

PLANNING AND ECONOMIC DEVELOPMENT COMMITTEE

14-011-O

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AMENDING CHAPTER 50 OF THE DULUTH CITY CODE, 1959, AS AMENDED, REGARDING FORM DISTRICT STANDARDS.

CITY PROPOSAL:

The city of Duluth does ordain:

Section 1. That Section 50-16 of Chapter 50 be amended as follows:

## **50-16 FORM DISTRICTS.**

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### **50-16.1 General purposes of form districts.**

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Nine new districts were created for those areas within the city to be regulated by form-based coding. Sections 50-16.2 through 50-16.10 below contain brief descriptions of each of the form districts. Section 50-22, *Building Form Standards*, provides additional information that applies to these districts and regulates the types of buildings, development and rezoning permitted in each district.

## 50-16.2 Form District 1 (F-1) Low-Rise Neighborhood Shopping

### A. Purpose

The F-1 District consists of only one building type, Main Street Building I. This district is meant to be mapped within the East Superior Street study area (Lakeside/Lester Park) along the commercial nodes that take the form of traditional mixed use development. Main Street Building I has a build-to zone of between 0 and 15 ft., that allows the building to either be built adjacent to the sidewalk or set back further on the lot to match its surrounding residential context. This building type also requires a high amount of transparency on the ground floor. Permitted and special uses are shown in Table 50-19.8

Building Types	Form Districts								
	F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Main Street Building I	•	•							
Main Street Building II			•	•	•	•			
Main Street Building III							•	•	
Corridor Building I		•							
Corridor Building II				•	•				
Lakefront Corridor									•
Corridor Building III								•	
Cottage Commercial I		•				•			
Cottage Commercial II				•					
Iconic Building		•		•	•			•	

### B. Example

#### F-1 Example Building Forms



Example of Main Street I



Example of a Main Street I

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-1 district.

## 50-16.3 Form District 2 (F-2) Low-Rise Neighborhood Mix

### A. Purpose

The F-2 District permits Main Street Building I, Corridor Building I, Cottage Commercial Building I and the Iconic Building. This district was designed for both the East Superior Street (Lakeside/Lester Park) and London Road (12<sup>th</sup> to 21<sup>st</sup> Avenues East) study areas, and is meant to serve as a mixed use, neighborhood-scale commercial district. Corridor Building I is better suited for office or residential (apartment) uses. Due to its residential character, Cottage Commercial I is well suited to commercial uses that may occur adjacent to a residential area. Permitted and special uses are shown in Table 50-19.8.

Building Types	Form Districts								
	F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Main Street Building I	•	•							
Main Street Building II			•	•	•	•			
Main Street Building III							•	•	
Corridor Building I		•							
Corridor Building II				•	•				
Lakefront Corridor									•
Corridor Building III								•	
Cottage Commercial I		•				•			
Cottage Commercial II				•					
Iconic Building		•	•	•				•	

### B. Example

#### F-2 Example Building Forms



**Example of Corridor Building I**



**Example of Cottage Commercial I**

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-2 district.

**50-16.4 Form District 3 (F-3) Mid-Rise Community Shopping**

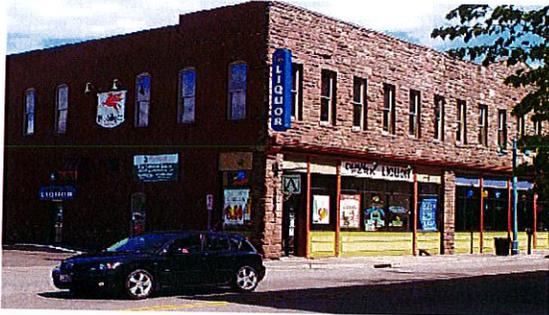
**A. Purpose**

Several pockets within the West Duluth (Grand Avenue and Central Avenue), and Canal Park study areas contain older mixed use buildings, with retail or office uses on the ground floor and office or residential uses on the upper floors. F-3: Main Street Building II was created to preserve this style of development and provide standards for future infill development to emulate the style as well. Main Street Building II has a small build-to zone, requiring the building to be constructed fairly close to the front property line. Permitted and special uses are shown in Table 50-19.8.

Building Types	Form Districts								
	F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Main Street Building I	•	•							
Main Street Building II			•	•	•				
Main Street Building III							•	•	
Corridor Building I		•							
Corridor Building II				•	•				
Lakefront Corridor									•
Corridor Building III								•	
Cottage Commercial I		•				•			
Cottage Commercial II				•					
Iconic Building		•		•	•			•	

**B. Example**

*F-3 Example Building Forms*



**Example of Main Street Building II**



**Example of Main Street Building II**

**C. Illustration**

See Section 50-22 for illustrations of building types permitted in the F-3 district.

## 50-16.5 Form District 4 (F-4) Mid-Rise Community Mix

### A. Purpose

Portions of the London Road and West Duluth (Grand Avenue and Central Avenue) study areas either contain auto-oriented development or a mixture of different building types. The F-4 District was created for those areas that are not strictly comprised of mixed use buildings. These areas are often transitional in nature, as the study area switches from commercial to residential. The integration of Corridor Building II and Cottage Commercial II will assist in

stepping down the intensity as the district approaches residential neighborhoods. Permitted and special uses are shown in Table 50-19.8.

Building Types	Form Districts								
	F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Main Street Building I	•	•							
Main Street Building II			•	•	•	•			
Main Street Building III							•	•	
Corridor Building I		•							
Corridor Building II				•	•				
Lakefront Corridor									•
Corridor Building III								•	
Cottage Commercial I		•				•			
Cottage Commercial II				•					
Iconic Building		•		•	•			•	

### B. Example

#### F-4 Example Building Forms



**Example of Corridor Building II**



**Example of Cottage Commercial III**

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-4 district.

## 50-16.6 Form District 5 (F-5) Mid-Rise Community Shopping and Office

### A. Purpose

The F-5 District is applied to both the West Superior Street study area (Lincoln Park) and the transitional areas surrounding Downtown, including Canal Park and Central Hillside (2nd Street from 6th Ave. West to 3rd Ave. East). These areas consist of a combination of traditional mixed use buildings and office buildings, which conform to the style of Main Street Building II and Corridor Building II. Permitted and special uses are shown in Table 50-19.8.

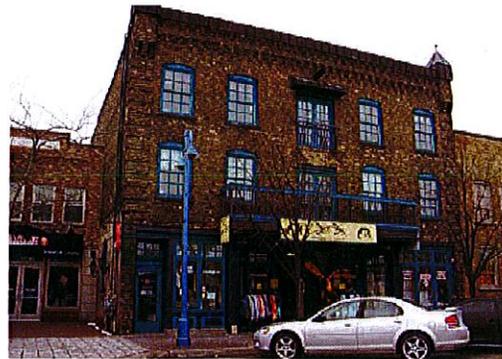
		Form Districts								
		F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Building Types	Main Street Building I	•	•							
	Main Street Building II			•	•	•	•			
	Main Street Building III							•	•	
	Corridor Building I		•							
	Corridor Building II				•	•				
	Lakefront Corridor									•
	Corridor Building III								•	
	Cottage Commercial I		•				•			
	Cottage Commercial II				•					
	Iconic Building		•		•	•			•	

### B. Example

#### F-5 Example Building Forms



**Example of Corridor Building II**



**Example of Main Street Building II**

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-5 district.

## 50-16.7 Form District 6 (F-6) Mid-Rise Neighborhood Shopping

### A. Purpose

This district was created to respond to the commercial nodes present in the Central Hillside neighborhood (4<sup>th</sup> St. from Mesaba Ave. to 3<sup>rd</sup> Ave. East). These nodes are separated by residential developments, which were not included in the study area. Main Street Building II and Cottage Commercial Building I provide flexibility in the style of commercial building, with the Cottage Commercial building type especially applicable when it's located adjacent to residential development. Permitted and special uses are shown in Table 50-19.8.

