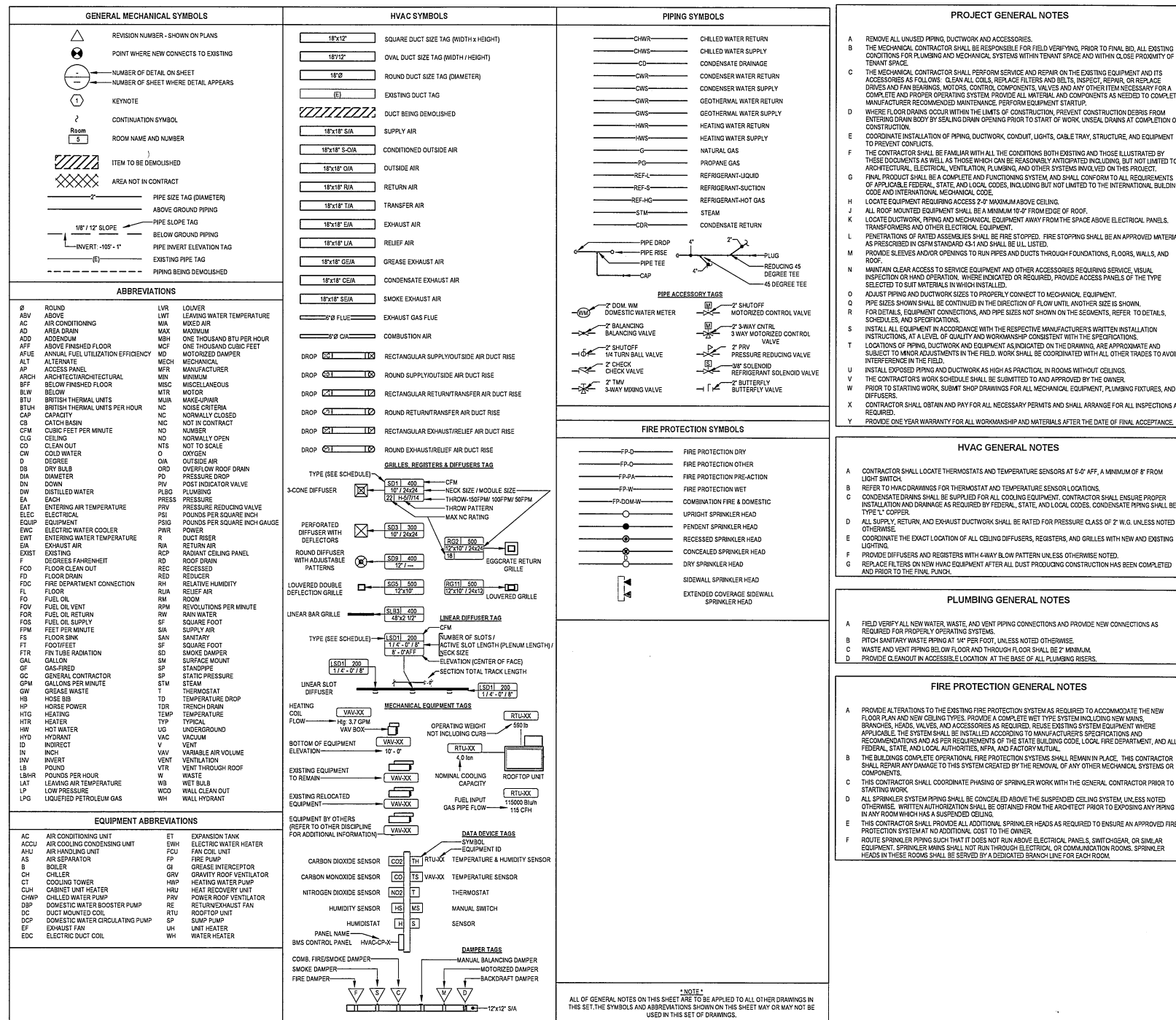
DULUTH CITY HALL - PROJECT # 21-
 INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
 411 WEST FIRST STREET, DULUTH, MN. 55802

Job No.	Date
87458	Issue Date
Drawn by	Checked by
Author	Checker

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SECTION 21000 - COMMON WORK RESULTS FOR FIRE PROTECTION

A. GENERAL CONDITIONS

1. THE GENERAL CONDITIONS, SPECIAL CONDITIONS, SUPPLEMENTARY CONDITIONS, AND "GENERAL CONDITIONS OF THE CONTRACT," CURRENT EDITION, ESTABLISHED IN STANDARD FORM BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED BELOW. THIS CONTRACTOR SHALL BE FAMILIAR WITH THESE PROVISIONS AND ADHERE TO THESE REQUIREMENTS. THIS CONTRACTOR SHALL COORDINATE FIRE PROTECTION WORK WITH ALL OTHER TRADES AND BUILDING OWNER PRIOR TO INSTALLATION. PROVIDE ALL SUBMITTALS AS REQUIRED BY THE LANDLORD AND AUTHORITY HAVING JURISDICTION.

B. RELATED DOCUMENTS

1. THIS CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS, ELECTRICAL PLANS AND SPECIFICATIONS, SUCH PLANS AND SPECIFICATIONS ARE A PART OF THE CONTRACT DOCUMENTS. CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS SURROUNDING THE WORK.

C. PLANS AND SPECIFICATIONS

1. THROUGHOUT THE COURSE OF THE WORK, THE BUILDING OWNER MAY REQUEST MINOR CHANGES AND ADJUSTMENTS TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS WITHOUT ADDITIONAL COST TO THE BUILDING OWNER, WHERE SUCH ADJUSTMENTS ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE SYSTEMS, AND WITHIN THE INTENT OF THE CONTRACT DOCUMENTS.

2. IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO FORM A GUIDE FOR A COMPLETE INSTALLATION. EVERYTHING NECESSARY FOR THE COMPLETION AND SUCCESSFUL OPERATION OF THE WORK, WHETHER OR NOT DEFINITELY SPECIFIED OR INDICATED ON THE DRAWINGS SHALL BE PROVIDED AS IF SO SPECIFIED OR INDICATED WITHOUT ADDITIONAL COST TO THE BUILDING OWNER. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.

3. NOTWITHSTANDING ANY OTHER PROVISIONS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR BEARS ULTIMATE RESPONSIBILITY FOR COMPLIANCE OF THE INSTALLATION WITH THE REQUIREMENTS OF THE BUILDING OWNER AND OF THE LOCAL AUTHORITY HAVING JURISDICTION.

4. ALL LANDLORD BUILDING SYSTEMS WHICH ARE ROUTED THROUGHOUT THE TENANT SPACE AND ARE NOT INTENDED FOR TENANT CONNECTION OR USE SHALL REMAIN AND SHALL NOT BE REMOVED OR MODIFIED.

D. MODIFICATIONS

1. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTOR FAILING TO GIVE SUCH NOTICE BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS, DISCREPANCIES OR OMISSIONS AND THE ASSOCIATED COST OF RECTIFYING.

E. CODE COMPLIANCE

1. THIS CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL CODES AND ALL RULES, REGULATIONS, BY-LAWS AND THE REQUIREMENTS AND INTERPRETATIONS OF ALL AUTHORITIES HAVING JURISDICTION REGULATING THIS WORK. HOWEVER, THIS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLYING WITH ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS THAT MAY BE IN EXCESS OF ANY GOVERNING CODES.

2. DRAWINGS AND SPECIFICATIONS SHALL NOT CONFLICT WITH ABOVE REGULATION BUT WHERE THERE ARE DISCREPANCIES, THE CONTRACTOR SHALL NOTIFY THE CONTRACTING AUTHORITY IN WRITING AND OBTAIN CLARIFICATION PRIOR TO TENDER CLOSING.

3. ALL ELECTRICAL ITEMS ASSOCIATED WITH EQUIPMENT ARE TO BEAR A STAMP TO INDICATE SPECIAL ELECTRICAL SAFETY AUTHORITY APPROVAL.

F. PERMITS, FEES, LICENSES

1. THIS CONTRACTOR SHALL PAY ALL FEES AND RELATED CHARGES FOR PERMITS, LICENSES, ETC., REQUIRED FOR INSTALLATION OF THE SYSTEM.

G. WARRANTY

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN A FIRST-CLASS WORKMANLIKE MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION. THIS CONTRACTOR SHALL REQUIRE ANY PERSONS PERFORMING ANY SUCH WORK TO GUARANTEE THE SAME TO BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE DATE OF COMPLETION THEREOF. THIS CONTRACTOR SHALL ALSO REQUIRE ANY SUCH PERSONS TO BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR WITHOUT ANY ADDITIONAL COST TO ANY AND ALL WORK DONE OR FURNISHED BY OR THROUGH SUCH PERSONS WHICH SHALL BECOME DEFECTIVE WITHIN ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF WORK. THE CORRECTION OF SUCH WORK SHALL INCLUDE WITHOUT ADDITIONAL COST ALL EXPENSES AND DAMAGES IN CONNECTION WITH SUCH REMOVAL, REPLACEMENT OR REPAIR OF ANY PART OF THE WORK WHICH MAY BE DAMAGED OR DISTURBED THEREBY.

H. RELATED WORK

1. MATERIALS AND EQUIPMENT SHALL BE FREE OF DEFECTS.

2. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR INSTALLATION OF NEW SYSTEMS AND EQUIPMENT.

I. EQUIPMENT ORDER

1. THE CONTRACTOR SHALL ORDER ALL EQUIPMENT REQUIRED WITHIN TEN DAYS UPON RECEIPT OF CONTRACT IN ORDER TO ENSURE TIMELY RECEIPT OF MATERIAL. SUBSTITUTIONS AFTER THIS DATE DUE TO LACK OF PLACEMENT OF ORDER WILL NOT BE APPROVED.

SECTION 21103 - NET PIPE SPRINKLER SYSTEMS

A. FIRE PROTECTION SYSTEMS

1. PROVIDE ALTERATIONS TO THE EXISTING FIRE PROTECTION SYSTEM TO ACCOMMODATE THE NEW FLOOR PLAN AND NEW RELECTED CEILING PLAN. ALL CHANGES SHALL BE IN COMPLIANCE WITH NFPA LOCAL FIRE AUTHORITIES AND THE BUILDING OWNER. ALL UNUSED PIPING OR EQUIPMENT SHALL BE REMOVED. RELOCATE ALL MAIN AND BRANCH PIPING ABOVE NEW CEILING OR SUBSTANTIAL ARCHITECTURAL ELEMENTS.

2. SPRINKLER HEADS IN FINISHED CEILINGS SHALL BE SEMI-RECESSED TYPE WITH CHROME FINISH. SPRINKLER HEADS IN GYP/PSB BOARD CEILINGS SHALL BE CONCEALED TYPE WITH WHITE COVER PLATE TO MATCH ADJACENT CEILING COLOR. SIDEWALL SPRINKLER HEADS SHALL MATCH FINISH OF EXISTING. SPRINKLER HEADS IN 2 FOOT X 2 FOOT CEILING TILES MUST BE CENTERED. WHERE SPRINKLER HEADS OCCUR IN 3 FOOT X 4 FOOT CEILING TILES, HEADS MUST BE CENTERED IN THE RIGHT OR LEFT HALF OF THE TILE.

3. QUICK RESPONSE TYPE SPRINKLER HEADS TO BE PROVIDED IN ALL AREAS.

4. NOTIFY THE BUILDING OWNER OF THE TIME AND DURATION OF THE FIRE PROTECTION WORK. DO NOT LEAVE THE SYSTEM INOPERABLE OR OPERABLE. THE SPRINKLER SYSTEM SHALL BE FULLY CHARGED AND OPERATIONAL WHEN THE SPRINKLER CONTRACTOR IS OFF SITE.

5. SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13A AND LOCAL FIRE AUTHORITY. SPRINKLER PRODUCTS TO BE VIKING, ELKHART, POTTER ROEMER, OR DNTX.

6. SPRINKLER HEAD LAYOUT SHALL MATCH LOCATIONS IF SHOWN ON PLANS, AND BE INSTALLED ELSEWHERE ACCORDING TO NFPA REQUIREMENTS. IF ANY ADDITIONAL HEADS ARE REQUIRED, NOTIFY THE ARCHITECT PRIOR TO INSTALLATION FOR APPROVAL. COORDINATE LOCATIONS WITH ALL CEILING MOUNTED DEVICES.

SECTION 22000 - COMMON WORK RESULTS FOR PLUMBING

A. GENERAL CONDITIONS

1. THE GENERAL CONDITIONS, SPECIAL CONDITIONS, SUPPLEMENTARY CONDITIONS, AND "GENERAL CONDITIONS OF THE CONTRACT," CURRENT EDITION, ESTABLISHED IN STANDARD FORM BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED BELOW. THIS CONTRACTOR SHALL BE FAMILIAR WITH THESE PROVISIONS AND ADHERE TO THESE REQUIREMENTS. THIS CONTRACTOR SHALL COORDINATE PLUMBING WORK WITH ALL OTHER TRADES AND BUILDING OWNER PRIOR TO INSTALLATION.

B. RELATED DOCUMENTS

1. THIS CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS, ELECTRICAL PLANS AND SPECIFICATIONS, SUCH PLANS AND SPECIFICATIONS ARE A PART OF THE CONTRACT DOCUMENTS. CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS SURROUNDING THE WORK.

C. PLANS AND SPECIFICATIONS

1. THROUGHOUT THE COURSE OF THE WORK, THE BUILDING OWNER MAY REQUEST MINOR CHANGES AND ADJUSTMENTS TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS WITHOUT ADDITIONAL COST TO THE BUILDING OWNER, WHERE SUCH ADJUSTMENTS ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE SYSTEMS, AND WITHIN THE INTENT OF THE CONTRACT DOCUMENTS.

2. IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO FORM A GUIDE FOR A COMPLETE INSTALLATION. EVERYTHING NECESSARY FOR THE COMPLETION AND SUCCESSFUL OPERATION OF THE WORK, WHETHER OR NOT DEFINITELY SPECIFIED OR INDICATED ON THE DRAWINGS SHALL BE PROVIDED AS IF SO SPECIFIED OR INDICATED WITHOUT ADDITIONAL COST TO THE BUILDING OWNER. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.

3. NOTWITHSTANDING ANY OTHER PROVISIONS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR BEARS ULTIMATE RESPONSIBILITY FOR COMPLIANCE OF THE INSTALLATION WITH THE REQUIREMENTS OF THE BUILDING OWNER AND OF THE LOCAL AUTHORITY HAVING JURISDICTION.

4. ALL LANDLORD BUILDING SYSTEMS WHICH ARE ROUTED THROUGHOUT THE TENANT SPACE AND ARE NOT INTENDED FOR TENANT CONNECTION OR USE SHALL REMAIN AND SHALL NOT BE REMOVED OR MODIFIED.

D. MODIFICATIONS

1. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTOR FAILING TO GIVE SUCH NOTICE BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS, DISCREPANCIES OR OMISSIONS AND THE ASSOCIATED COST OF RECTIFYING.

E. CODE COMPLIANCE

1. THIS CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL CODES REGULATING THIS WORK. HOWEVER, THIS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLYING WITH ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS THAT MAY BE IN EXCESS OF ANY GOVERNING CODES.

2. ALL MATERIALS AND EQUIPMENT MUST BE ULIC AND ASTM B 884 APPROVED.

F. PERMITS, FEES, LICENSES

1. THIS CONTRACTOR SHALL PAY ALL FEES AND RELATED CHARGES FOR PERMITS, LICENSES, ETC., REQUIRED FOR INSTALLATION OF THE SYSTEM.

G. WARRANTY

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN A FIRST-CLASS WORKMANLIKE MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION. THIS CONTRACTOR SHALL REQUIRE ANY PERSONS PERFORMING ANY SUCH WORK TO GUARANTEE THE SAME TO BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE DATE OF COMPLETION THEREOF. THIS CONTRACTOR SHALL ALSO REQUIRE ANY SUCH PERSONS TO BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR WITHOUT ANY ADDITIONAL COST TO ANY AND ALL WORK DONE OR FURNISHED BY OR THROUGH SUCH PERSONS WHICH SHALL BECOME DEFECTIVE WITHIN ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF WORK. THE CORRECTION OF SUCH WORK SHALL INCLUDE WITHOUT ADDITIONAL COST ALL EXPENSES AND DAMAGES IN CONNECTION WITH SUCH REMOVAL, REPLACEMENT OR REPAIR OF ANY PART OF THE WORK WHICH MAY BE DAMAGED OR DISTURBED THEREBY.

H. FIELD QUALITY CONTROL

1. UPON COMPLETION OF INSTALLATION OF PLUMBING EQUIPMENT, START-UP AND OPERATE EQUIPMENT TO DEMONSTRATE CAPABILITY AND COMPLIANCE WITH REQUIREMENTS.