Building Types	Form Districts								
	F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Main Street Building I	•	•							
Main Street Building II			•	•	•	•			
Main Street Building III							•	•	
Corridor Building I		•							
Corridor Building II				•	•				
Lakefront Corridor									•
Corridor Building III								•	
Cottage Commercial I		•				•			
Cottage Commercial II				•					
Iconic Building		•		•	•			•	

### B. Example

#### F-6 Example Building Forms



**Example of Cottage Commercial I**



**Example of Main Street Building II**

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-6 district.

## 50-16.8 Form District 7 (F-7) Downtown Shopping

### A. Purpose

To preserve the historic mixed use core of Downtown, F-7 was created to be applied in specific areas along Superior Street. This district permits only Main Street Building III, which seeks to codify the existing urban structure of the heart of Downtown. The building type requires a storefront on the ground floor and that the building be located adjacent to the sidewalk. The F-7 and F-8 districts also permit the highest intensity development, with a maximum height along Superior Street of 15 stories. Permitted and special uses are shown in Table 50-19.8.

		Form Districts								
		F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Building Types	Main Street Building I	•	•							
	Main Street Building II			•	•	•	•			
	Main Street Building III							•	•	
	Corridor Building I		•							
	Corridor Building II				•	•				
	Lakefront Corridor									•
	Corridor Building III								•	
	Cottage Commercial I		•				•			
	Cottage Commercial II				•					
	Iconic Building		•		•	•			•	

### B. Example

#### F-7 Example Building Forms



**Example of Main Street Building III**



**Example of Main Street Building III**

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-7 district.

## 50-16.9 Form District 8 (F-8) Downtown Mix

### A. Purpose

F-8 applies to other Downtown areas not included in the F-7 district. The district provides slightly more flexibility in building form than does F-7, as it permits both Main Street Building III and Corridor Building III for office and residential uses. Permitted and special uses are shown in Table 50-19.8.

	Form Districts								
	F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Building Types	Main Street Building I	•	•						
	Main Street Building II			•	•	•			
	Main Street Building III						•	•	
	Corridor Building I		•						
	Corridor Building II				•	•			
	Lakefront Corridor								•
	Corridor Building III							•	
	Cottage Commercial I		•				•		
	Cottage Commercial II				•				
	Iconic Building		•		•	•			•

### B. Example

#### F-8 Example Building Forms



**Example of Main Street Building III**



**Example of Corridor Building III**

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-8 district.

## 50-16.10 Form District 9 (F-9) Canal Park Lakefront

### A. Purpose

F-9 applies specifically to the east side of Canal Park Drive, addressing the parcels currently occupied by hotels. This district is unique in that the parcels are deep and front both Lake Superior and Canal Park Drive. The Lakefront Corridor Building was developed specifically for these locations, requiring frontage on both sides with enough depth to nestle parking in between the buildings. Views through these parcels to the lake are also addressed with view corridors. Permitted and special uses are shown in Table 50-19.8.

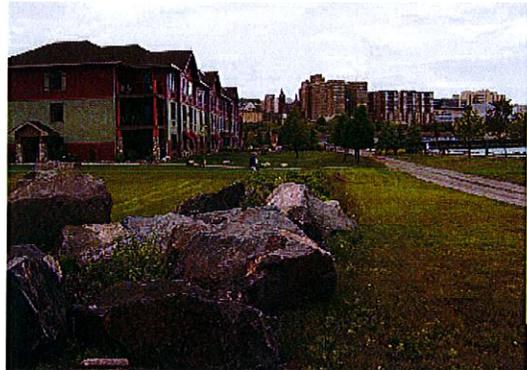
		Form Districts								
		F-1	F-2	F-3	F-4	F-5	F-6	F-7	F-8	F-9
Building Types	Main Street Building I	•	•							
	Main Street Building II			•	•	•	•			
	Main Street Building III							•	•	
	Corridor Building I		•							
	Corridor Building II				•	•				
	Lakefront Corridor									•
	Corridor Building III								•	
	Cottage Commercial I		•				•			
	Cottage Commercial II				•					
	Iconic Building		•		•	•			•	

### B. Example

#### F-9 Example Building Forms



Example of Lakefront Corridor



Example of Lakefront Corridor

### C. Illustration

See Section 50-22 for illustrations of building types permitted in the F-9 district.

Section 2. That Section 50-22 of Chapter 50 be amended as follows:

## **50-22 BUILDING FORM STANDARDS**

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The following provisions apply only in the Form Districts listed in Section 50-16, but do not apply in other zone districts.

### **50-22.1 General Requirements**

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#### **A. Intent**

The building types detailed in this section outline the desired building forms for new construction and renovated structures within the form districts.

#### **B. Applicability**

1. All building type standards apply to all new construction and renovation of existing structures, where the renovation includes an addition of more than 50% in building square footage.
2. When a renovation of the front facade occurs with no added building square footage, the street facade requirements and base type requirements must be met when:
  - (a) the existing building front, corner, or lakefront facade is located within the build-to zone;
  - (b) the renovation includes any of the following:
    - (i) installation of additional doors or a change in location of a door;
    - (ii) expansion or change in location of 30% of windows on any street or lakefront facade;
    - (iii) replacement of 30% or more of facade materials on any street or lakefront facade with a different facade material.
3. When a renovation of the shape or style of the roof occurs with no added building square footage, the cap type requirements must be met when the existing building front, corner or lakefront facade is located within the build-to zone.
4. Under all circumstances, no portion of the building type standards must be met in the case of normal repairs required for safety and continued use of the structure, such as replacement of window or door glass.

#### **C. General Requirements**

All construction in the Form Districts must meet the following requirements:

1. **Zone Districts**

No primary building shall be developed within a Form District unless it matches one of the building types approved for that district in Table 50-22.2-1.
2. **Planning Review Required**

Development of any building type must be reviewed and approved by the city through the planning review process in Article 5.

### 3. Permanent Structures

All buildings constructed must be permanent construction without a chassis, hitch, or wheels, or other features that would make the structure mobile. Temporary structures and uses are permitted as shown in Article 3.

#### **D. Alternative Compliance in Form Districts**

Where compliance with the specific requirements of section 50-22 is not possible as a result of unique site conditions abutting or surrounding a proposed site, an owner may propose alternatives consistent with the goals of sections 50-16 and 50-22. The Land Use Supervisor may approve a proposal under this section where an applicant can demonstrate the following:

1. The renovation does not increase the existing primary structure's footprint; and
2. It is determined that the proposed renovation achieves the goals stated in 50-16 relevant to the particular form district to the same degree, or better than, the building form standards set forth in section 50-22.

#### **50-22.2 General Building Type Descriptions**

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Four major categories of building types are described in this section: Main Street Building, Corridor Building, Cottage Commercial Building, and Iconic Building. The building types proposed for the Form Districts include three variations of the Main Street Building, three variations of the Corridor Building, two variations of the Cottage Commercial Building, and one version of the Iconic Building. The building type variations go from least intense (Type I) to most intense (Type III). Main Street Buildings, in general, are pedestrian-oriented, mixed use buildings. This building type typically has a storefront on the ground floor with offices or residential uses on the upper floors. The ground floor of the Main Street Building has a high amount of transparency, so that pedestrians walking by can look into the interior space. Corridor Buildings are primarily meant to house office or multi-family residential uses, with less transparency required on the ground floor. The Cottage Commercial Building is primarily commercial in nature but, unlike the Main Street Building, it is similar in form to single-family residential areas, providing transitions between commercial and residential areas. While the previously mentioned building types are intended to serve as the fabric buildings of the city, the Iconic Building is a unique civic or institutional building that has distinctive character and function within the community.

## **A. Main Street Buildings**

Main Street Buildings, in general, are pedestrian-oriented, mixed use buildings. This building type typically has a storefront on the ground floor with offices or residential uses on the upper floors. The ground floor of the Main Street Building has a high amount of transparency, so that pedestrians walking by can look into the interior space.

### **1. Main Street Building I**

This building type allows for service, retail, and office uses on the ground floor and office or residential above. It is appropriate for commercial uses adjacent to residential neighborhoods, as the intensity of this building type is not as high as the other Main Street Building types. It has a larger build-to zone and a maximum height of two-and-a-half or three stories depending on location.

### **2. Main Street Building II**

Main Street Building II is slightly more intense than Main Street Building I, as it is required to be built up to the right-of-way and may generally be up to 4 stories tall. This building type also permits service, retail and office uses on the ground floor and office or residential on upper floors.

### **3. Main Street Building III**

Main Street Building III is the most intense of the Main Street Building types, as it is meant to be used in the downtown area. It is located directly adjacent to the sidewalk and should include retail or service uses on the ground floor whenever possible. Main Street Building III has a maximum height of 15 stories in limited locations.

## **B. Corridor Buildings**

Corridor Buildings are primarily meant to house office or multi-family residential uses, with less transparency required on the ground floor.

### **1. Corridor Building I**

This building type can house a single category of uses, such as office or residential, or a mix of uses. Corridor Building I is the least intensive Corridor Building, located in the more neighborhood oriented study area locations. It has a larger build-to zone that is set back farther than the other Corridor Buildings, and is permitted to be a maximum of 3 stories.

### **2. Corridor Building II**

Corridor Building II is an intermediary building type between the more neighborhood scale locations and the intensity of downtown. It is similar to Corridor Building I in many ways, but is permitted to be built up to the sidewalk and may also be taller, with generally a maximum height of 4 stories.

### **3. Lakefront Corridor Building**

The Lakefront Corridor Building is a variation on Corridor Building II that was created for use along Lake Superior in Canal Park. These buildings front the lake, but also require some level of frontage on Canal Park Drive. The maximum height is 4 stories.

### **4. Corridor Building III**

Corridor Building III was created for use in downtown. It is required to be built adjacent to the sidewalk and has a maximum height of 15 stories in specified

locations. While the Corridor building types are meant to house primarily office and residential uses, commercial uses are also permitted to create a vibrant commercial core for downtown.

### **C. Cottage Commercial**

The Cottage Commercial Building is primarily commercial in nature but, unlike the Main Street Building, it is similar in form to single-family residential areas, providing transitions between commercial and residential areas.

#### **1. Cottage Commercial I**

The Cottage Commercial Building type is residential in character but commercial in use. At a maximum height of two and a half stories, it is meant to blend in with a surrounding residential neighborhood while at the same time providing neighborhood-scale commercial uses. Cottage Commercial I is for use as a transition to residential locations, with a larger build-to zone and permitted side aisle of parking. Cottage Commercial I may also include multiple principal structures on one lot, provided that each building meets the requirements of the building type.

#### **2. Cottage Commercial II**

Cottage Commercial II is similar to Cottage Commercial I but is used in the West Duluth study area, which is a more intense context. This building type may be built to the front property line and must locate parking in the rear.

### **D. Iconic Building**

While the previously mentioned building types are intended to serve as the fabric buildings of the city, the Iconic Building is a unique civic or institutional building that has distinctive character and function within the community. The Iconic Building type is a ~~unique building type~~ meant to house community, cultural, civic, educational or governmental uses (i.e. uses classified as "Community and Cultural Facilities" or "Educational Facilities" in Table 50-19.8). The Iconic Building has more flexible requirements for building location and transparency than the other non-residential building types due to its unique nature.

Table 50-22.2-1: Summary Table of Permitted Building Types by Zone District

		Building Types									Areas	
		Main Street Building I	Main Street Building II	Main Street Building III	Corridor Building I	Corridor Building II	Lakefront Corridor Building	Corridor Building III	Cottage Commercial I	Cottage Commercial II		Iconic Building
Districts	F1: Low-Rise Neighborhood Shopping	●										East Superior
	F2: Low-Rise Neighborhood Mix	●			●				●		●	East Superior, London Road
	F3: Mid-Rise Community Shopping		●									West Duluth, Canal Park
	F4: Mid-Rise Community Mix		●			●				●	●	West Duluth London Road
	F5: Mid-Rise Community Shopping/Office		●			●					●	West Superior, Canal Park
	F6: Mid-Rise Neighborhood Shopping		●						●		●	Central Hillside
	F7: Downtown Shopping			●								Downtown
	F8: Downtown Mix			●				●			●	Downtown
	F9: Canal Park						●					Canal Park

● Building Type permitted

### 50-22.3 Base Types

Base type standards apply to the ground story and visible basement of front facades of all building types. To determine which base type(s) are permitted for each building type, refer to the building types-specific information found in Sections 50-22.7 through 50-22.17.

#### A. General Provisions

The following provisions apply to all base types.

1. Intent. To guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street. Treatment of other portions of the building facades is detailed in each building type standard found in Sections 50-22.7 through 50-22.17.
2. Applicability. The entire ground story front facade of all buildings must meet the requirements of one of the permitted base types, unless otherwise stated in this section.
3. Measuring transparency. Refer to Section 50-22.5.D.1 for information on measuring building transparency.

4. Visible basements. Visible basements, permitted by base type, are optional.
5. Expression lines. For the purposes of this section, expression lines are an architectural feature comprised of a decorative, three dimensional, linear element, horizontal or vertical, protruding or indented at least one in. from the exterior facade of a building, and extending the length or height of the building with minimal interruptions from doors and windows. It is typically used to delineate the floors or stories of a building.

## B. Storefront Base Type

The Storefront base type is a highly transparent ground story treatment designed to serve as the display area and primary entrance for retail or service uses. (Refer to Figure 50-22.3-A)

1. Transparency. A minimum of 75% of the front facade between 2 and 8 ft. above the sidewalk must be comprised of transparent, non-reflective windows into the commercial space. A minimum of 25% of the windows shall have views directly into and out of the ground floor occupied space.
2. Elevation. Ground story elevation must be less than or equal to 1 ft. above sidewalk.
3. Visible Basement. A visible basement is not permitted.
4. Facade Divisions. Expression lines shall divide the facade into segments.
  - (a) Vertically divide the base facade into segments no greater than 30 ft. in width.
  - (b) Horizontally define the base facade from the upper stories.
5. Entrance. All entries shall be recessed from the front facade closest to the street.
  - (a) Recess shall be a minimum of 3 ft. and a maximum of 8 ft. deep, measured from the portion of the front facade closest to the street.
  - (b) When the recess falls behind the front build-to zone, the recess shall be no wider than eight 8 ft.