2. REMOVE MALFUNCTIONING EQUIPMENT, REPLACE WITH NEW EQUIPMENT AND RETEST.

I. PLUMBING RELATED WORK

1. MATERIALS AND EQUIPMENT DESIGNED TO BE NEW SHALL BE FREE OF DEFECTS.

2. DESIGN AND INSTALL PIPING TO PRESENT A NEAT ORDERLY APPEARANCE. ROUTE PARALLEL WITH BUILDING WALLS AND CONSTRUCTION.

3. ALL UNUSED PIPING OR EQUIPMENT SHALL BE REMOVED.

4. PROVIDE VIBRATION ISOLATION AND FLEXIBLE CONNECTIONS ON ALL MOVING EQUIPMENT.

5. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR INSTALLATION OF NEW SYSTEMS AND EQUIPMENT.

6. ROOF OPENINGS SHALL BE PERFORMED BY THE BUILDING OWNER'S DESIGNATED ROOFING COMPANY AT THIS CONTRACTOR'S EXPENSE.

J. EQUIPMENT ORDER

1. THE CONTRACTOR SHALL ORDER ALL EQUIPMENT REQUIRED WITHIN TEN DAYS UPON RECEIPT OF CONTRACT IN ORDER TO ENSURE TIMELY RECEIPT OF MATERIAL. SUBSTITUTIONS AFTER THIS DATE DUE TO LACK OF PLACEMENT OF ORDER WILL NOT BE APPROVED.

K. CLEANING AND TESTING

1. CLEAN, DISINFECT, AND TEST ALL PLUMBING AND PIPING SYSTEMS AS REQUIRED BY GOVERNING CODES.

SECTION 22023 - GENERAL DUTY VALVES FOR PLUMBING PIPING

A. VALVES

1. DOMESTIC WATER SHUT-OFF VALVES SHALL BE WATTS, APOLLO, OR EQUAL, SOLDER END BALL VALVE.

2. CHECK VALVE SHALL BE WATTS MODEL, NO. LF80, OR EQUAL. UNIT SHALL BE CLASS 125 BRONZE SWING CHECK VALVE CONFORMING WITH MSS-80B TYPE 3.

3. THERMOSTATIC MIXING VALVE SHALL BE WATTS MODEL, NO. LF80A, OR EQUAL. UNIT TO HAVE BRASS AND STAINLESS STEEL FLOW CONTROL COMPONENTS WITH STANDARD BRONZE FINISH AND VANDAL RESISTANT ADJUSTMENT HANDLE. UNIT SHALL COMPLY WITH ASSE STANDARD 1016.

SECTION 22029 - HANGERS AND SUPPORTS FOR PLUMBING PIPING AND EQUIPMENT

A. HANGERS, SUPPORTS, AND SLEEVES

1. SUPPORT PIPING ADEQUATELY FROM SLABS OR OTHER STRUCTURAL MEMBERS AT INTERVALS IN COMPLIANCE WITH INDUSTRY STANDARDS AND AUTHORITY HAVING JURISDICTION. COORDINATE SPACING OF PIPING ON ROOF WITH LANDLORD REQUIREMENTS WHERE APPLICABLE.

2. ALL HORIZONTAL PIPING PENETRATING WALLS SHALL BE FITTED WITH SLEEVES MADE OF STANDARD STEEL PIPE 1 INCH LARGER THAN THE PIPE AND INSULATION DIAMETER. SLEEVES SHALL BE CUT FLUSH WITH THE WALL ON BOTH SIDES. SEAL THE SLEEVE JOINTS WITH NONSHRINKING SEALANT. ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE SEALED IN COMPLIANCE WITH UL.

3. PROVIDE ESCUTCHEON PLATES ON ALL EXPOSED PIPE PENETRATIONS THROUGH WALLS.

SECTION 22053 - IDENTIFICATION FOR PLUMBING PIPING AND EQUIPMENT

A. EQUIPMENT IDENTIFICATION

1. IDENTIFY PIPING, DUCTWORK AND EQUIPMENT IN COMPLIANCE WITH INDUSTRY STANDARDS.

SECTION 22070 - PLUMBING INSULATION

A. PIPING INSULATION

1. INSULATION SHALL BE OWENS-CORNING, MANVILLE CORPORATION, CERTAIN-TEED, KNAUF, OR EQUAL. ALL INSULATING MATERIALS SHALL HAVE FIRE AND SMOKE HAZARD RATINGS AS TESTED BY PROCEDURE ASTM E-84, NFPA 255 AND UL 723 NOT EXCEEDING FLAME SPREAD 25 AND SMOKE DEVELOPED 50. INSULATION ACCESSORIES SUCH AS ADHESIVES, MASTICS, SCHEM-T, TAPES AND GLASS CLOTH SHALL HAVE THE SAME COMPONENT RATING AS LISTED ABOVE.

2. INSULATE ALL DOMESTIC COLD AND HOT WATER PIPING WITH ONE OR TWO PLY MOLDED FIBERGLASS LAP INSULATION MINIMUM 1/2 INCH THICK, 3 LB. PER CU. FT. DENSITY, WITH ALL SERVICE JACKET, SELF-SEALING GAP. INSULATION THICKNESS SHALL BE IN COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.

3. INSULATE LAVATORY P-TRAP, HOT/COLD SUPPLY PIPING AND SHUT-OFFS WITH "LAV GUARD" 2" PIPING COVER MANUFACTURED BY TRUEBRO MODEL, NO. LAV GUARD 2 UNDERBINK PIPING COVERS. WHITE. PIPING SHALL BE SECURED WITH SNAP CLIP CLUSTER MOUNTED FASTENERS. ANGLE STOP VALVES SHALL BE SECURED WITH LOCKING LID ACCESS COVER. COVER SHALL BE NON-YELLOWING AND FIRE RETARDANT.

SECTION 22116 - DOMESTIC WATER PIPING

A. DOMESTIC WATER PIPING SYSTEMS

1. PIPING FOR COLD AND HOT WATER SYSTEMS SHALL BE TYPE "L" COPPER TUBING ABOVE GRADE, WITH WROUGHT COPPER SOLDER FITTINGS JOINED USING 60-40 LEAD FREE SOLDER, AND TYPE "K" COPPER TUBING BELOW GRADE 3 INCHES AND SMALLER. DIELECTRIC COUPLINGS SHALL BE USED BETWEEN STEEL AND COPPER CONNECTIONS.

SECTION 22136 - SANITARY WASTE AND VENT PIPING

A. SOIL, WASTE, AND VENT PIPING SYSTEMS

1. SOIL, WASTE, AND VENT PIPING SHALL BE SERVICE WEIGHT HUBLESS CAST IRON PIPE AND HUBLESS CAST IRON DRAINAGE FITTINGS.

2. ABOVE GROUND SANITARY SEWER PIPING SHALL BE SERVICE WEIGHT "NO-HUB" CAST IRON PIPE.

3. SCHEDULE 40 POLYVINYL CHLORIDE PLASTIC PIPE (PVC) PIPING MAY BE ALLOWED FOR WASTE PIPING ONLY PENDING THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION AND STATE PLUMBING CODE REVIEW.

SECTION 22139 - DRAIN WASTE PUMP

A. DRAIN WASTE PUMP FOR SINK DISCHARGE

1. MANUFACTURER: SANFLO, OR APPROVED EQUAL.

2. SANFLO SANITARY DRAIN PUMP ASSEMBLY DESIGNED FOR UNDER-SINK OPERATION. BASIN TO HAVE 3 GALLON CAPACITY AND INCLUDE MULTIPLE DRAIN INLET CONNECTIONS, VENT CONNECTION, AND PUMP DISCHARGE CONNECTION. PUMP SHALL BE CAPABLE OF A MINIMUM OF 16 FEET VERTICAL LIFT AND 150 FEET OF HORIZONTAL FLOW AT 10 GPM FLOW RATE. UNIT TO HAVE POWER CORD THAT PLUGS INTO STANDARD 3-WAY RECEPTACLE. INSTALL PER MANUFACTURER RECOMMENDATIONS.

3. UNIT TO INCLUDE ADJUSTABLE ALARM TO WARN OF SYSTEM FAILURE. PROVIDE AIR ADMITTANCE VALVE AT VENT CONNECTION.

4. SCHEDULE 40 POLYVINYL CHLORIDE PLASTIC PIPE (PVC) PIPING MAY BE ALLOWED FOR WASTE PIPING ONLY PENDING THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION AND STATE PLUMBING CODE REVIEW.

SECTION 22400 - PLUMBING FIXTURES

A. PLUMBING FIXTURES AND TRIM

1. PROVIDE ALL FIXTURES AND EQUIPMENT WITH INDIVIDUAL WATER SHUT-OFF VALVE AT POINT OF CONNECTION.

2. REFER TO PLUMBING FIXTURE SCHEDULE FOR MAKE, MODEL NUMBER AND ACCESSORIES.

B. PLUMBING EQUIPMENT

1. WATER HEATER: LEWAH, OR EQUAL, INSTANT FLOW TYPE WATER HEATER. PROVIDE MODEL, CAPACITIES AND ACCESSORIES AS SCHEDULED.

2. CONDENSATE PUMP: LITTLE GIANT, OR EQUAL. CONDENSATE PUMP SHALL BE PROVIDED WITH MINIMUM CAPACITY OF 50 GPM AT 30 FT. HEAD. PUMP SHALL BE COMPLETE WITH INTEGRAL FLOAT SWITCH, PUMP, MOTOR ASSEMBLY, AND RESERVOIR.

SECTION 22500 - COMMON WORK RESULTS FOR HVAC

A. GENERAL CONDITIONS

1. THE GENERAL CONDITIONS, SPECIAL CONDITIONS, SUPPLEMENTARY CONDITIONS, AND "GENERAL CONDITIONS OF THE CONTRACT," CURRENT EDITION, ESTABLISHED IN STANDARD FORM BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED BELOW. THIS CONTRACTOR SHALL BE FAMILIAR WITH THESE PROVISIONS AND ADHERE TO THESE REQUIREMENTS. THIS CONTRACTOR SHALL COORDINATE MECHANICAL WORK WITH ALL OTHER TRADES, AND BUILDING OWNER PRIOR TO INSTALLATION.

B. RELATED DOCUMENTS

1. THIS CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS, ELECTRICAL PLANS AND SPECIFICATIONS, SUCH PLANS AND SPECIFICATIONS ARE A PART OF THE CONTRACT DOCUMENTS. CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS SURROUNDING THE WORK.

C. PLANS AND SPECIFICATIONS

1. THROUGHOUT THE COURSE OF THE WORK, THE BUILDING OWNER MAY REQUEST MINOR CHANGES AND ADJUSTMENTS TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS WITHOUT ADDITIONAL COST TO THE BUILDING OWNER, WHERE SUCH ADJUSTMENTS ARE NECESSARY FOR THE PROPER INSTALLATION AND OPERATION OF THE SYSTEMS, AND WITHIN THE INTENT OF THE CONTRACT DOCUMENTS.

2. IT IS THE INTENT OF THE PLANS AND SPECIFICATIONS TO FORM A GUIDE FOR A COMPLETE INSTALLATION. EVERYTHING NECESSARY FOR THE COMPLETION AND SUCCESSFUL OPERATION OF THE WORK, WHETHER OR NOT DEFINITELY SPECIFIED OR INDICATED ON THE DRAWINGS SHALL BE PROVIDED AS IF SO SPECIFIED OR INDICATED WITHOUT ADDITIONAL COST TO THE BUILDING OWNER. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.

3. NOTWITHSTANDING ANY OTHER PROVISIONS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR BEARS ULTIMATE RESPONSIBILITY FOR COMPLIANCE OF THE INSTALLATION WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION.

D. MODIFICATIONS

1. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTOR FAILING TO GIVE SUCH NOTICE BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK, THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS, DISCREPANCIES OR OMISSIONS AND THE ASSOCIATED COST OF RECTIFYING.

E. CODE COMPLIANCE

1. THIS CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL CODES REGULATING THIS WORK. HOWEVER, THIS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLYING WITH ANY REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS THAT MAY BE IN EXCESS OF ANY GOVERNING CODES.

F. PERMITS, FEES, LICENSES

1. THIS CONTRACTOR SHALL PAY ALL FEES AND RELATED CHARGES FOR PERMITS, LICENSES, ETC., REQUIRED FOR INSTALLATION OF THE SYSTEM.

G. WARRANTY

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN A FIRST-CLASS WORKMANLIKE MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION. THIS CONTRACTOR SHALL REQUIRE ANY PERSONS PERFORMING ANY SUCH WORK TO GUARANTEE THE SAME TO BE FREE FROM ANY AND ALL DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE (1) YEAR FROM THE DATE OF COMPLETION THEREOF. THIS CONTRACTOR SHALL ALSO REQUIRE ANY SUCH PERSONS TO BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR WITHOUT ANY ADDITIONAL COST TO ANY AND ALL WORK DONE OR FURNISHED BY OR THROUGH SUCH PERSONS WHICH SHALL BECOME DEFECTIVE WITHIN ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF WORK. THE CORRECTION OF SUCH WORK SHALL INCLUDE WITHOUT ADDITIONAL COST ALL EXPENSES AND DAMAGES IN CONNECTION WITH SUCH REMOVAL, REPLACEMENT OR REPAIR OF ANY PART OF THE WORK WHICH MAY BE DAMAGED OR DISTURBED THEREBY.

H. FIELD QUALITY CONTROL

1. UPON COMPLETION OF INSTALLATION OF MECHANICAL EQUIPMENT, START-UP AND OPERATE EQUIPMENT TO DEMONSTRATE CAPABILITY AND COMPLIANCE WITH REQUIREMENTS.

2. REMOVE MALFUNCTIONING EQUIPMENT, REPLACE WITH NEW EQUIPMENT AND RETEST.

3. REMOVE MALFUNCTIONING HVAC UNITS, REPLACE WITH NEW HVAC UNITS AND REPEAT.

I. HVAC RELATED WORK

1. MATERIALS AND EQUIPMENT DESIGNED TO BE NEW SHALL BE FREE OF DEFECTS.

2. MATERIALS AND EQUIPMENT DESIGNED TO BE REUSED SHALL BE VERIFIED BY THIS CONTRACTOR TO BE IN GOOD WORKING CONDITION. IF MATERIALS AND EQUIPMENT DO NOT MEET THE DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF SAID MATERIALS AND EQUIPMENT.

3. DESIGN AND INSTALL PIPING AND DUCTWORK TO PRESENT A NEAT ORDERLY APPEARANCE. ROUTE PARALLEL WITH BUILDING WALLS AND CONSTRUCTION.

4. ALL UNUSED PIPING OR EQUIPMENT SHALL BE REMOVED.

5. PROVIDE VIBRATION ISOLATION AND FLEXIBLE CONNECTIONS ON ALL MOVING EQUIPMENT.

6. PROVIDE ALL CUTTING AND PATCHING NECESSARY FOR INSTALLATION OF NEW SYSTEMS AND EQUIPMENT.

7. ROOF OPENINGS SHALL BE PERFORMED BY THE BUILDING OWNER'S DESIGNATED ROOFING COMPANY AT THIS CONTRACTOR'S EXPENSE.

J. EQUIPMENT ORDER

1. THE CONTRACTOR SHALL ORDER ALL EQUIPMENT REQUIRED WITHIN TEN DAYS UPON RECEIPT OF CONTRACT IN ORDER TO ENSURE TIMELY RECEIPT OF MATERIAL. SUBSTITUTIONS AFTER THIS DATE DUE TO LACK OF PLACEMENT OF ORDER WILL NOT BE APPROVED.

SECTION 22928 - HANGERS AND SUPPORTS FOR HVAC PIPING AND EQUIPMENT

A. HANGERS, SUPPORTS, AND SLEEVES

1. SUPPORT PIPING ADEQUATELY FROM SLABS OR OTHER STRUCTURAL MEMBERS AT INTERVALS IN COMPLIANCE WITH INDUSTRY STANDARDS AND AUTHORITY HAVING JURISDICTION.

2. ALL HORIZONTAL PIPING PENETRATING WALLS SHALL BE FITTED WITH SLEEVES MADE OF STANDARD STEEL PIPE 1 INCH LARGER THAN THE PIPE AND INSULATION DIAMETER. SLEEVES SHALL BE CUT FLUSH WITH THE WALL ON BOTH SIDES. SEAL THE SLEEVE JOINTS WITH NONSHRINKING SEALANT. ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE SEALED IN COMPLIANCE WITH UL.