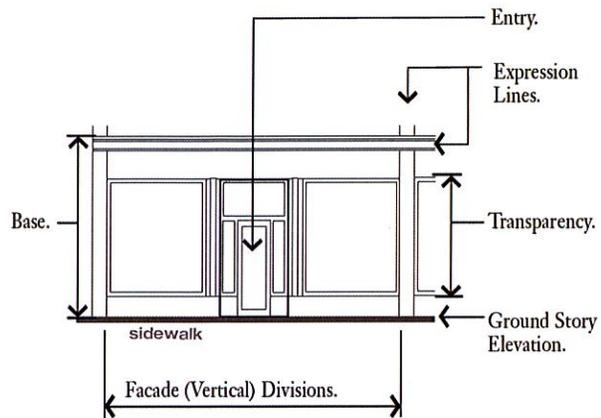


Figure 50-22.3-A: Storefront base type

### C. Shopfront Base Type

The Shopfront base type treatment includes less transparency than the storefront, while still allowing views in and out of the commercial space, and an entrance off of a porch or stoop. (Refer to Figure 50-22.3-B)

1. Transparency. A minimum of 50% of the front facade between 3 and 9 ft. above the sidewalk must be comprised of transparent, non-reflective windows into the commercial space.
2. Elevation. Ground story elevation must be between 0 and 3 ft. above sidewalk and not less than 6 in. above the curb, with or without optional visible basement.
3. Visible basement. A visible basement is permitted.
4. Vertical facade divisions. For buildings wider than 50 ft., divide base facade into segments no greater than 50 ft. in width with an expression line.
5. Entrance. Porch or stoop entrance required.

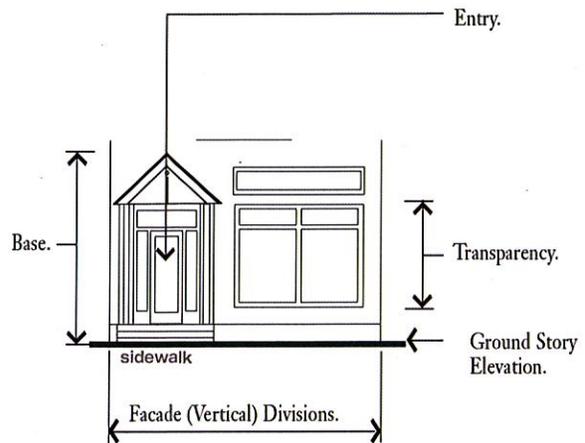


Figure 50-22.3-B: Shopfront base type

### D. Arcade Base Type

An Arcade base type is a covered pedestrian walkway within the recess of a ground story. (Refer to Figure 50-22.3-C).

1. Arcade. An open-air public walkway is required from the face of the building recessed into the building a minimum of 8 and a maximum of 15 ft.
2. Recessed or interior facade. Storefront or Shopfront base types are required on the recessed ground story facade.
3. Column spacing. Columns shall be spaced between 10 ft. and 12 ft. on center.
4. Column width. Columns shall be a minimum of 1 ft. 8 in. and a maximum 2 ft. 4 in. in width.
5. Arcade opening. Opening may not be flush with interior arcade ceiling and may be arched or straight.
6. Horizontal facade division. Horizontally define the base facade from the upper stories.
7. Visible basement. A visible basement is not permitted.

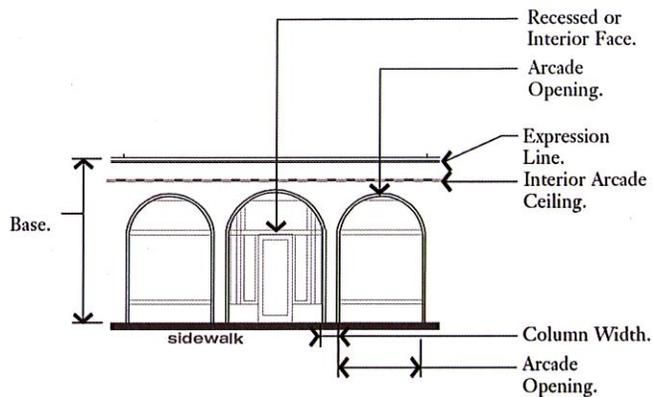


Figure 50-22.3-C: Arcade base type

## E. Stoop Base Type

A stoop is an unroofed, open platform. (Refer to Figure 50-22.3-D).

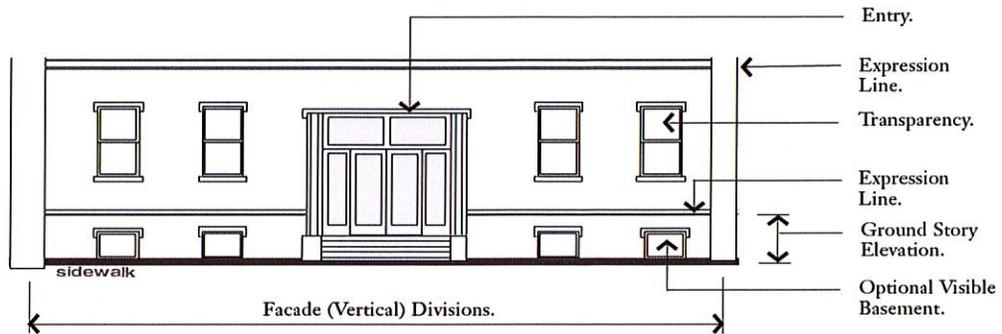


Figure 50-22.3-D: Stoop base type

1. Transparency. Minimum transparency per building type is required.
2. Stoop size. Stoops shall be a minimum of 3 ft. deep and 4 ft. wide.
3. Elevation. Ground story elevation must be located a maximum of 2 ft. 6 in. above the sidewalk without visible basement and a maximum of 4 ft. 6 in. above the sidewalk with a visible basement.
4. Visible basement. A visible basement is permitted.
5. Facade divisions. Expression lines shall divide facade segments.
  - (a) Vertically divide the base facade into segments no greater than 100 ft. in width.
  - (b) Horizontally define the base facade from upper stories.
6. Entrance. All entries shall be located off a stoop.

## F. Porch Base Type

A porch is a raised, roofed platform that may or may not be enclosed on all sides. (Refer to Figure 50-22.3-E).

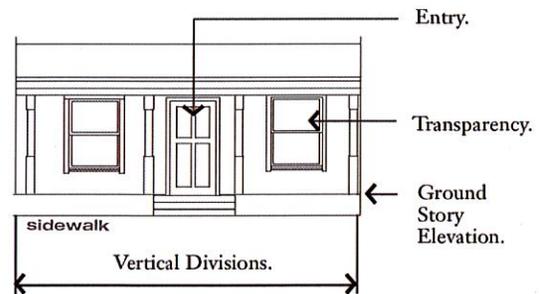


Figure 50-22.3-E: Porch base type

1. Transparency
  - (a) Minimum transparency per building type is required.
  - (b) If enclosed, a minimum of 40% of the enclosed porch must be comprised of transparent, non-reflective windows.
2. Porch size. The porch shall be a minimum of 5 ft. deep and maximum of 8 ft. wide.
3. Elevation. Ground story elevation must be located a maximum of 2 ft. 6 in. above the sidewalk without visible basement, and a maximum of 4 ft. 6 in. above the sidewalk with a visible basement.
4. Visible basement. A visible basement is permitted.
5. Facade divisions. Use expression lines to divide facade segments.

- (a) Vertically divide base facade into segments no greater than 60 ft. in width.
- (b) Horizontally define the base facade from upper stories.
- 6. Height. Porch may be 2 stories to provide a balcony on the second floor.
- 7. Entrance. All entries shall be located off a porch.

## 50-22.4 Cap Types

Cap type standards apply to the cap of all building types as required in this section.

### A. General Provisions

The following provisions apply to all cap types.

1. Intent. To guide the design of building caps in order to ensure an appropriate and aesthetically pleasing cap for all buildings.
2. Applicability. All buildings must meet the requirements of one of the cap types permitted for the building type.
3. Measuring height. Refer to the definition of "Height of building" in Article 6.
4. Other cap types. The Iconic building type may seek to incorporate other building caps not listed as a specific type by applying for a special use permit pursuant to Section 50-37.10, but the height may not exceed the maximum height of the tallest cap type permitted for the building type.

### B. Parapet Cap Type

A parapet is a low wall projecting above a building's roof along the perimeter of the building. It can be utilized with a flat or pitched roof and also serves to limit the view of roof-top mechanics from the street. (Refer to Figure 50-22.4-A)

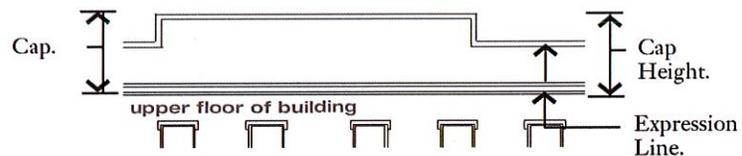


Figure 50-22.4-A: Parapet cap type

1. Parapet height. Height is measured from the top of the upper story to the top of the parapet.
  - (a) Minimum height is 2 ft. with a maximum height of 6 ft.
  - (b) Cap shall be high enough to screen the roof and any roof appurtenances when viewed from the street(s) and any adjacent building of similar height.
2. Horizontal expression lines. An expression line shall define the cap from the upper stories of the building and shall also define the top of the cap.
3. Occupied space. Occupied space may not be incorporated behind this cap type.

Figure 50-22.4-B: Pitched roof

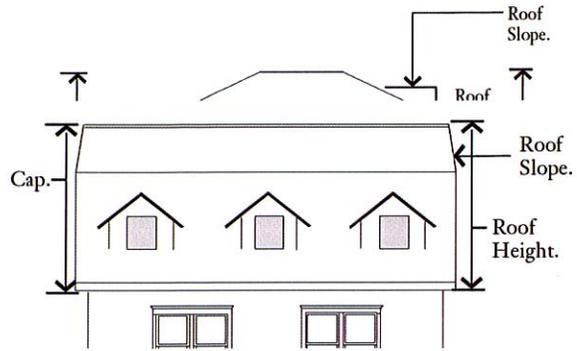
### C. Pitched Roof Cap Type

This cap type has a sloped or pitched roof. Slope is measured with the vertical



rise divided by the horizontal span or run. (Refer to Figure 50-22.4-B)

1. Pitch measure. The roof may not be sloped steeper than a 6:12 (rise:run) or flatter than 16:12 (rise:run).
2. Roof types. Hipped, gabled, and combination of hips and gables with or without dormers are acceptable. Gambrel and mansard roofs are acceptable provided that when the ridge runs parallel to the street, 1 dormer per 15 ft. of street face is required.
3. Parallel ridge line. A gabled end or perpendicular ridge line shall occur at least every 100 ft. of roof for 2-story buildings or higher and at least every 50 ft. of roof for 1-story buildings when the ridge line runs parallel to the front property line.
4. Roof height. Roof height may not be greater than the total of all floors below the roof. For single story portions of the building, roof height may not exceed one-and-one-half times the floor below the roof.



Pitched Roof cap type - Gambrel



Pitched Roof cap type - Mansard

#### D. Flat Roof Cap Type

This cap type has a flat roof with overhanging eaves. (Refer to Figure 50-22.4-C)

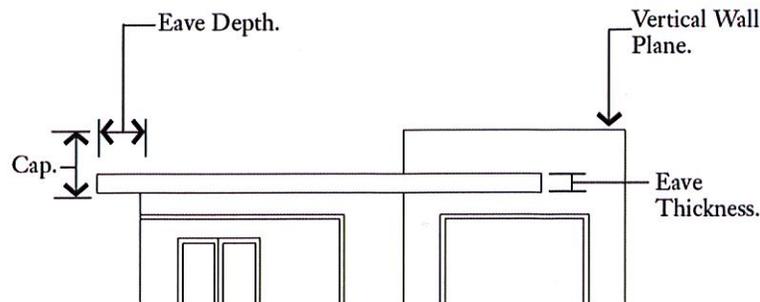


Figure 50-22.4-C: Flat roof

1. Roof types. Roofs with no visible slope are acceptable. Eaves are required on all street-facing facades.
2. Eave depth. Eave depth is measured from the building façade to the outside edge of the eave. Eaves shall have a depth of at least 12 in.
3. Eave thickness. Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves shall be a minimum of 6 in. thick.
4. Interrupting vertical walls. Vertical walls may interrupt the eave and extend above the top of the eave with no discernible cap.
  - (a) No more than one-half of the front façade can consist of an interrupting vertical wall.
  - (b) Vertical walls shall extend no more than 4 ft. above the top of the eave.

## E. Towers

A tower is a rectilinear or cylindrical vertical element that must be used with other cap types. (Refer to Figure 50-22.4-D)

1. Quantity. One tower is permitted per building.
2. Tower height. Maximum height, measured from the top of the upper story to the top of the tower, is the equivalent of the height of 1 upper floor of the building to which the tower is applied.
3. Tower width. Maximum width along all facades is one-third the width of the front facade or 30 ft., whichever is less.
4. Occupied space. Towers must be occupied by the same uses allowed in upper stories of the building type to which it is applied.
5. Tower cap. The tower may be capped by the Parapet, Pitched, or Flat Roof cap types.

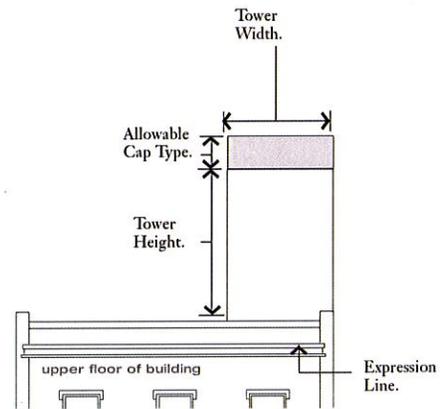


Figure 50-22.4-D: Tower

## 50-22.5 Explanation of Table Requirements

The following explains and defines the requirements included in the tables for each building type, Sections 50-22.7 through 50-22.17, and summarized for all building types in Table 50-22.7.

### A. Building Siting

#### 1. Street Frontage

- (a) Multiple principal buildings permitted on a lot. The presence of more than one principal structure on a lot.
- (b) Front Build-to Zone (BTZ) or setback. The build-to zone or setback parallel to the front property line. All BTZ and setback areas not covered by the building must contain either landscaping, patio space, or sidewalk space. Build-to zones define the minimum and maximum distance a structure may be placed from a property line.

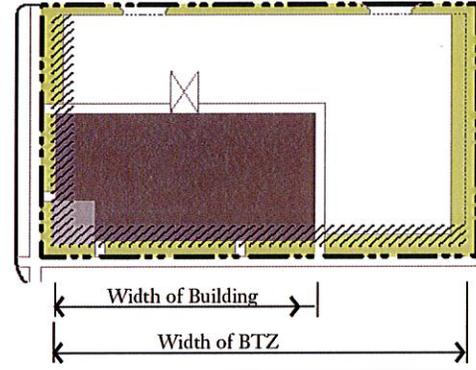


Figure 50-22.5-A: Measuring BTZ Coverage

- (c) Corner BTZ or setback. The build-to zone or setback parallel to the corner property line. All BTZ and setback areas not covered by building must contain landscape area.
- (d) Minimum coverage of front BTZ. Measurement defining the minimum percentage of street wall or building facade required along the street. The width of the principal structure(s) (as measured within the front build-to zone) shall be divided by the maximum width of the front. Refer to Figure 50-22.5-A
- (e) Occupation of corner. Occupying the intersection of the front and corner build-to zones with a principal structure.

#### 2. Side and Rear Setbacks

- (a) Minimum side yard setback. The minimum required setback along a side property line. All side yard setback areas not covered by building must contain landscape area.
- (b) Minimum rear yard setback. The minimum required setback along a rear property line.