3. PROVIDE ESCUTCHEON PLATES ON ALL EXPOSED PIPE PENETRATIONS THROUGH WALLS.

SECTION 22953 - TESTING, ADJUSTING, AND BALANCING FOR HVAC

A. TESTING, ADJUSTING AND BALANCING

1. TESTING AND BALANCING OF ALL SUPPLY AIR AND RETURN AIR TO BE PROVIDED BY AN INDEPENDENT NEBS OR ASSE CERTIFIED COMPANY. BALANCE AIR SYSTEMS TO BALANCE AIR FLOW AT EACH OUTLET AND AS SCHEDULED ON EQUIPMENT.

2. SUBMIT A MINIMUM OF TWO (2) CERTIFIED COPIES OF A COMPLETE AIR BALANCE TEST REPORT TO THE OWNER FOR REVIEW AND COMMENT. REPORTS MUST BE SUBMITTED PRIOR TO RECEIVING FINAL PAYMENT.

3. THESE ARE TO BE "CERTIFIED" BALANCE REPORTS AND ARE TO INCLUDE THE SPECIFICATIONS OF ALL EQUIPMENT INSTALLED ON THE PROJECT AS WELL AS THE RESULTS OF THE BALANCING. ANY NON-CERTIFIED OR INCOMPLETE REPORTS WILL BE REJECTED.

4. COORDINATE TESTING, ADJUSTING AND BALANCING WITH THE BUILDING OWNER'S FIELD REPRESENTATIVE PRIOR TO FINAL BID.

SECTION 22970 - HVAC INSULATION

A. MECHANICAL INSULATION

1. INSULATION SHALL BE OWENS-CORNING, MANVILLE CORPORATION, CERTAIN-TEED, KNAUF, OR EQUAL. ALL INSULATING MATERIALS SHALL HAVE FIRE AND SMOKE HAZARD RATINGS AS TESTED BY PROCEDURE ASTM E-84, NFPA 255 AND UL 723 NOT EXCEEDING FLAME SPREAD 25 AND SMOKE DEVELOPED 50. INSULATION ACCESSORIES SUCH AS ADHESIVES, MASTICS, SCHEM-T, TAPES AND GLASS CLOTH SHALL HAVE THE SAME COMPONENT RATING AS LISTED ABOVE.

2. INSULATE SUPPLY AIR DUCTWORK WITHIN CONDITIONED SPACE WITH FIBERGLASS BLANKET MINIMUM 1-1/2 INCH THICK, 1 POUND PER CUBIC FOOT DENSITY, VAPOR BARRIER JACKET WITH 2 INCH TAP, GLASS REINFORCED LAMINATED ALUMINUM FOIL AND KRAFT PAPER JACKET. INSULATION THICKNESS SHALL BE IN COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.

3. INSULATE CONDENSATE DRAIN PIPING WITH A MINIMUM 1/2 INCH THICK CLOSED CELL FLEXIBLE RUBBER PIPE INSULATION.

4. INSULATE REFRIGERANT SUCTION PIPING WITH A MINIMUM 1 INCH THICK CLOSED CELL FLEXIBLE RUBBER PIPE INSULATION.

SECTION 22989 - SEQUENCE OF OPERATIONS FOR HVAC CONTROLS

A. AUTOMATIC TEMPERATURE CONTROL - SPLIT SYSTEM AIR CONDITIONING UNITS

1. PROVIDE, UNLESS NOTED OTHERWISE, ALL THERMOSTATS, SENSORS, CONTROLLERS, RELAYS, CONTACTORS, DAMPERS, ACTUATORS, VALVES AND ALL OTHER MATERIALS NECESSARY FOR A COMPLETE AND PROPERLY OPERATING ELECTRONIC TEMPERATURE CONTROL SYSTEM AS SPECIFIED BELOW. ALL CONTROL WIRING SHALL BE BY THE MECHANICAL CONTRACTOR AND SHALL BE INSTALLED IN CONDUIT.

2. PROVIDE 7-DAY PROGRAMMABLE COOLING/HEATING AUTOMATIC CHANGEOVER THERMOSTAT TO CONTROL THE OPERATION OF THE HVAC SYSTEM. THE THERMOSTAT SHALL BE FURNISHED WITH A BUS BASE THAT INCLUDES AN AUTO-ON/FAN SWITCH, AN ON/OFF AUTO SYSTEM SWITCH, THERMOSTAT TO HAVE RELAY CONTACT FOR CONNECTION TO AND CONTROL OF EXISTING RADIANT HEATING SYSTEM. UNLESS NOTED OTHERWISE, MOUNT THERMOSTAT AT 6 INCHES ABOVE FINISHED FLOOR.

3. PROVIDE CONTROL DEVICES TO ACCOMPLISH THE FOLLOWING CONTROL SEQUENCES:

a) OCCUPIED COOL CYCLE
1) AC UNIT RESPONDS TO REQUIREMENT OF ROOM THERMOSTAT.
2) RADIANT HEAT WAVE MODULATES TO MAINTAIN OCCUPIED ROOM SETPOINT.

c) UNOCCUPIED COOL CYCLE
1) AC UNIT CYCLES TO MAINTAIN UNOCCUPIED ROOM SETPOINT.

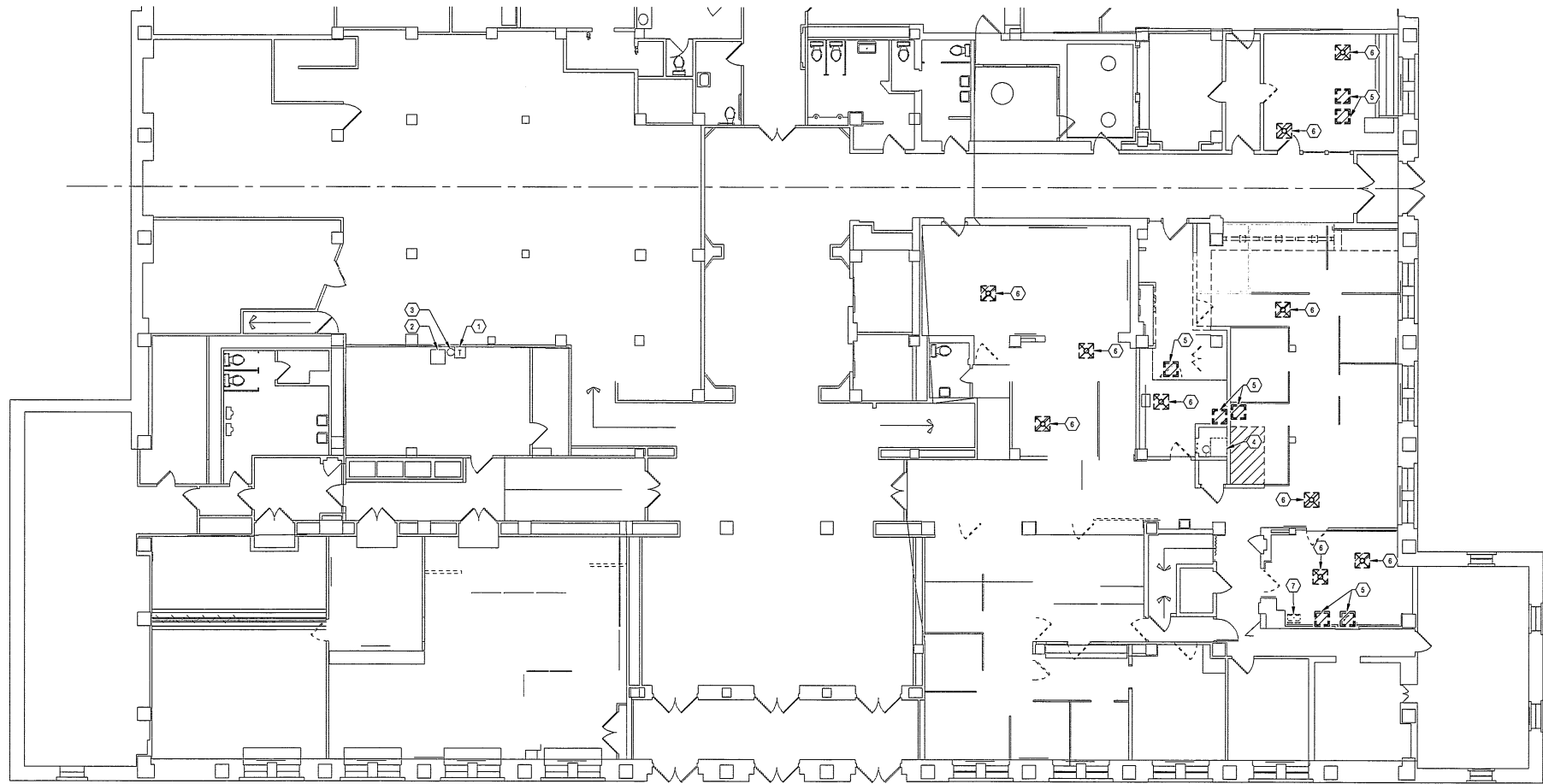
d) UNOCCUPIED HEATING CYCLE
1) RADIANT HEAT WAVE MODULATES TO MAINTAIN UNOCCUPIED ROOM SETPOINT.

SECTION 22320 - REFRIGERANT PIPING

A. REFRIGERANT PIPING SYSTEMS

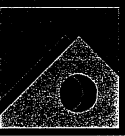
1. REFRIGERATION PIPING SHALL BE TYPE ACR HARD DRAWN COPPER TUBING AND WROUGHT COPPER SOLDER JOINT FITTINGS JOINED USING BRATED JOINTS. PROVIDE SUCTION AND LIQUID PIPE SIZES AS REQUIRED BY THE AIR COOLED CONDENSING UNIT MANUFACTURER BASED ON THE ACTUAL CONDENSING UNIT LOCATION AND THE DEVELOPED PIPING LENGTH. PITCH AS REQUIRED BY THE MANUFACTURER AND INDUSTRY PRACTICE.

2. PROVIDE ALL SOLENOID VALVES, SHUT-OFF VALVES AND ACCESSORIES REQUIRED BY THE AIR COOLED CONDENSING UNIT MAN



- KEYNOTES**
1. RELOCATE EXISTING WALL THERMOSTAT 5 FEET TO THE EAST TO AVOID CONFLICT WITH NEW ENCLOSURE AROUND MECHANICAL EQUIPMENT.
 2. EXISTING AC UNIT AND ASSOCIATED DUCTWORK AND ACCESSORIES TO REMAIN IN PLACE.
 3. EXISTING FLOOR-MOUNTED SEWAGE EJECTOR AND ASSOCIATED PIPING TO REMAIN IN PLACE.
 4. EXISTING AC FAN COIL UNIT TO REMAIN IN PLACE.
 5. REMOVE RETURN AIR GRILLE.
 6. REMOVE SUPPLY AIR DIFFUSER AND ASSOCIATED BRANCH DUCTWORK, CAP AT MAIN OR PREPARE FOR CONNECTION TO NEW.
 7. REMOVE SINK, FAUCET, ELECTRIC WATER HEATER, AND ASSOCIATED PIPING, CAP WASTE PIPE BELOW FLOOR, CAP WATER AND VENT PIPES ABOVE CEILING BACK AT MAIN.

1 GROUND FLOOR MECHANICAL DEMOLITION PLAN
M2.1
1/8" = 1'-0"



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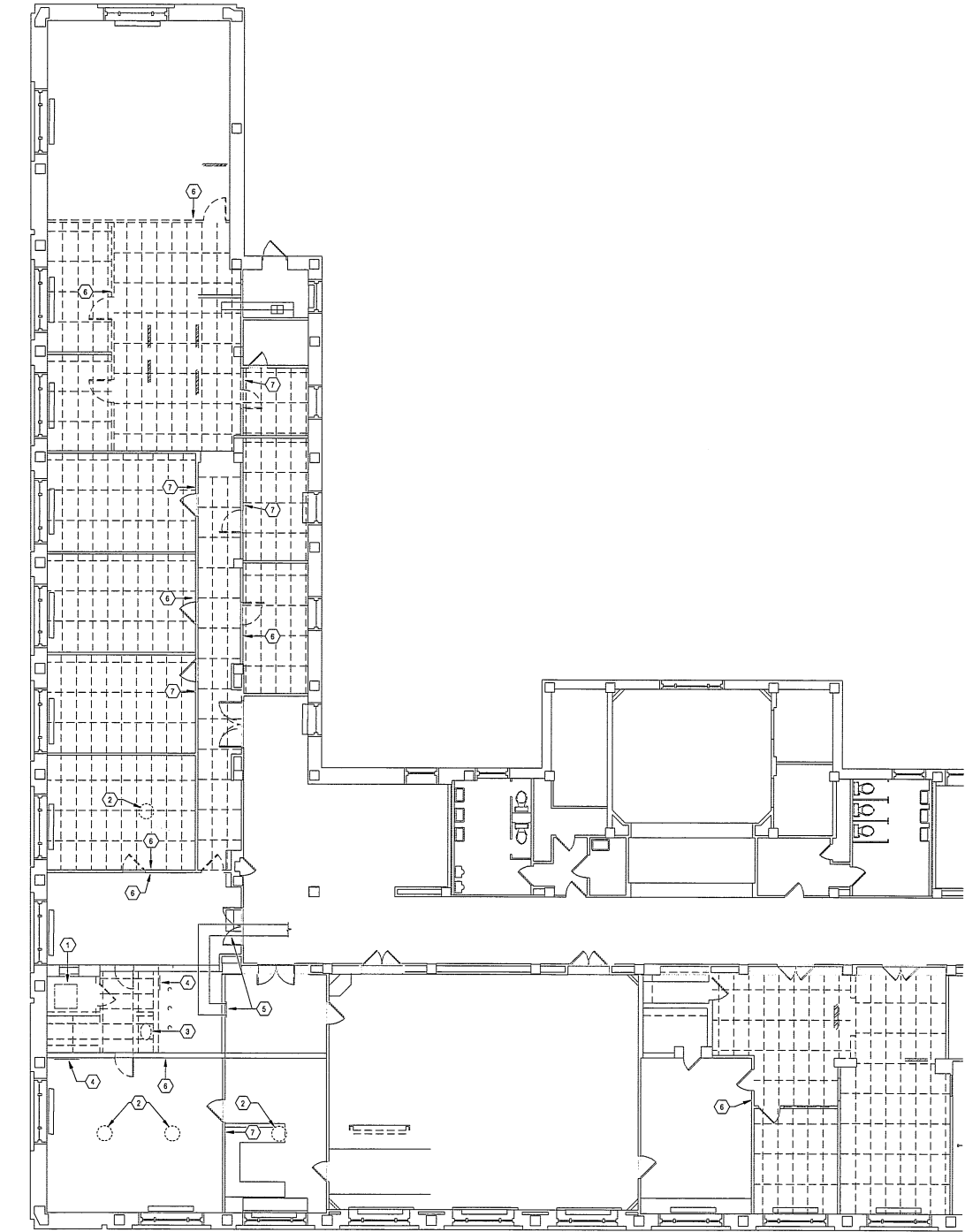
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DATE: 08/29/2021

GROUND FLOOR MECHANICAL
DEMOLITION PLAN

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DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

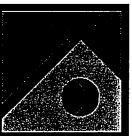
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M2.1
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- KEYNOTES**
- 1 REMOVE AC UNIT AND ALL ASSOCIATED DUCTWORK AND PIPING. CAP PIPES BACK AT MAIN.
 - 2 REMOVE DIFFUSER AND ASSOCIATED DUCTWORK.
 - 3 REMOVE SINK, FAUCET, ELECTRIC WATER HEATER, FILTER, AND ASSOCIATED PIPING. CAP WASTE PIPE BELOW FLOOR. CAP VENT PIPE ABOVE CEILING BACK AT MAIN. PREPARE COLD WATER LINE FOR CONNECTION TO NEW.
 - 4 REMOVE WALL, GRILLE AND ASSOCIATED DUCTWORK.
 - 5 WALL GRILLE AND ASSOCIATED DUCTWORK TO REMAIN.
 - 6 REMOVE WALL THERMOSTAT. TO BE REPLACED WITH PROGRAMMABLE HEATING/COOLING THERMOSTAT. CONTROL WIRING FOR HEATING SYSTEM TO BE REUSED.
 - 7 REMOVE WALL THERMOSTAT. TO BE REPLACED WITH NEW THERMOSTAT. CONTROL WIRING FOR HEATING SYSTEM TO BE REUSED.