#### 3. Buildable Area

- (a) Minimum landscape area. The minimum percentage of a lot that must be primarily dedicated to landscape materials, such as planting beds, grass or shrubs. A portion of the area may include hardscape materials for pedestrian use or access to the area or building, such as patio or sidewalk.
- (b) Minimum lot width. The minimum width of a lot, measured at the front property line.

#### 4. Parking and Access

- (a) Location of parking facilities. The yard in which a parking lot and associated drive is permitted.

- (b) Loading facility location. The facade of the building on which access is permitted for loading and unloading activities related to building uses.
- (c) Number of permitted driveways. Defines the circumstances under which a driveway is permitted on a lot.

## B. Height

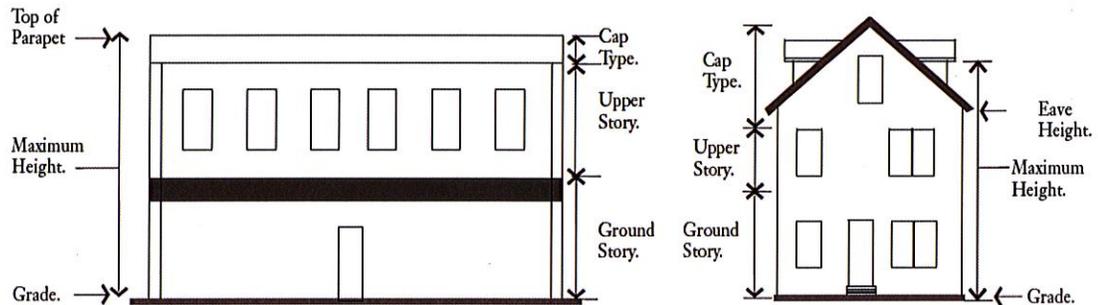


Figure 50-22.5-B: Measuring Height

1. Minimum and maximum overall height. (Refer to Figure 50-22.5-B)
2. A required minimum and maximum overall height is provided for all building types and is measured as follows:
  - (a) Height in stories. The sum of a building's stories. Half stories are located either completely within the roof structure or in a visible basement exposed a maximum of one-half story above average finished grade.
  - (b) Height in ft. measured as follows:
    - (i) Parapet cap type. Overall height is measured from the average finished grade of the building's front facade to the highest point of the parapet.
    - (ii) Pitched cap type. Overall height is measured from the average finished grade of the building's front facade to the midpoint of the highest roof slope.
    - (iii) Flat roof cap type. Overall height is measured from the average finished grade of the building's front facade to the top of the highest eave.
    - (iv) Appurtenances. Chimneys, antennae and other similar appurtenances may exceed the overall building height by no more than 25 ft.
    - (v) Towers. Maximum height, measured from the top of the upper story to the top of the tower, is the equivalent of the height of one upper floor of the building to which the Tower is applied. This additional floor does not count toward the overall height of the building. Refer to Section 50-22.4(E).
3. Ground story and upper story minimum and maximum height. (Refer to Figure 50-22.5-B). Each building type includes a permitted range of height in ft. for each story, which is measured as follows:
  - (a) Floor height is measured in ft. from the floor of a story to the floor of the story above it;
  - (b) For single story buildings and the uppermost story of a multiple story building, floor to floor height shall be measured from the floor of the story to the tallest point of the ceiling.

4. Where a building spans a block, and the block is adjacent to two street frontages with different building height maximums, the maximum height is determined as follows:
  - (a) Where a block is adjacent to two streets with different maximum building heights, the midpoint between those two streets is the point where the maximum building height transition occurs;
  - (b) Where a block is between Superior Street and Michigan Street, the greater maximum building height allowed on Superior Street extends through the entire block to Michigan Street.
5. In the situation where a single party owns frontage along a street corner, the maximum height for corner parcels applies to lots with the same street frontage owned by the same property owner within 100 feet of the corner.

### C. Uses

1. Ground story. The uses that may occupy the ground story of a building. Refer to Article 3, Permitted Uses.
2. Upper story. The uses that may occupy the upper stories of a building. Refer to Article 3, Permitted Uses.
3. Parking within building. The area(s) of a building in which parking is permitted within the structure.
4. Occupied space. The area(s) of a building that must be occupied by the users on a regular basis.

### D. Facade Requirements

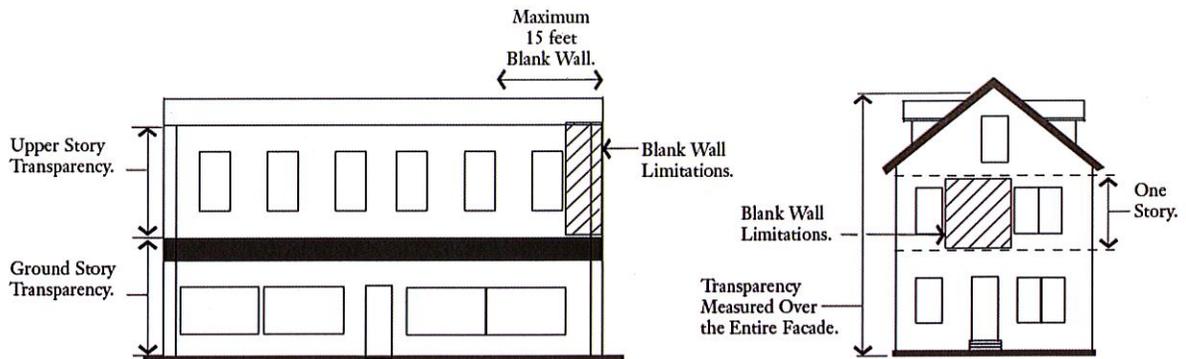


Figure 50-22.5-C: Measuring transparency

1. Transparency. Measurement of the percentage of a facade that has clear, non-reflective windows. Refer to Figure 50-22.5-C.
  - (a) Minimum transparency. The minimum amount of transparency required on the upper stories of facades with street frontage, measured per story or per facade, depending on the building type. Buildings with Storefront and Shopfront base types are required to have a greater ground story transparency on the front facade, as defined in Section 50-22.3, Base Types.
  - (b) Blank wall limitations. A restriction of the amount of windowless area permitted on a facade with street frontage. If required, the following shall be met:

- (i) No rectangular area greater than 30% of a story's facade, as measured from floor to floor, may be windowless; and
  - (ii) No horizontal distance greater than 15 ft. of a story's facade may be windowless.
2. Building entrance.
    - (a) Principal entrance location. The facade on which the primary building entrance is to be located.
    - (b) Street facades. Number of entrances on street facade. The maximum spacing between entrances on a building facade with street frontage.
  3. Balconies. The following requirements pertain to balconies on building facades with street frontage.
    - (a) Size. The minimum dimensions of a permitted balcony.
    - (b) Facade coverage. The percentage of a facade's total area that may be covered by balconies, including street facing railing and balcony structure.
    - (c) Access. The number of units that are permitted to gain entry to an individual balcony.
    - (d) Structure. Requirements related to the construction of a balcony. Two types of balcony structures are permitted:
      - (i) Independently secured balconies are those that are connected directly to the building and are unconnected to other balconies.
      - (ii) Balconies that are integral to the facade are a part of, and built in conjunction with, the building structure.

#### **E. Cap & Base Type Requirements**

1. Cap type. The cap type(s) permitted for a given building type. Refer to 50-22.4, Cap Types for more specific requirements.
2. Tower. A vertical building extension that may be permitted in conjunction with another cap type on certain building types. Refer to 50-22.4(E), Cap Types.
3. Front street facade base type. The base type(s) required on the street-facing facade of a given building type. Refer to 50-22.3, Base Types for more specific requirements.
4. Parking lot facade base type. The base type(s) required on the facade of a given building type that faces a parking lot. Refer to 50-22.3, Base Types for more specific requirements.