1 4TH FLOOR MECHANICAL DEMOLITION PLAN
M2.2 1/8" = 1'-0"



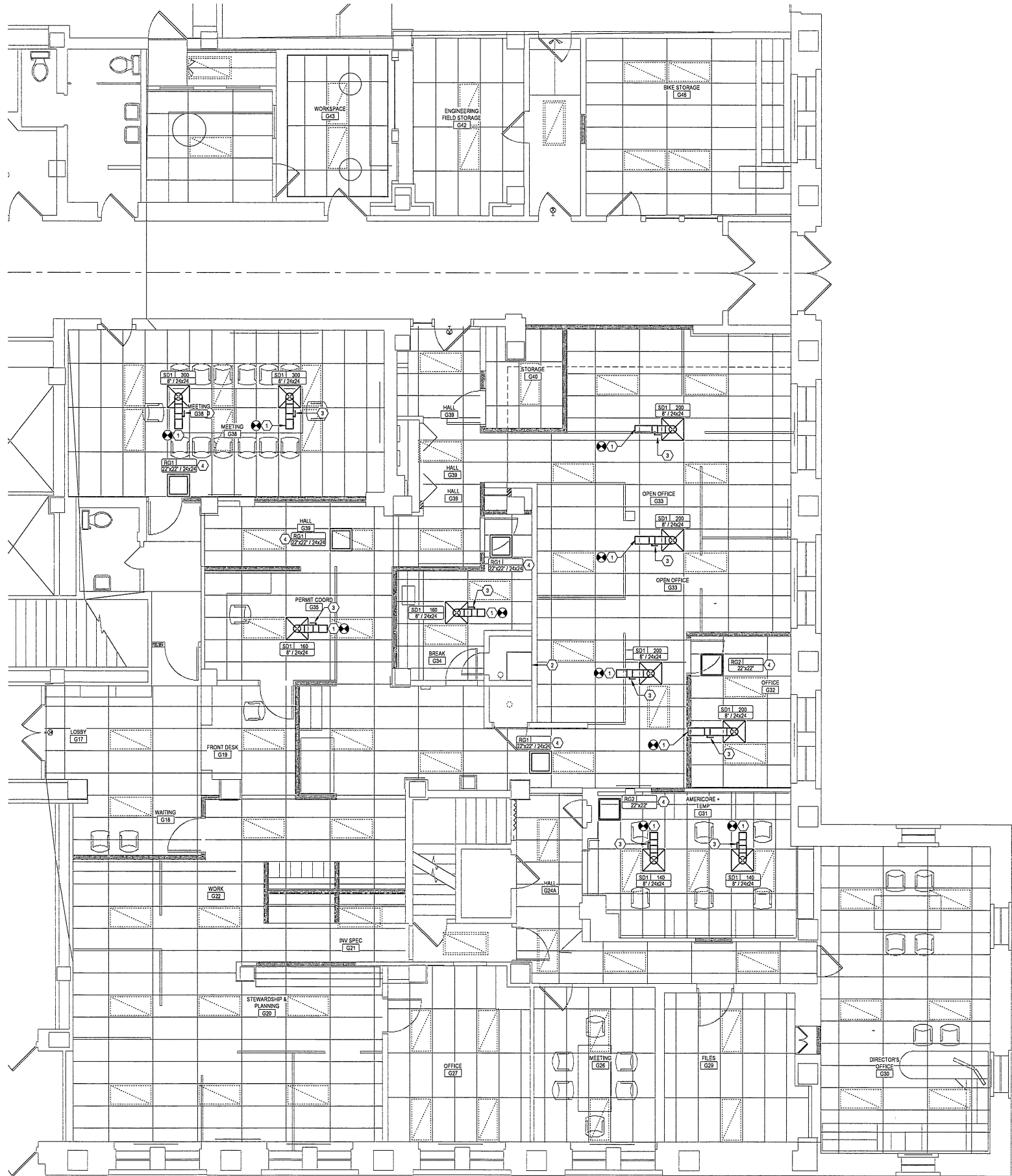
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DESIGNED BY: PAUL D. LARSEN
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PROJECT NO. 2448B

4TH FLOOR MECHANICAL
DEMOLITION PLAN

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DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

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Date
Issue Date
M2.2



1 LEVEL 1 HVAC PARTIAL PLAN
M3.1 1/4" = 1'-0"

- GENERAL NOTES
- INSTALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. ROOFTOP EQUIPMENT SHALL BE LOCATED NO CLOSER THAN 10'-0" FROM THE ROOF EDGE.
 - COORDINATE ALL ROOF PENETRATIONS WITH OTHER TRADES TO PROVIDE A COMPLETE AND FULLY WEATHER-PROOF INSTALLATION.
 - THIS DRAWING IS BASED ON VISUALLY OBSERVABLE EXISTING CONDITIONS AS OF THE TIME OF DESIGN. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY VERIFY ALL EXISTING CONDITIONS, COMPONENTS, ETC. PRIOR TO THE START OF THE WORK. ANY DEVIATION FROM THIS DRAWING, EXCEPT FOR MINOR ADJUSTMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - MODIFY FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT REMODELED AREAS BASED ON NEW WALL AND CEILING PLANES.
- KEYNOTES
- EXTEND NEW DUCT BRANCH FROM NEW DIFFUSER TO EXISTING SUPPLY DUCTWORK OF ADEQUATE SIZE. FIELD VERIFY SIZE AND LOCATION OF EXISTING SUPPLY DUCTWORK.
 - REFURBISH EXISTING AC FAN COIL UNIT FOR REUSE. REFER TO PROJECT GENERAL NOTE 10 ON SHEET M1.1.
 - MANUAL BALANCING DAMPER. PROPORTIONALLY DISTRIBUTE BALANCED AIRFLOW.
 - RETURN AIR GRILLE FOR PLINUM RETURN WITH SOUND BOOT.



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Project No. 24082
Date: 05/03/2017

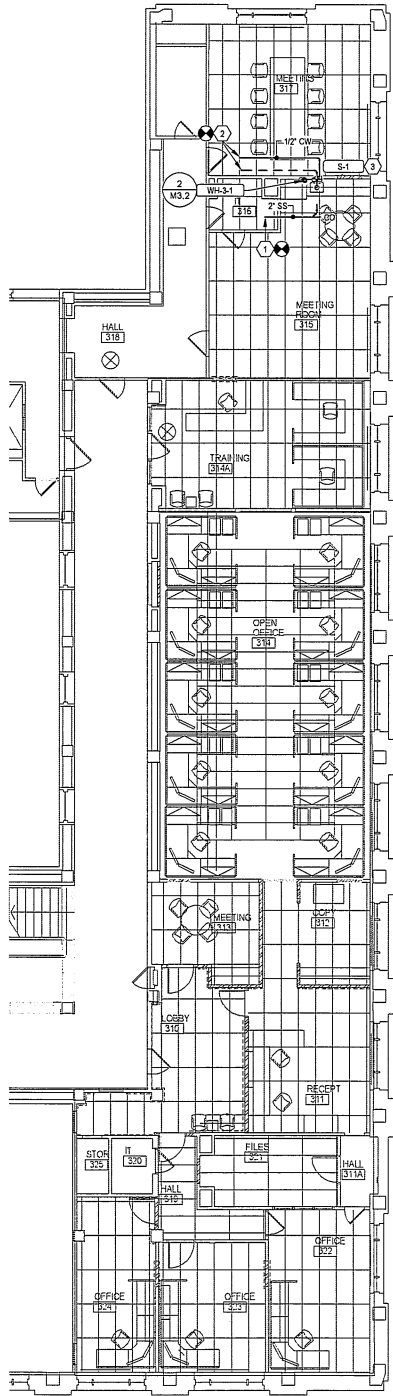
Prepared by: PAUL D. LASLACH
Checked by: PAUL D. LASLACH
Reviewed by: PAUL D. LASLACH
Date of this drawing: 05/03/2017

GROUND FLOOR HVAC AND FIRE
PROTECTION PLAN

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DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
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Checker	Paul D. Laslach		

M3.1



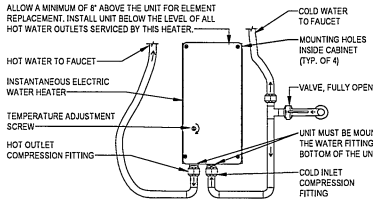
1 LEVEL 3 PLUMBING PLAN
1/8" = 1'-0"

GENERAL NOTES

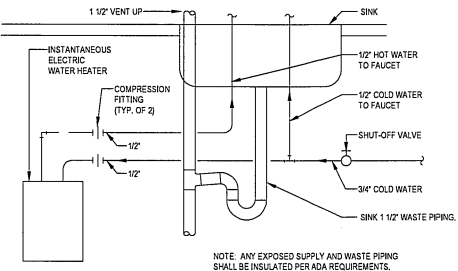
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- COORDINATE ALL ROOF PENETRATIONS WITH OTHER TRADES TO PROVIDE A COMPLETE AND FULLY WEATHER-PROOF INSTALLATION.
- THIS DRAWING IS BASED ON VISUALLY OBSERVABLE EXISTING CONDITIONS AS OF THE TIME OF DESIGN. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY VERIFY ALL EXISTING CONDITIONS, COMPONENTS, ETC. PRIOR TO THE START OF THE WORK. ANY DEVIATION FROM THIS DRAWING, EXCEPT FOR MINOR ADJUSTMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- MODIFY FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT REMODELED AREAS BASED ON NEW WALL AND CEILING CHANGES.

KEYNOTES

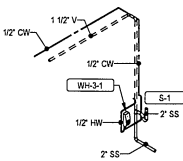
- INSTALL SANITARY SEWER PIPING IN CEILING OF 2ND FLOOR, CONNECT TO EXISTING SANITARY SEWER. FIELD VERIFY CONNECTION POINT.
- INSTALL DOMESTIC CW PIPING AND VENT PIPING IN CEILING OF 3RD FLOOR, CONNECT TO EXISTING DOMESTIC WATER AND VENT. FIELD VERIFY CONNECTION POINTS.
- SEE DOMESTIC FIXTURE SCHEDULE ON SHEET M3.3.



NOTE: THIS UNIT IS NOT REQUIRED BY UNDERWRITERS LABORATORIES TO HAVE A PRESSURE/TEMPERATURE RELIEF DEVICE



2 INSTANTANEOUS ELECTRIC WATER HEATER
1/8" = 1'-0"



3 3RD FLOOR SINK RISER DIAGRAM
1/8" = 1'-0"

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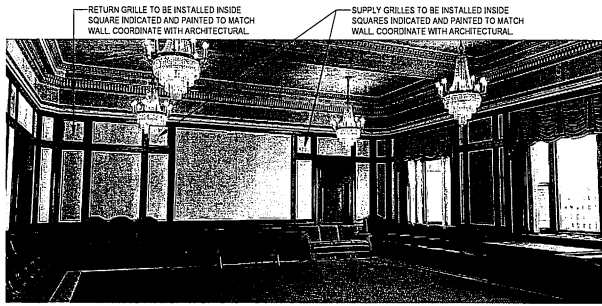
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Project No. 21-55802

3RD FLOOR PLUMBING AND FIRE PROTECTION PLAN

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

Draw No. 874558
Author
Check
Issue Date
Checked By
Checker

M3.2
of



2 MAYOR RECEPTION EAST WALL - 4TH FLOOR
NOT TO SCALE

SPLIT SYSTEM AIR CONDITIONING UNITS												
LOCATION			NO.	MANUFACTURER	MODEL NO.	TYPE	ELECTRIC HEAT EXCHANGER		HEATING ELEMENT		UNIT	PH
ID	NAME	NO.					HEATING CAP	DESIGN FLOW	MIN RISE	MAX TEMP		
FC-01	MEETING	418	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-02	OFFICE	417	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-03	HALL	419	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-04	OFFICE	414	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-05	OFFICE	423	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-06	OFFICE	412	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-07	OFFICE	411	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-08	MAYOR	400	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-09	OPEN OFFICE	402	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.5 ton	18000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-10	LARGE MEETING	406	DAIKIN	FXS18LVAJ	SLIM DUCTED	2.0 ton	24000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-11	LARGE MEETING	408	DAIKIN	FXS18LVAJ	SLIM DUCTED	2.0 ton	24000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V
FC-12	OFFICE	408	DAIKIN	FXS18LVAJ	SLIM DUCTED	1.0 ton	12000 Btu/h	Yes	R-410A	84.2 °F	60 b	208 V

SPLIT SYSTEM CONDENSING UNIT												
ID	MANUFACTURER	MODEL NO.	TYPE	NOMINAL COOLING CAP	COMPRESSION REFRIGERANT	SUMMER AMBIENT DBT	SEER	EER	UNIT WEIGHT	VOLT	PH	REMARKS
CU-01	DAIKIN	FXS18LVAJ	MULTI-ZONE	4 ton	R-410A	90.0 °F	15.3	8.8	137 lb	208 V	1	
CU-02	DAIKIN	FXS18LVAJ	MULTI-ZONE	4 ton	R-410A	90.0 °F	15.3	8.8	137 lb	208 V	1	
CU-03	DAIKIN	FXS18LVAJ	MULTI-ZONE	4 ton	R-410A	90.0 °F	15.3	8.8	137 lb	208 V	1	
CU-04	DAIKIN	FXS18LVAJ	MULTI-ZONE	4 ton	R-410A	90.0 °F	15.3	8.8	137 lb	208 V	1	
CU-05	DAIKIN	FXS18LVAJ	MULTI-ZONE	4 ton	R-410A	90.0 °F	15.3	8.8	137 lb	208 V	1	

ELECTRIC WATER HEATER SCHEDULE												
ID	LOCATION	NAME	NO.	MANUFACTURER	MODEL NO.	TYPE	HEATING CAP	DESIGN FLOW	MIN RISE	MAX TEMP	UNIT	PH
WH-5.1	MEETING ROOM	BREAK	418	EDMAX	SPKX208	TANKLESS	4.1 kW	0.5 GPM	0.3 GPM	58 °F	1	4.1 kW
WH-6.1	MEETING ROOM	BREAK	419	EDMAX	SPKX208	TANKLESS	4.1 kW	0.5 GPM	0.3 GPM	58 °F	1	4.1 kW

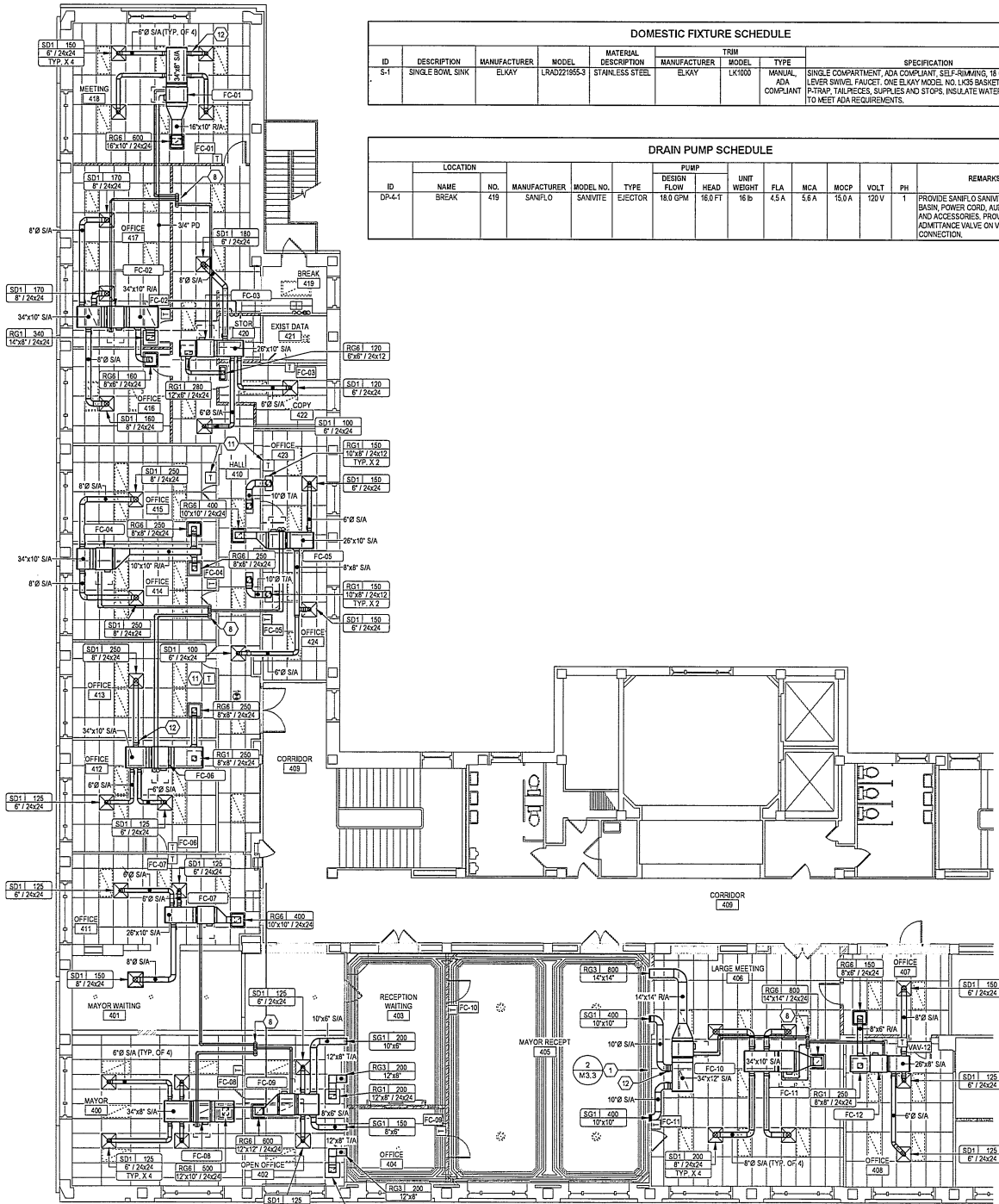
DOMESTIC FIXTURE SCHEDULE									
ID	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL DESCRIPTION	MANUFACTURER	TRIM	MODEL	TYPE	SPECIFICATION
S-1	SINGLE BOWL SINK	ELKAY	LRAD21955-3	STAINLESS STEEL	ELKAY	LK1000		MATERIAL ADA COMPLIANT	SINGLE COMPARTMENT, ADA COMPLIANT, SELF-RIMMING, 18 GAUGE, SINGLE LEVER SWING FAUCET, ONE ELKAY MODEL NO. LSS BASKET STRAINER (P-TRAP, TAILPIECES, SUPPLIES AND STOPS, INSULATE WATER AND WASTE TO MEET ADA REQUIREMENTS.

DRAIN PUMP SCHEDULE												
ID	LOCATION	NAME	NO.	MANUFACTURER	MODEL NO.	TYPE	DESIGN FLOW	HEAD	UNIT WEIGHT	FLA	MCA	MOCP
DP-4.1	BREAK	418	SAFLO	SAFLO	SAFLO	EJECTOR	18.0 GPM	18.0 FT	16 lb	4.5 A	5.8 A	15.0 A

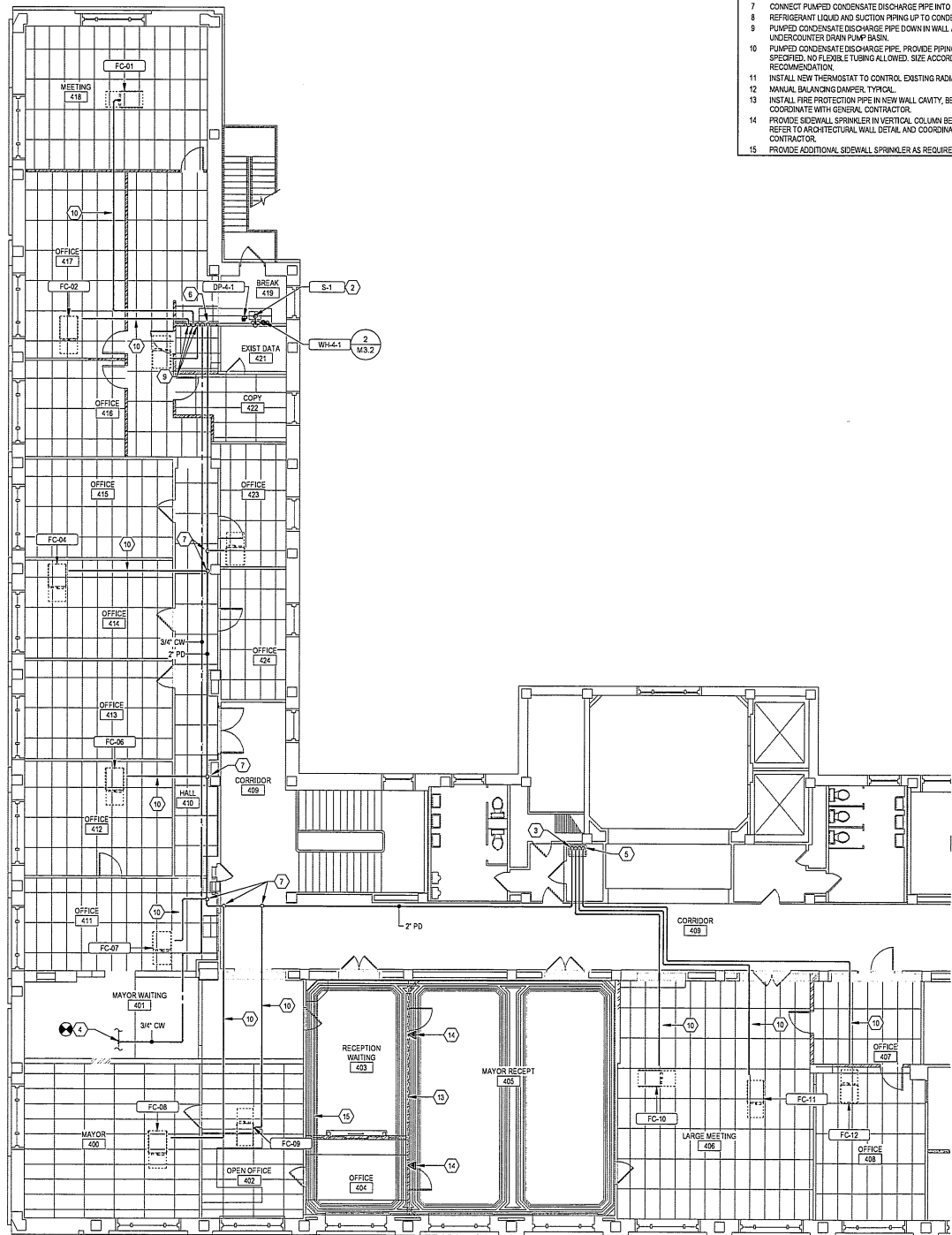
GRILLES, REGISTERS AND DIFFUSERS SCHEDULE					
ID	DESCRIPTION	MANUFACTURER	MODEL	INSTALLATION	SPECIFICATION
RG-1	EGGCRATE RETURN GRILLE	Titus	50F	TYPE 3 (LAYIN)	1/2"x1/2" EGGCRATE GRID
RG-2	EGGCRATE RETURN GRILLE	Titus	50F	TYPE 1 (SURFACE)	1/2"x1/2" EGGCRATE GRID
RG-3	LOUVERED GRILLE	Titus	350RL	TYPE 1 (SURFACE)	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 30 DEGREE DEFLECTION
RG-6	LOUVERED FILTER GRILLE	Titus	350FL	TYPE 3 (LAYIN)	STEEL RETURN GRILLE, 3/4" BLADE SPACING, 30 DEGREE DEFLECTION
SD-1	3-CONE DIFFUSER	Titus	11MS	TYPE 3 (LAYIN)	HIGH PERFORMANCE 3-CONE DIFFUSER
S01	LOUVERED DOUBLE DEFLECTION GRILLE	Titus	300RL	TYPE 1 (SURFACE)	STEEL DOUBLE DEFLECTION SUPPLY GRILLE, 3/4" BLADE SPACING

- GENERAL NOTES
- INSTALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. ROOF TOP EQUIPMENT SHALL BE LOCATED NO CLOSER THAN 18" FROM THE ROOF EDGE.
 - COORDINATE ALL ROOF PENETRATIONS WITH OTHER TRADES TO PROVIDE A COMPLETE AND FULLY WEATHER-PROOF INSTALLATION.
 - THIS DRAWING IS BASED ON VISUALLY OBSERVABLE EXISTING CONDITIONS AS OF THE TIME OF DESIGN. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY VERIFY ALL EXISTING CONDITIONS, COMPONENTS, ETC. PRIOR TO THE START OF THE WORK. ANY DEVIATION FROM THIS DRAWING, EXCEPT FOR MINOR ADJUSTMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - MODIFY FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT RENOVATED AREAS BASED ON NEW WALL AND CEILING CHANGES.

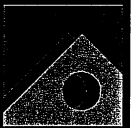
- KEYNOTES
- REFER TO PHOTO FOR GRILLE INSTALLATION LOCATIONS AND NOTES ON EAST WALL.
 - PROVIDE 1/2" CW, 1/2" HW, 2" WASTE PIPE AT SINK.
 - 2" PUMPED CONDENSATE PIPE DOWN TO SERVICE SINK. TERMINATE WITH AIR GAP.
 - CONNECT NEW 3/4" DOMESTIC WATER LINE TO WATER LINE AT EXISTING SINK LOCATION. FIELD VERIFY EXISTING CONDITIONS.
 - THREE 1" CONDENSATE DRAIN PIPES DOWN TO SERVICE SINK. TERMINATE WITH AIR GAP.
 - INSTALL 2" PUMPED DISCHARGE PIPE AS HIGH AS POSSIBLE TO ALLOW FOR HORIZONTAL DRAIN PIPE TO SLOPE AT 1/4" PER FOOT TO TERMINATION POINT.
 - CONNECT PUMPED CONDENSATE DISCHARGE PIPE INTO TOP OF DRAIN PIPE.
 - REFRIGERANT LIQUID AND SUCTION PIPING UP TO CONDENSING UNIT ON ROOF.
 - PUMPED CONDENSATE DISCHARGE PIPE DOWN IN WALL AND ROUTED TO UNDERCOUNTER DRAIN PUMP BASIN.
 - PUMPED CONDENSATE DISCHARGE PIPE. PROVIDE PIPING MATERIAL AS SPECIFIED. NO FLEXIBLE TUBING ALLOWED. SIZE ACCORDING TO MANUFACTURER RECOMMENDATION.
 - INSTALL NEW THERMOSTAT TO CONTROL EXISTING RADIATORS.
 - MANUAL BALANCING DAMPER, TYPICAL.
 - INSTALL FIRE PROTECTION PIPE IN NEW WALL CAVITY, BELOW GLASS PANELS. COORDINATE WITH GENERAL CONTRACTOR.
 - PROVIDE SIDEWALL SPRINKLER IN VERTICAL COLUMN BETWEEN GLASS PANELS. REFER TO ARCHITECTURAL WALL DETAIL AND COORDINATE WITH GENERAL CONTRACTOR.
 - PROVIDE ADDITIONAL SIDEWALL SPRINKLER AS REQUIRED.



1 LEVEL 4 HVAC PLAN
1/8" = 1'-0"



4 LEVEL 4 PLUMBING AND FIRE PROTECTION PLAN
1/8" = 1'-0"



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Project No. 24488

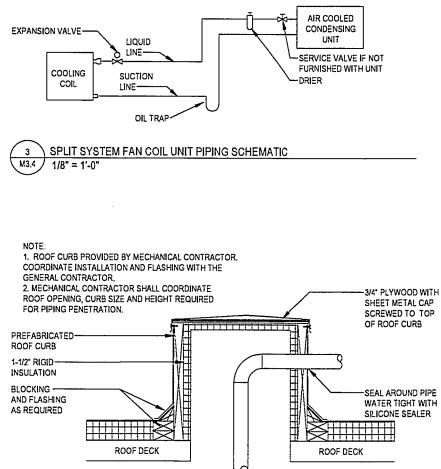
DATE: 03/20/2021, LC NO. 24488
DRAWN BY: J. D. HASLACH
CHECKED BY: J. D. HASLACH
DESIGNED BY: J. D. HASLACH
PROJECT NO. 24488

4TH FLOOR HVAC, PLUMBING, AND
FIRE PROTECTION PLANS AND
SCHEDULES

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

Sheet
M3.3

1 ROOF HVAC PLAN
1/8" = 1'-0"



2 ROOF PIPE PENETRATION DETAIL
1/8" = 1'-0"

GENERAL NOTES

- INSTALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. ROOFTOP EQUIPMENT SHALL BE LOCATED NO CLOSER THAN 10'-0" FROM THE ROOF EDGE.
- COORDINATE ALL ROOF PENETRATIONS WITH OTHER TRADES TO PROVIDE A COMPLETE AND FULLY WEATHER-PROOF INSTALLATION.
- THIS DRAWING IS BASED ON VISUALLY OBSERVABLE EXISTING CONDITIONS AS OF THE TIME OF DESIGN. CONTRACTOR SHALL BE RESPONSIBLE TO FULLY VERIFY ALL EXISTING CONDITIONS, COMPONENTS, ETC. PRIOR TO THE START OF THE WORK. ANY DEVIATION FROM THIS DRAWING, EXCEPT FOR MINOR ADJUSTMENTS, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- MODIFY FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT REMODELED AREAS BASED ON NEW WALL AND CEILING CHANGES.

KEYNOTES

- PROVIDE EQUIPMENT BASE AS RECOMMENDED BY MANUFACTURER, SECURE BASE TO UNIT AND TO ROOF.
- PROVIDE PIPE PENETRATION BOX FOR PIPES THROUGH ROOF.

ROOF HVAC PLAN

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

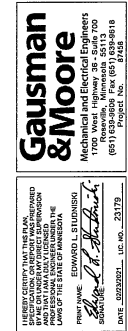
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ELECTRICAL SHEET INDEX	
SHEET	DESCRIPTION
E1.1	ELECTRICAL TITLE SHEET & SPECIFICATIONS
E2.1	GROUND FLOOR ELECTRICAL DEMOLITION PLAN
E2.2	3RD & 4TH FLOOR ELECTRICAL DEMOLITION PLANS
E3.1	GROUND FLOOR LIGHTING, POWER & SYSTEMS PLANS
E3.2	3RD FLOOR LIGHTING, POWER & SYSTEMS PLANS
E3.3	4TH FLOOR LIGHTING, POWER & SYSTEMS PLANS
E4.1	ELECTRICAL SCHEDULES & DETAIL

SHEET COUNT: 7

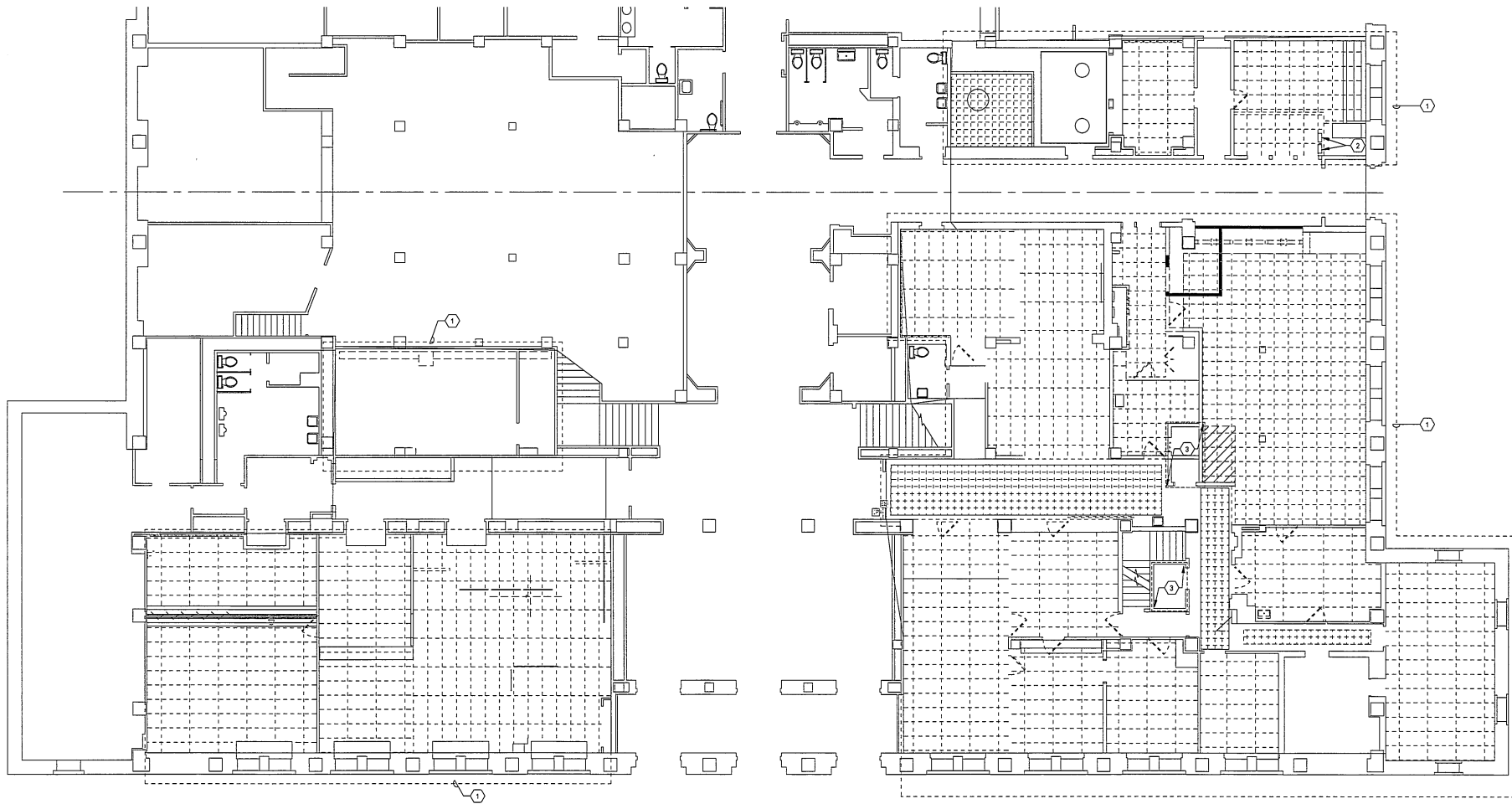
SECTION 260553 - IDENTIFICATION FOR ELECTRICAL SYSTEMS

Devices shall be identified by various means as described below and elsewhere in this specification. Loads shall be described by their usage, not by machine numbers or room numbers on the drawings. Provide in permanent black marker circuit number on back of faceplate on a wiring compartment of lighting fixtures.