#### **F. Facade Materials Requirement**

The materials prohibited, required and to be avoided for designated facades.

## 50-22.6 Additional Development Standards

The following provides additional required physical standards for the uses outlined as permitted in Article 3, Permitted Uses.

### A. Automobile and Light Vehicle Repair and Service

1. Service bays. Vehicular service bays, including garages and car wash bays, shall not be located on the front facade.
2. Outdoor activities. All repairs or washing activities must occur inside a structure.

### B. Filling Station: Fuel Pumps and Canopies

Refer to Figure 50-22.6-A

1. Fuel pumps are permitted in the side or rear yards.
2. If a lot containing fuel pumps is adjacent to any residential district, the boundary with those districts shall be buffered in accordance with the standards in Section 50-25.5.B.
3. Canopy roof structures shall match the roof structure of the principal structure on the lot.
4. Canopy height shall not exceed the height of the principal structure on the lot.
5. Signage is not permitted on the canopy.

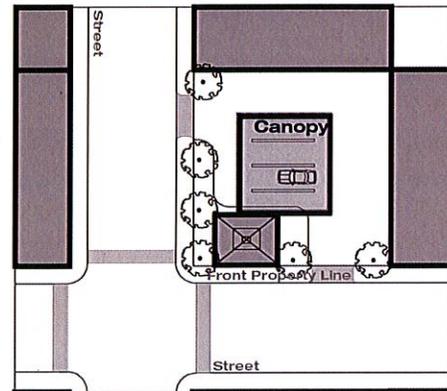


Figure 50-22.6-A: Relationship between the principal structure and the pump islands

### C. Drive-Through

Refer to Figure 50-22.6-B

1. The drive-through shall be located on the side or rear façade.
2. When occurring adjacent to any residential district, the boundary with those districts shall be buffered in accordance with the standards in Section 50-25.5.B.

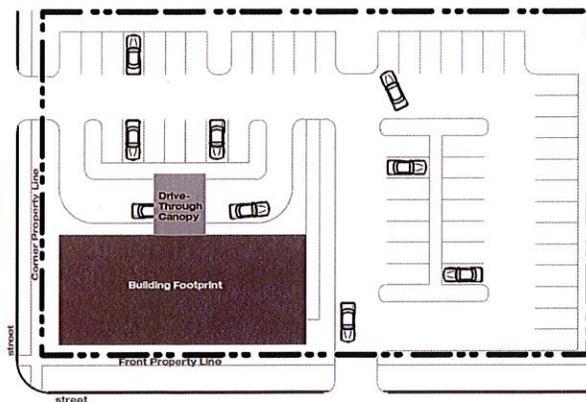


Figure 50-22.6-B: drive-through

## **D. Parking Structure**

Facades of parking structures visible from any public right-of-way shall meet the following requirements:

1. Vertical expression lines are required every 60 ft.
2. Ramped floors shall not be visible from the street. Garage openings shall be organized in stories. Story dimensions shall match adjacent buildings, measured between 9 ft. and 14 ft. floor to floor.
3. The street facing façade surface of the structure shall be articulated with the same level of detail and the same type of material as adjacent buildings. Brick masonry shall be the dominant surface material, occupying a minimum of 50% of the street facing façade surface.
4. Garage entries and exits shall be located on secondary streets or alleys.

## **50-22.7 Building Type Summary Table**

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Table 50-22.7-1: Building Type Summary Table

	Street Frontage			Side & Rear Setbacks			Buildable Area	
	Multiple Buildings Permitted on a Lot	Front Yard BTZ or setback (feet)	Corner Side Yard BTZ or setback (feet)	Minimum Coverage of Front Build-to Zone	Minimum Side Yard Setback (feet)	Minimum Rear Yard Setback (feet)	Minimum Landscape Area	Minimum Lot Width (feet)
Main Street Building I	No	0-15	0-15	<del>65%</del> 65% BTZ may exclude permitted driveway	0	5	10%	30
Main Street Building II	No	0-5	0-5	95%	0	5	0%	20
Main Street Building III	No	0-5	0-5	95%	0	<del>5</del> 0	0%	20
Corridor Building I	Yes	5-15	5-15	<del>65%</del> 75%	0	5	<del>15%</del> 10%	30
Corridor Building II	Yes	0-15	0-15	75%	0	5	15%	50
Lakefront Corridor Building	Yes	0-2.5 BTZ on Lakefront; 0-15 BTZ along Canal Park Drive	0-15	33% on street face; 65% on Lakefront	10% of lot width on each side or aggregate on one side	Not applicable	20%	50
Corridor Building III	No	0-5	0-5	85%	0	<del>5</del> 0	0%	50
Cottage Commercial I	Yes	5-20	5-20	60%	5	5	<del>20%</del> 10%	50
Cottage Commercial II	No	0-15	0-15	60%	0	5	20%	50
Iconic Building	Yes	5' Setback	5' Setback	Not applicable	5	5	20%	50

<sup>1</sup>Tower permitted for all Building Types Land Use Supervisor Approval

<sup>2</sup> 2 driveways may be permitted through ~~(special exception)~~ if frontage exceeds 200'

<sup>3</sup>15 stories or 188' as measured from W Superior Street; Permitted from Mesaba Ave to N 4th Ave E

<sup>4</sup>Ground floor transparency may be greater depending on base type.

<sup>5</sup> 2 driveways may be permitted through Land Use Supervisor Approval if frontage exceeds 300' (with or without alley)

Parking & Access		Building Height		Transparency		Entrance	Cap & Base Type		
Location of Parking Facilities (yard)	Number of Permitted Driveways	Minimum Principle Building Height (stories)	Maximum Principle Building Height	Minimum Front & Corner Side Façade Transparency per Story <sup>4</sup>		Blank Wall Limitations	Primary Entrance Locations	Allowed Cap Types <sup>1</sup>	Allowed Base Types
				Rear, <u>Single</u> or <u>double side aisle</u> permitted	1 driveway permitted per frontage <sup>2</sup>				
Rear	If no alley exists, 1 driveway permitted per frontage <sup>2</sup>	1	4 stories / 55'; 6 stories / 80' on Lake Avenue	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Arcade, Storefront	
Rear	If no alley exists, 1 driveway permitted per frontage <sup>2</sup>	1; 2 along Superior Street	6 stories / 80'; 9 stories / 116' on corner parcels only; 15 stories / 188' along Superior Street <sup>3</sup>	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof	Arcade, Storefront	
Rear, <u>Single</u> or <u>double side aisle</u> permitted	1 driveway permitted per frontage <sup>2</sup>	1	3 stories / 45'	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Stoop, Porch	
Rear	If no alley exists, 1 driveway permitted per frontage <sup>2</sup>	1	4 stories / 55'; 6 stories / 80' on Lake Avenue	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Stoop, Porch	
Must be screened from the Lakefront by building	1 driveway permitted per every 140' of frontage	1	4 stories / 55'	20%	Required only on street or Lakefront facades	Visible from street	Parapet, Flat Roof, Pitched Roof	Stoop or Porch on Lake or parking lot face; Storefront or Stoop on street face	
Rear	If no alley exists, 1 driveway permitted per frontage <sup>2</sup>	1	6 stories / 80'; 9 stories / 116' on corner parcels only; 15 stories / 188' along Superior Street <sup>3</sup>	20%	Required	Front or Corner Side Façade	Parapet, Flat Roof	Stoop	
Rear, <u>Single</u> or <u>double side aisle</u> permitted	1 driveway permitted per frontage <sup>2</sup>	1	2.5 stories / 33'	20%	Not required	Front or Corner Side Façade	Pitched Roof	Shopfront, Porch, Stoop	
Rear	If no alley exists, 1 driveway permitted per frontage <sup>2</sup>	1	2.5 stories / 33'	20%	Not required	Front or Corner Side Façade	Pitched Roof	Shopfront, Porch, Stoop	
Rear, <u>Single side aisle</u> permitted	1 driveway permitted per frontage <sup>2</sup>	1	4 stories / 55'	10%	Not required	Front or Corner Side Façade	Parapet, Flat Roof, Pitched Roof	Stoop	

## 50-22.8 Main Street Building I

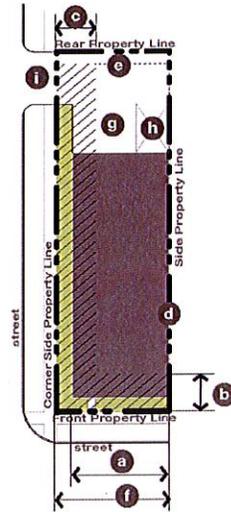


Figure 50-22.8(A): Building Siting.