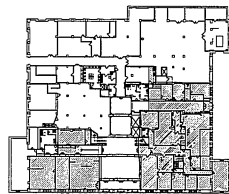


Ave, Duluth, Minnesota 55807 (218) 722-8271

- THIRD FLOOR - FOURTH FLOOR
2



- KEYNOTES**
- 1 DISCONNECT AND REMOVE LIGHTING, LIGHTING CONTROLS, RECEPTACLES, VOICEDATA OUTLETS, TELEPHONE OUTLETS AND EQUIPMENT TO FACILITATE DEMOLITION AND NEW CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT. RETAIN EXISTING BRANCH CIRCUITING FOR REUSE AND MAINTAIN EXISTING DEVICES NOTED FOR REUSE AS INDICATED ON LIGHTING, POWER AND SYSTEMS SHEETS. PROVIDE DISPOSAL OF REMOVED MATERIAL UPON COMPLETION OF DEMOLITION. PROVIDE BLANK COVER PLATES AS REQUIRED FOR DEVICES LOCATIONS REMOVED AS PART OF DEMOLITION.
 - 2 DISCONNECT AND RELOCATE EXISTING ALTRONIX SECURITY PANELS/BOXES AS REQUIRED TO FACILITATE WALL DEMOLITION. VERIFY NEW LOCATION WITH OWNER. NO WORK IN THIS AREA.



1
E2.1
1/8" = 1'-0"



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Drawn by ALE Issue Date
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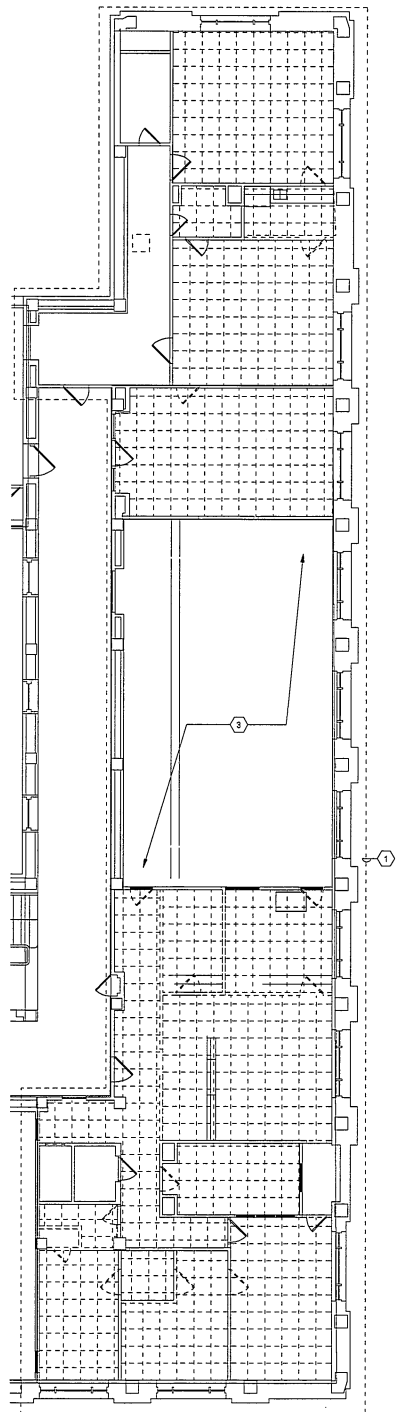
RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

GROUND FLOOR ELECTRICAL
DEMOLITION PLAN

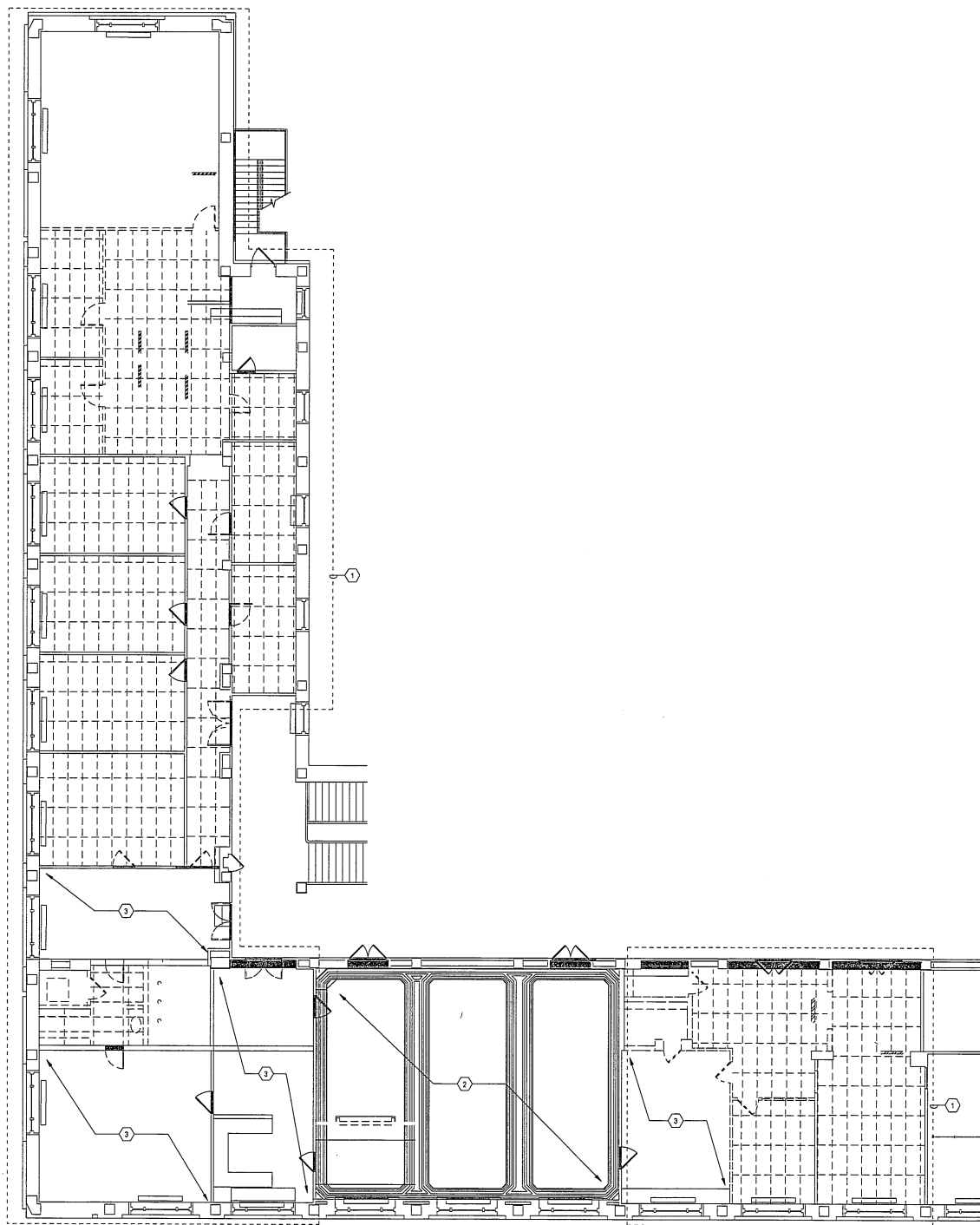
**Gausman
& Moore**
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DESIGNED BY: EDWARD L. STERNBERG
PROJECT NAME: DULUTH CITY HALL
DATE: 02/28/2021 LC No. 23779

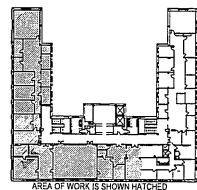




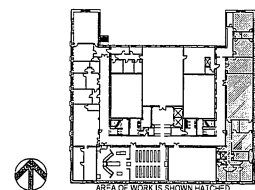
1
E2.2
3RD FLOOR ELECTRICAL DEMOLITION PLAN
1/8" = 1'-0"



2
E2.2
4TH FLOOR ELECTRICAL DEMOLITION PLAN
1/8" = 1'-0"

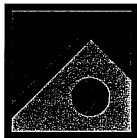


FOURTH FLOOR KEY PLAN



THIRD FLOOR KEY PLAN

- KEYNOTES**
1. DISCONNECT AND REMOVE LIGHTING, LIGHTING CONTROLS, RECEPTACLES, VOICEDATA OUTLETS, TV OUTLETS, TELEPHONE OUTLETS AND EQUIPMENT TO FACILITATE DEMOLITION AND NEW CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT. RETAIN EXISTING BRANCH CIRCUITING FOR REUSE AND MAINTAIN EXISTING DEVICES NOTED FOR REUSE AS INDICATED ON LIGHTING, POWER, AND SYSTEMS SHEETS. PROVIDE DISPOSAL OF REMOVED MATERIAL UPON COMPLETION OF DEMOLITION. PROVIDE BLANK COVERPLATES AS REQUIRED FOR DEVICE LOCATIONS REMOVED AS PART OF DEMOLITION.
 2. NO DEMOLITION WORK IN THIS AREA. COORDINATE NEW SCOPE OF WORK AS INDICATED ON LIGHTING, POWER, AND SYSTEMS SHEETS. THIS AREA IS CONSIDERED HISTORIC AND SHOULD NOT BE ALTERED UNLESS APPROVED BY THE CITY.
 3. TURN EXISTING DECORATIVE PENDANTS NOT REUSED OVER TO OWNER AFTER REMOVAL IN THIS ROOM.



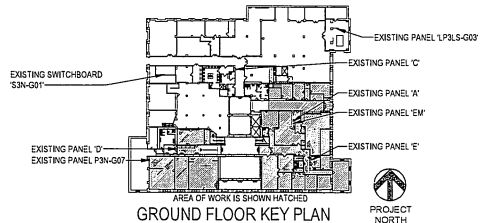
Gausman & Moore
Mechanical and Electrical Engineers
1100 West Highway 38 - Suite 700
(855) 838-8018 Fax (855) 838-8618
Project No. 23179

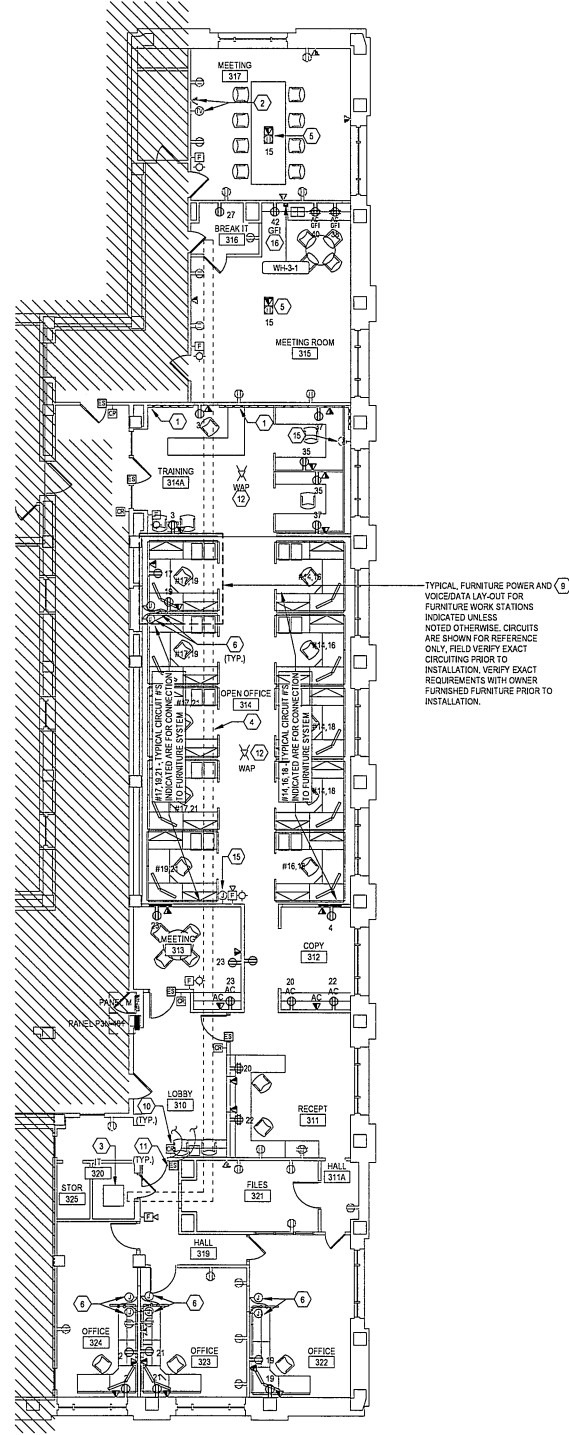
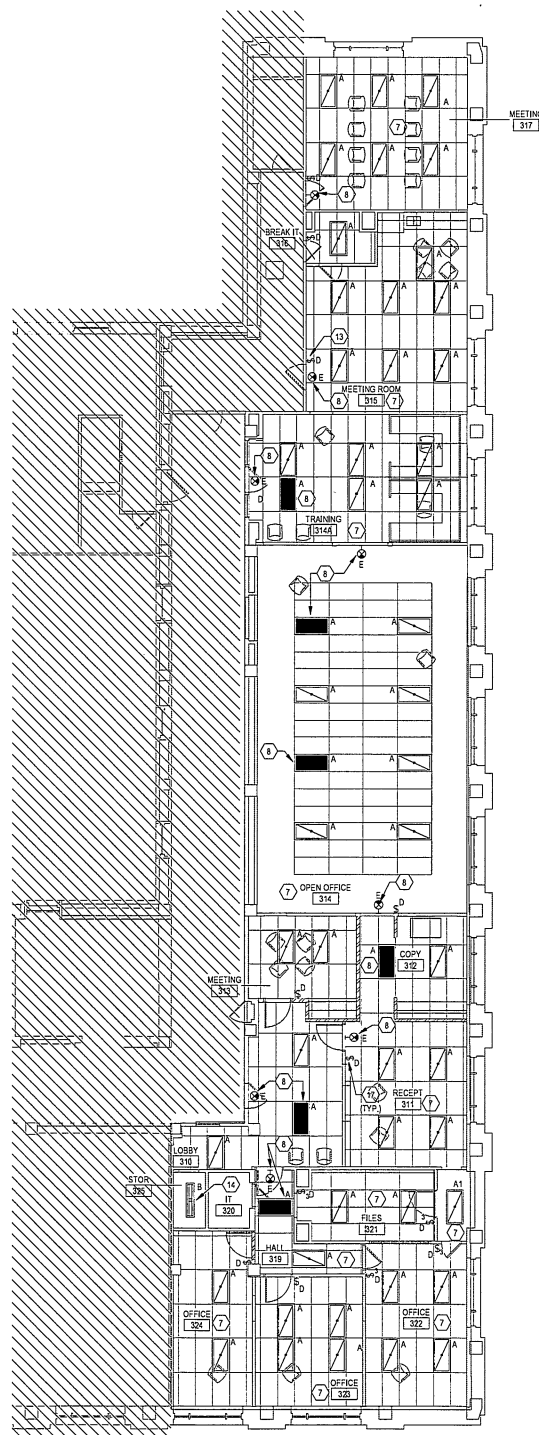
THIS DOCUMENT IS THE PROPERTY OF GAUSMAN & MOORE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GAUSMAN & MOORE. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A VIOLATION OF THE LAWS OF THE STATE OF MINNESOTA.
PROJECT NAME: DULUTH CITY HALL - PROJECT # 21-
DRAWN BY: ALE
CHECKED BY: JAG
DATE: 02/28/2021, LC NO. 23179

**3RD & 4TH FLOOR ELECTRICAL
DEMOLITION PLANS**

RW Fern Associates Inc. Architects, 5517 Grand Ave, Duluth, Minnesota 55807 (218) 722-8271
DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

Job No. 87456 Date Issued Date
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E2.2





KEYNOTES

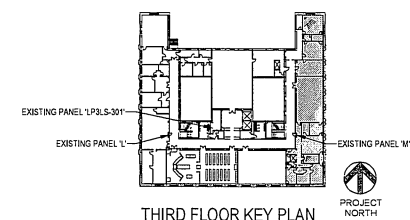
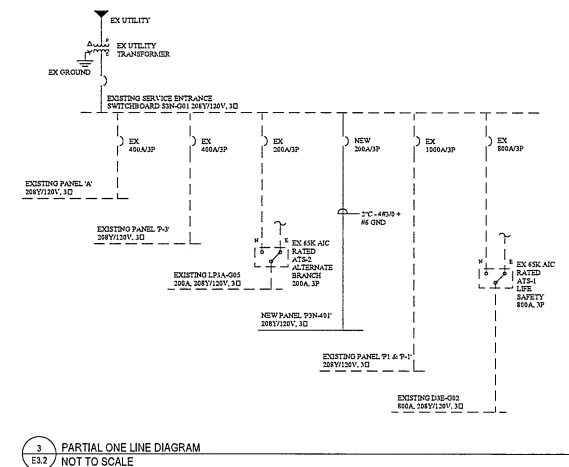
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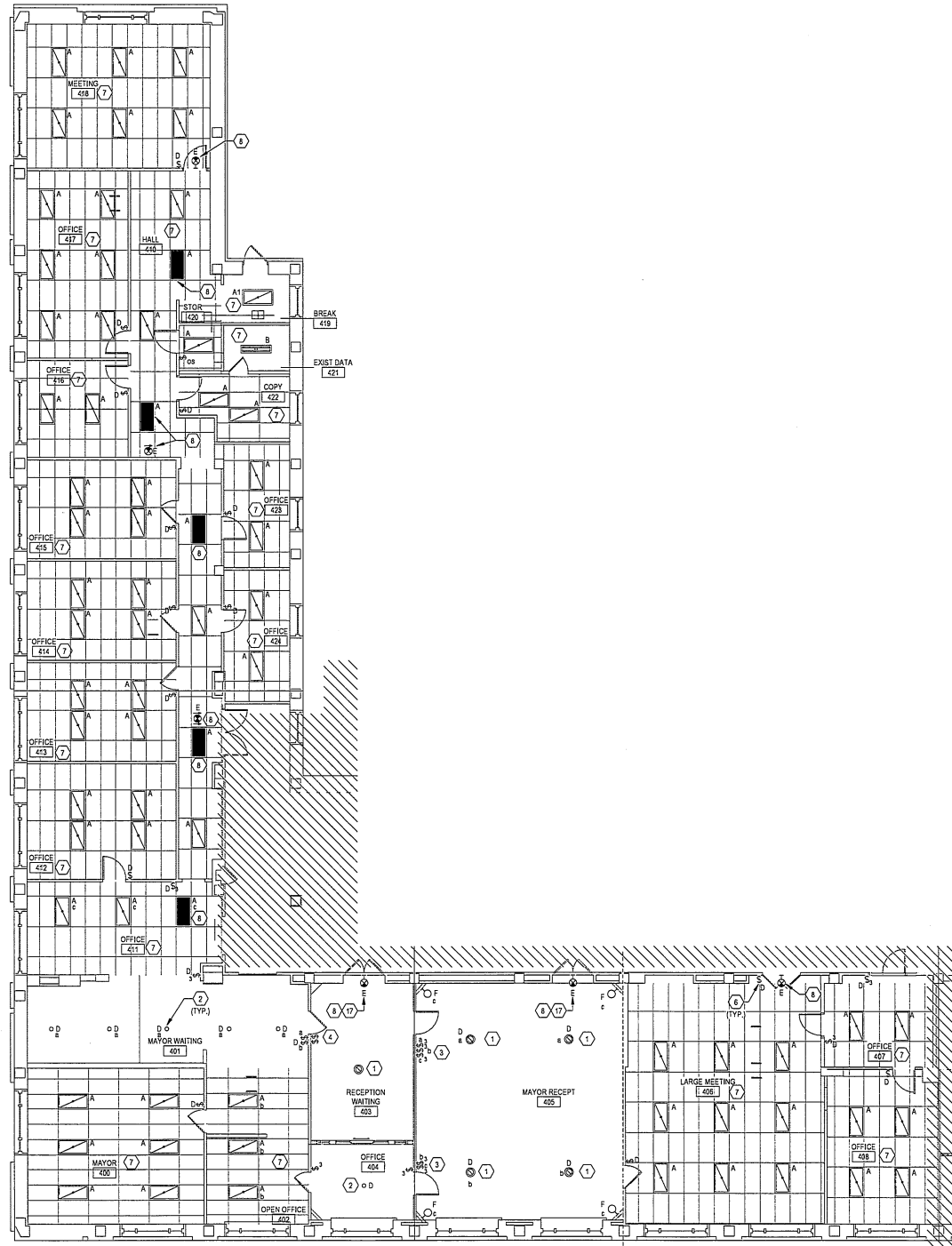
LIGHTING CONTROL MATRIX									
	SYSTEM OUTPUTS	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window
SYSTEM INPUTS	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window	Controlled by local photo gathering device 1/5 from window
Open Office Zone #1 (Daylight)	●	●	●						
Open Office one #2 (Non-Daylight)	●	●	●						
Offices with exterior windows	●	●	●						
Offices without exterior windows	●	●	●	●					
Conference/meeting rooms with exterior windows	●	●	●						
Conference/meeting rooms without exterior windows		●	●						
Corridors	●	●	●						
Store rooms	●	●	●						
Break rooms without exterior windows	●	●	●						
Lobby / Reception	●	●	●						

NOTES:
A. Type 'A' light fixtures include integral occupancy sensor and ambient daylight sensor with wireless communication. Contractor to provide Cree SmartCast Technology Wireless Dimmer in each space as indicated on plans and Cree SmartCast Technology Configuration Tool for programming control sequence as indicated in lighting control matrix.

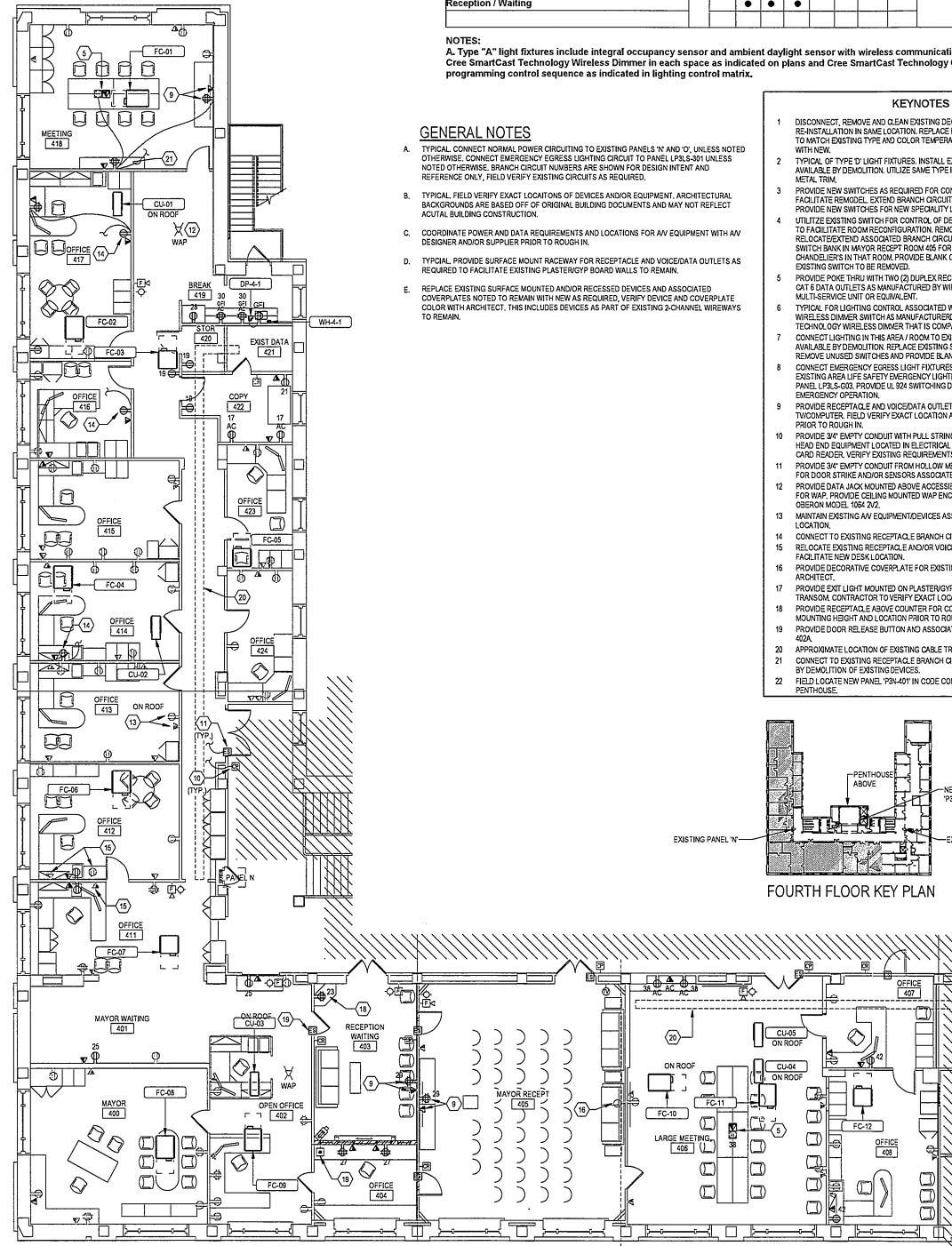
GENERAL NOTES

- A. TYPICAL CORNER POWER CIRCUITING TO EXISTING PANEL, W. UNLESS NOT OTHERWISE NOTED. CONNECT EMERGENCY EGRESS LIGHTING CIRCUIT TO PANELS LPS-8-301 UNLESS OTHERWISE NOTED. BRANDED EQUIPMENT TO BE SHOWN FOR IDENTIFICATION AND REFERRED ONLY. FIELD VERIFY EXISTING CIRCUITS AS REQUIRED.
- B. TYPICAL, FIELD VERIFY EXACT LOCATIONS OF DEVICES AND/OR EQUIPMENT. ARCHITECTURAL BACKGROUNDS ARE BASED OFF OF ORIGINAL BUILDING DOCUMENTS AND MAY NOT REFLECT ACTUAL BUILDING CONSTRUCTION.
- C. COORDINATE POWER AND DATA REQUIREMENTS AND LOCATIONS FOR AV EQUIPMENT WITH AN AUDIOVISUAL CONSULTANT AND SUPPLIER TO MATCH W.
- D. TYPICAL, PROVIDE SURFACE MOUNTED RACEWAY FOR RECEPTACLE AND VOICE/DATA OUTLETS AS REQUIRED TO FACILITATE EXISTING PLASTERED/BOARDS WALLS TO REMAIN.
- E. REPLACE EXISTING SURFACE MOUNTED AND/OR RECESSED DEVICES AND ASSOCIATED COVERS/PLATES NOTED TO REMAIN WITH NEW AS REQUIRED. VERIFY EXISTING AND COVER/PLATE COLOR WITH ARCHITECT. THIS INCLUDES DEVICES AS PART OF EXISTING 2-WHOLE, WIREMATS W.





1
E3.3
4TH FLOOR LIGHTING PLAN
1/8" = 1'-0"



2
E3.3
4TH FLOOR POWER & SYSTEMS PLAN
1/8" = 1'-0"



LIGHTING CONTROL MATRIX		SYSTEM INPUTS					SYSTEM OUTPUTS				
		Controlled by local photo sensing device 15' from window					Controlled by local occupancy sensor				
		On/Off	Dimmer	On/Off	Dimmer	On/Off	On/Off	Dimmer	On/Off	Dimmer	On/Off
Offices with exterior windows		•	•	•	•	•	•	•	•	•	•
Offices without exterior windows		•	•	•	•	•	•	•	•	•	•
Conference/meeting rooms with exterior windows		•	•	•	•	•	•	•	•	•	•
Conference/meeting rooms without exterior windows		•	•	•	•	•	•	•	•	•	•
Corridors		•	•	•	•	•	•	•	•	•	•
Store rooms		•	•	•	•	•	•	•	•	•	•
Break rooms with exterior windows		•	•	•	•	•	•	•	•	•	•
Reception / Waiting		•	•	•	•	•	•	•	•	•	•

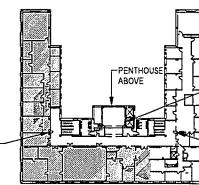
NOTES:
A. Type "A" light fixtures include integral occupancy sensor and ambient daylight sensor with wireless communication. Contractor to provide Cree SmartCast Technology Wireless Dimmer in each space as indicated on plans and Cree SmartCast Technology Configuration Tool for programming control sequence as indicated in lighting control matrix.

GENERAL NOTES

- TYPICAL. CONNECT NORMAL POWER CIRCUITING TO EXISTING PANELS 'N' AND 'O' UNLESS NOTED OTHERWISE. CONNECT EMERGENCY EGRESS LIGHTING CIRCUIT TO PANEL LP4S-301 UNLESS NOTED OTHERWISE. BRANCH CIRCUIT NUMBERS ARE SHOWN FOR DESIGN INTENT AND REFERENCE ONLY. FIELD VERIFY EXISTING CIRCUITS AS REQUIRED.
- TYPICAL. FIELD VERIFY EXACT LOCATIONS OF DEVICES AND/OR EQUIPMENT. ARCHITECTURAL BACKGROUNDS ARE BASED OFF OF ORIGINAL BUILDING DOCUMENTS AND MAY NOT REFLECT ACTUAL BUILDING CONSTRUCTION.
- COORDINATE POWER AND DATA REQUIREMENTS AND LOCATIONS FOR AV EQUIPMENT WITH AV DESIGNER AND/OR SUPPLIER PRIOR TO ROUGH-IN.
- TYPICAL. PROVIDE SURFACE MOUNT RACEWAY FOR RECEPTACLE AND VOICEDATA OUTLETS AS REQUIRED TO FACILITATE EXISTING PLASTER/GYP BOARD WALLS TO REMAIN.
- REPLACE EXISTING SURFACE MOUNTED AND/OR RECESSED DEVICES AND ASSOCIATED COVERPLATES NOTED TO REMAIN WITH NEW AS REQUIRED. VERIFY DEVICE AND COVERPLATE COLOR WITH ARCHITECT. THIS INCLUDES DEVICES AS PART OF EXISTING 2-CHANNEL WIREWAYS TO REMAIN.

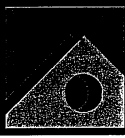
KEYNOTES

- DISCONNECT, REMOVE AND CLEAN EXISTING DECORATIVE CHANDELIER FOR RE-INSTALLATION IN SAME LOCATION. REPLACE EXISTING LAMPS WITH NEW LED TYPE TO MATCH EXISTING TYPE AND COLOR TEMPERATURE. REPLACE FIXTURE WIRING WITH NEW.
- TYPICAL. OF TYPE 'D' LIGHT FIXTURES. INSTALL EXISTING DECORATIVE PENDANT MADE AVAILABLE BY DEMOLITION. UTILIZE SAME TYPE IN SIMILAR AREA, IE DECORATIVE METAL TRIM.
- PROVIDE NEW SWITCHES AS REQUIRED FOR CONTROL OF CHANDELIER FIXTURES TO FACILITATE REMODEL. EXISTING BRANCH CIRCUIT AND CONTROL WIRING AS REQUIRED. PROVIDE NEW SWITCHES FOR NEW SPECIALTY LIGHTING AS REQUIRED.
- UTILIZE EXISTING SWITCH FOR CONTROL OF DECORATIVE CHANDELIER TO REMAIN TO FACILITATE ROOM RECONFIGURATION. REMOVE REMAINING SWITCH AND RELOCATE EXISTING ASSOCIATED BRANCH CIRCUIT AND CONTROL WIRING TO NEW SWITCH BANK IN MAJOR RECEPTION ROOM 405 FOR CONTROL OF DECORATIVE CHANDELIER IN THAT ROOM. PROVIDE BLANK COVER PLATE AS REQUIRED FOR EXISTING SWITCH TO BE REMOVED.
- PROVIDE POKIE THRU WITH TWO (2) DUPLEX RECEPTACLES AND A MINIMUM OF TWO (2) CAT 6 DATA OUTLETS AS MANUFACTURED BY WISCONSIN SERIES 840C MULTISERVICE UNIT OR EQUIVALENT.
- TYPICAL. FOR LIGHTING CONTROL, ASSOCIATED WITH TYPE 'K' LIGHTING. PROVIDE WIRELESS DIMMER SWITCH AS MANUFACTURED BY CREE. MOORE. CREE SMART CAST TECHNOLOGY WIRELESS DIMMER THAT IS COMPATIBLE WITH TYPE 'K' LIGHT FIXTURE.
- CONNECT LIGHTING IN THIS AREA / ROOM TO EXISTING BRANCH CIRCUIT MADE AVAILABLE BY DEMOLITION. REPLACE EXISTING SWITCHES WITH WIRELESS DIMMER. REMOVE UNUSED SWITCHES AND PROVIDE BLANK COVERPLATES AS REQUIRED.
- CONNECT EMERGENCY EGRESS LIGHT FIXTURES AND EXIT LIGHTS FIXTURES TO EXISTING AREA LIFE SAFETY EMERGENCY LIGHTING BRANCH CIRCUIT FED FROM PANEL LP4S-301. PROVIDE UL 924 SWITCHING DEVICE AS REQUIRED FOR EMERGENCY OPERATION.
- PROVIDE RECEPTACLE AND VOICEDATA OUTLET FOR OWNER FURNISHED SMART TWO-COMPUTER. FIELD VERIFY EXACT LOCATION AND MOUNTING HEIGHT OF DEVICES PRIOR TO ROUGH-IN.
- PROVIDE 3/4" EMPTY CONDUIT WITH PULL STRING ROUTED TO EXISTING DOOR ACCESS HEAD END EQUIPMENT LOCATED IN ELECTRICAL CLOSET FOR OWNER FURNISHED CORD READER. VERIFY EXISTING REQUIREMENTS WITH OWNER PRIOR TO ROUGH-IN.
- PROVIDE 3/4" EMPTY CONDUIT FROM HOLLOW METAL DOOR FRAME TO ABOVE CEILING FOR DOOR STRIKE AND/OR SENSORS ASSOCIATED WITH DOOR PROVIDED BY OWNER.
- PROVIDE DATA JACK MOUNTED ABOVE ACCESSIBLE CEILING WITH 8/11 PATCH CORD FOR WAP. PROVIDE CEILING MOUNTED WAP ENCLOSURE AS MANUFACTURED BY OBERON MODEL 1064 ZV2.
- MAINTAIN EXISTING AV EQUIPMENT DEVICES ASSOCIATED WITH EXISTING TV LOCATION.
- CONNECT TO EXISTING RECEPTACLE BRANCH CIRCUIT SERVING THIS ROOM.
- RELOCATE EXISTING RECEPTACLE AND/OR VOICEDATA OUTLET TO 18" AFF TO FACILITATE NEW DESK LOCATION.
- PROVIDE DECORATIVE COVERPLATE FOR EXISTING JUNCTION BOX, COLOR BY ARCHITECT.
- PROVIDE EXIT LIGHT MOUNTED ON PLASTER/GYP BOARD WALL ABOVE WOOD TRANSOM. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO ROUGH-IN.
- PROVIDE RECEPTACLE ABOVE COUNTER FOR COFFEE STATION. VERIFY EXACT MOUNTING HEIGHT AND LOCATION PRIOR TO ROUGH-IN.
- PROVIDE DOOR RELEASE BUTTON AND ASSOCIATED ELECTRIC STRIKE FOR DOOR 402A.
- APPROXIMATE LOCATION OF EXISTING CABLE TRAY ABOVE CEILING.
- CONNECT TO EXISTING RECEPTACLE BRANCH CIRCUIT IN THIS ROOM MADE AVAILABLE BY DEMOLITION OF EXISTING DEVICES.
- FIELD LOCATE NEW PANEL '9N-401' IN CODE COMPLIANT LOCATION IN THE PENTHOUSE.



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DULUTH CITY HALL - PROJECT # 21-
INTERIOR RENOVATIONS - GROUND FLOOR - THIRD FLOOR - FOURTH FLOOR
411 WEST FIRST STREET, DULUTH, MN. 55802

Job No. 87458
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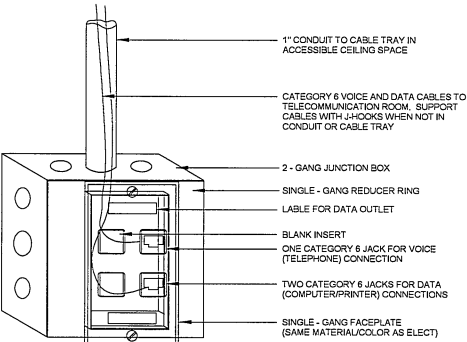


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PROJECT NO. 23779

DESIGNED BY: EDWARD L. STONIK
PROJECT NO. 23779
DATE: 02/20/2011, 10:40 AM

LIGHTING FIXTURE SCHEDULE											
TYPE	CONSTRUCTION	MFR	MODEL	LAMP	LUMENS DOWN	CCT	CR	VOLT	INPUT WATTS	NOTE	
A	2X4 BASKET STYLE LED RECESSED	CREE LIGHTING	CR24 40.0HE 35K CMA QMD-QWCWH	LED	4000 lm	3500 K	80	120 V	32 W	1	
A1	2X4 BASKET STYLE LED SURFACE	CREE LIGHTING	CR24 40.0HE 35K CMA QMD-QWCWH	LED	4000 lm	3500 K	80	120 V	32 W	1	
B	4" LED STRIP	LITHONIA	LZ-14L 220LM/ST MAQLT 35K 80CRI	LED	5000 lm	3500 K	80	120 V	24 W	1	
C	9" SLIM SURFACE LED	LITHONIA	SSR 9 35K 7	LED	550 lm	3000 K	50	120 V	10 W	1	
D	RELOCATED DECORATIVE PENDANT	-	-	-	0 lm	0 K	0	120 V	-	-	
E	EXIT SIGN	PHILIPS LIGHTING	SSL3WR	LED	0 lm	0 K	0	120 V	3 W	1	
F	DECORATIVE FLOODELIGHT	INTENSE LIGHTING	GIMBLE 309 D101 W FL	LED	4000 lm	3000 K	52	120 V	45 W	1	

NOTES:
1. PROVIDE SMART CAST TECHNOLOGY CONFIGURATION TOOL AS MANUFACTURED BY CREE, MODEL RCCT-CWC-1 AND CREE SMARTCAST TECHNOLOGY WIRELESS DIMMERS MODEL RCWD-CWC-WH TO ACHIEVE CONTROL AS INDICATED ON LIGHTING CONTROL MATRIX. FIELD VERIFY EXACT QUANTITIES.



NOTES:
1. TERMINATE VOICE AND DATA OUTLETS WITH T568B PIN-OUT SEQUENCE.
2. ROUTE CABLES TO TELECOMMUNICATION ROOMS AND TERMINATE ON RACK-MOUNTED CATEGORY 6 PATCH PANELS.
3. LABEL VOICE AND DATA JACK WITH THE TELECOMMUNICATION ROOM NUMBER, PATCH PANEL NUMBER AND JACK POSITION NUMBER (EXAMPLE: 005-A-18).
4. INSTALL BLANK INSERT ON OPEN PORTS WHEN JACKS ARE NOT INSTALLED.

1 VOICE DATA DETAIL
E4.1 NOT TO SCALE

PANEL D											
PANEL NAME: PANEL D		VOLT: 208Y/120		BUS SIZE: 100 AMP		REMARKS:					
LOCATION: CLOSET		PH: 3		MAIN BRKR: MLO							
MOUNTING SURFACE		WIRE: 4		GND BUS: YES		GFI					
RM. NO.	LOAD DESCRIPTION	TYPE	BRKR	CCT	CCT	BRKR	TYPE	LOAD DESCRIPTION	RM. NO.		
	TUNNEL LIGHTS	L	201	1	2	201	L	TUNNEL LIGHTS			
	LIGHTS LOCKER RM	L	201	3	4	201	R	RECEPTS TELE RM			
	LIGHTS RM 16	L	201	5	8	201	L	LIGHTS CAPE & HALL			
	RECEPTS RM 105	R	201	7	8	201	L	LIGHTS RM 17			
	LIGHTS RM 17	L	201	9	10	201	R	MEETING G15 RCPTS			
	HOTEL G14 RCPTS	R	201	11	12	201	L	LIGHTS RM 17			
	HOTEL G14 RCPTS	R	201	13	14	201	R	FAN TELE RM			
	RECEPTS CLOSET	R	201	15	16	201	R	OFFICE G13 RCPTS			
	VENDING RECEPT	R	201	17	18	201	R	RECEPTS TELE RM			
	LIGHTS VENDING	L	201	19	20	201	L	LIGHTS TELE RM			
	AC	M	20	21	22	201	L	LIGHTS & RCPT STORAGE			
		M	2	23	24	201	R	FAN & TELE RECEPTS			
	SPARE		201	25	26	201	R	VENDING RECEPT			
	AC	M	20	27	28	201	R	VENDING RECEPT			
		M	2	29	30	201	R	TICKETS G10 RCPTS			

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PANEL N											
PANEL NAME: PANEL N		VOLT: 208Y/120		BUS SIZE: 125 AMP		REMARKS:					
LOCATION: CLOSET		PH: 3		MAIN BRKR: MLO							
MOUNTING SURFACE		WIRE: 4		GND BUS: YES		GFI					
RM. NO.	LOAD DESCRIPTION	TYPE	BRKR	CCT	CCT	BRKR	TYPE	LOAD DESCRIPTION	RM. NO.		
	MAYOR'S OFF RCPTS	R	201	1	2	201	L	OFFICE LIGHTS			
	CHIEF ADMIN RCPTS	R	201	3	4	201	L	CHIEF ADMIN LIGHTS			
	OFFICE RECEPTS	R	201	5	6	201	R	CHIEF ADMIN RCPTS			
	MAYOR'S OFF RCPTS	R	201	7	8	201	R	OFFICE RECEPTS			
	MAYOR'S OFF LIGHTS	L	201	9	10	201	R	OFFICE RECEPTS			
	MAYOR'S REC LIGHTS	L	201	11	12	201	R	OFFICE RECEPTS			
	MAYOR'S OFF LIGHTS	L	201	13	14	201	L	LIGHTS			
	OFFICE RECEPTS	R	201	15	16	201	L	OFFICE LIGHTS			
	COPY RM 402 RECEPTS	R	201	17	18	201	L	OFFICE HALL LIGHTS			
	STORAGE & COPY RM RCPTS	R	201	19	20	201	L	MAIN RECEPT LIGHTS			
	COPY MACHINE	R	201	21	22	201	L	MAIN RECEPT LIGHTS			
	COFFEE RECEPT	R	201	23	24	201	L	MAYOR'S REC LIGHTS			
	MAYOR'S WAITING RCPTS	R	201	25	26	201	R	RECEPTS RM 407			
	OFFICE 404 RECEPTS	R	201	27	28	201	R	BREAK 415 REFRIGERATOR			
	MAYOR RCPT & WAIT TV RCPT	R	201	29	30	201	R	BREAK 415 RECEPTS			
	COPY MACHINE	R	201	31	32	201	R	OFFICE RECEPTS			
	RECEPTS N END WING	R	201	33	34	201	R	HALL RCPTS			
	RCPTS & TRACK RECEPT	R	201	35	36	201	R	PENTHOUSE RECEPTS			
	FC-01 - FC-06	M	20	37	38	201	R	COPY MACHINE RM 410			
		M	12	39	40	201	R	OFFICE RECEPTS			
	DP-4.1	M	20	41	42	201	R	POWER POLE NORTH			

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PANEL O											
PANEL NAME: PANEL O		VOLT: 208Y/120		BUS SIZE: 125 AMP		REMARKS:					
LOCATION: CLOSET		PH: 3		MAIN BRKR: MLO							
MOUNTING SURFACE		WIRE: 4		GND BUS: YES		GFI					
RM. NO.	LOAD DESCRIPTION	TYPE	BRKR	CCT	CCT	BRKR	TYPE	LOAD DESCRIPTION	RM. NO.		
	RECEPTS 406	R	201	1	2	201	R	RECEPTS RM 407			
	RECEPTS	R	201	3	4	201	R	RECEPTS			
	OUTLETS BY SALUNA	R	201	5	6	201	R	RECEPTS			
	POWER POLE	R	201	7	8	201	L	LIGHTS LAVATORY			
	RECEPT RM 413 & COPY	R	201	9	10	60	M	MAKE-UP AIR			
	LIGHTS RM 409	L	201	11	12	12	M				
	LIGHTS & RECEPT RM 407	L	201	13	14	201	L	LIGHTS RM 406			
	RECEPTS LAB	R	201	15	16	201	R	RECEPTS LAB			
	RECEPTS LAB	R	201	17	18	201	R	RECEPTS LAB			
	SPARE		201	19	20	201	L	LIGHTS RM 408			
	CONFERENCE ROOM	R	201	21	22	201	L	LIGHTS RM 411			
	SPARE		201	23	24	201	R	OFFICE 4 & 5			
	PLANNING LIBRARY	R	201	25	26	201	R	PLANNING LIBRARY			
	RECEPTS 4 & 5	R	201	27	28	201	R	RECEPTS 4 & 5			
	RECEPTS 4 & 5	R	201	29	30	20	N	AIR RADIO SIREN			
	LIGHTS & RCPTS RM 407	L	201	31	32	12	N				
	WH-4.1	C	25	33	34	201	R	HALL OUTLET			
		C	12	35	36	201	R	COPY MACHINE			
	FC-07 - FC-12	M	20	37	38	201	R	LARGE MTG 406 RCPTS			
		M	12	39	40	201	L	LIGHTS RM 406			
	SPARE		201	41	42	201	R	OFFICE 407 & 408 RCPTS			

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S3N-G01											
PANEL NAME: S3N-G01		VOLT: 208Y/120		BUS SIZE: 2000 AMP		REMARKS:					
LOCATION: ELEC RM		PH: 3		MAIN BRKR: 2000 AMP							
MOUNTING SURFACE		WIRE: 4		GND BUS: YES		GFI					
RM. NO.	LOAD DESCRIPTION	TYPE	BRKR	CCT	CCT	BRKR	TYPE	LOAD DESCRIPTION	RM. NO.		
	PANEL 'A'		400	1	2	400		PANEL 'A-3'			
	LOCATED IN RM 201E		/	3	4	/					
			3			3					
	PANEL LPSA-G01		200	3	4	200		PANEL 'PSN-401'			
	VIA ATS-2		/			/					
			3			3					
	PANEL 'P-1 & P-2'		1000	5	6						
			/			/					
			3								
	SPARE		1000	7	8						
			/			/					
			3								
	SPACE & BUS			9	10			SPACE & BUS			
	SPACE & BUS							SPACE & BUS			
	SPACE & BUS							SPACE & BUS			
	PANEL 'D3E-G02'		800	11	12						
	VIA ATS-1		/			/					
			3								
	SPACE & BUS			13	14			SPACE & BUS			
	SPACE & BUS							SPACE & BUS			
	SPACE & BUS							SPACE & BUS			

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PANEL A											PANEL
PANEL NAME		PANEL A	VOLT: 208Y/120			BUS SIZE: 225 AMP		REMARKS:			
LOCATION:		CLOSET	PH:	3	MAIN BRKR		MLO				
MOUNTING SURFACE			WIRE	4	GND BUS		YES	GFI			
RM. NO.	LOAD DESCRIPTION	TYPE	BRKR	CCT	CCT	BRKR	TYPE	LOAD DESCRIPTION	RM. NO.		
	SPARE		201/	1	2	201/		SPARE			
	SPARE		201/	3	4	201/		JEUITS LIGHTS			
	SPARE		201/	5	6	201/	R	OFFICE G33 FURN.			
	INTERVIEW RECEP.TS		201/	7	8	201/	R	OFFICE G33 FURN.			
	POLICE DEPT LIGHTS		201/	9	10	201/	R	OFFICE G33 FURN.			
	POLICE CORR LIGHTS		201/	11	12	201/	R	OFFICE G33 FURN.			
	DOOR OPENERS		201/	13	14	201/		SPACE			
	DOOR OPENERS		201/	15	16	201/		OFFICE FURNITURE			
	DOOR OPENERS		201/	17	18	201/		SPACE			
	SPARE		201/	19	20	201/		OFFICE FURNITURE			
	SPARE		201/	21	22	201/		OFFICE FURNITURE			
	BREAK G34 REFRIG.	R	201/	23	24	30		A/C UNIT			
	OFFICE G2022 FURN.	R	201/	25	26	/					
	OFFICE G2022 FURN.	R	201/	27	28	3					
	WORK G32 RPCTS	R	201/	29	30	201/		RECEP.TS THIS CAB			
	HALLWAY RPCTS	R	201/	31	32	201/		SPARE			
	BREAK G34 RECEP.TS	R	201/	33	34	201/		SPARE			
	BREAK G34 RECEP.TS	R	201/	35	36	201/		SPARE			
	SPARE		50	37	38			SPACE			
			/	39	40			SPACE			
			3	41	42			SPACE			