A. Building Siting		B. Height	
<b>1. Street Frontage</b>		Minimum Overall Height	1 story (j)
Multiple Principal Buildings	Not permitted	Maximum Overall Height	2.5 stories / 37' along East Superior; 3 stories / 45' along London Road (k)
Front Build-to Zone Coverage	65% BTZ, may exclude permitted driveway (a)	Ground Story: Minimum Height	15' (l)
Occupation of Corner	Required	Maximum Height	24' (m)
Front BTZ	0' to 15' (b)	Upper Stories: Minimum Height	9' (n)
Corner BTZ	0' to 15' (c)	Maximum Height	14' (o)
<b>2. Buildable Area</b>		<b>C. Uses</b>	
Side Yard Setback	0' (d)	Ground Story	Refer to Section 3. Permitted Uses (p)
Rear Yard Setback	5' (e)	Upper Story	Refer to Section 3. Permitted Uses (q)
Minimum Lot Width	30' (f)	Parking within Building	Permitted in the rear of the ground floor and fully in any other floor (r)
Minimum Landscape Area	10%	Occupied Space	30' depth space required on ground floor facing Primary Street
<b>3. Parking Lot, Loading &amp; Access</b>			
Parking Lot Location	Rear yard, permitted in side yard (g)		
Loading Facility Location	Rear building façade or side (h)		
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (i)		

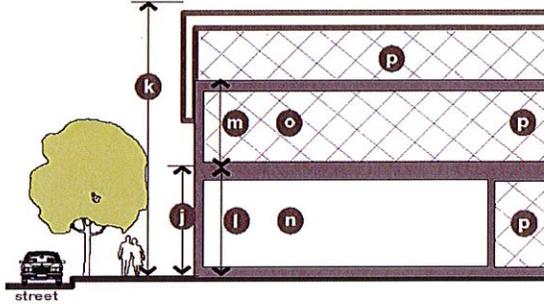


Figure 50-22.8(B): Height & Use Requirements.

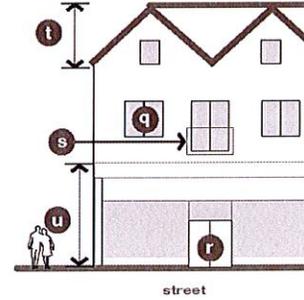


Figure 50-22.8(C): Façade Requirements.

D. Street Façade Requirements	
<b>1. Transparency</b> <span style="float: right;">(q)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of building <span style="float: right;">(r)</span>
Street Façades: Number of Entrances	$\frac{50'}{75'}$ 1 per $\frac{50'}{75'}$ of Front Façade
<b>3. Balconies (if provided)</b> <span style="float: right;">(s)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

E. Cap & Base Type Requirements	
Cap Type	Parapet, Flat Roof, Pitched Roof <span style="float: right;">(t)</span>
Tower	Permitted
Street Façade Base Type	Storefront <span style="float: right;">(u)</span>

## 50-22.9 Main Street Building II

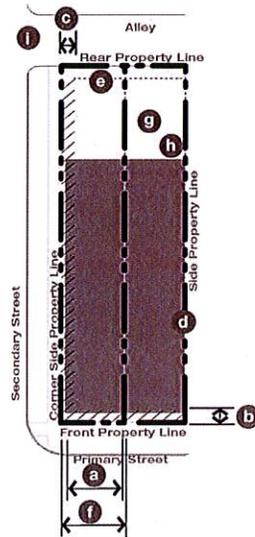


Figure 50-22.9(A): Building Siting.

A. Building Siting		B. Height	
<b>1. Street Frontage</b>		Minimum Overall Height	1 story (j)
Multiple Principal Buildings	Not permitted	Maximum Overall Height	4 stories / 55' (k)
Front Build-to Zone Coverage	95% (a)	Ground Story, Minimum Height	15' (l)
Occupation of Corner	Required	Maximum Height	24'
Front BTZ	0' to 5' (b)	Upper Stories, Minimum Height	9' (m)
Corner BTZ	0' to 5' (c)	Maximum Height	44'
<b>2. Buildable Area</b>		<b>Notes:</b>	
Side Yard Setback	0' (d)	If 20' or more in height, ground story shall count as 2 stories towards maximum building height.	
Rear Yard Setback	5' (e)		
Minimum Lot Width	20' (f)		
Minimum Landscape Area	0%		
<b>3. Parking Lot, Loading &amp; Access</b>		<b>C. Uses</b>	
Parking Lot Location	Rear yard (g)	Ground Story	Refer to Section 3. Permitted Uses (n)
Loading Facility Location	Rear building façade (h)	Upper Story	Refer to Section 3. Permitted Uses (o)
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (i)	Parking within Building	Permitted in the rear of the ground floor and fully in any other floor (p)
		Occupied Space	30' depth space required on ground floor facing Primary Street

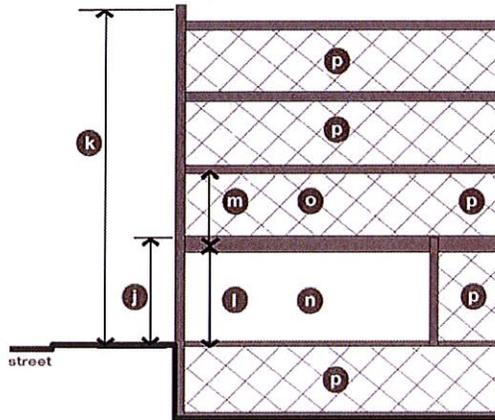


Figure 50-22.9(B): Height & Use Requirements.

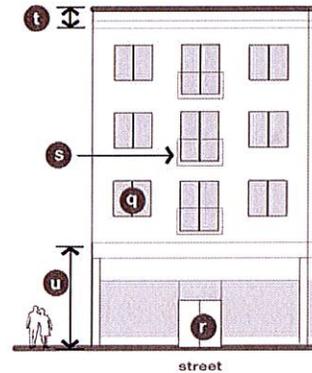


Figure 50-22.9(C): Façade Requirements.

**D. Street Façade Requirements**

<b>1. Transparency</b>		<b>q</b>
Minimum Transparency	20% per floor	
Blank Wall Limitations	Required	
<b>2. Building Entrance</b>		
Principal Entrance Location	Front or Corner Side Façade of building	<b>r</b>
Street Façades: Number of Entrances	1 per 75' of Front Façade	
<b>3. Balconies (if provided)</b>		<b>s</b>
Size	Minimum 3' deep and 5' wide	
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately	
Access to Balcony	Maximum one (1) dwelling unit	
Structure	Independently secured and unconnected to other balconies; or integral to the façade	

**E. Cap & Base Type Requirements**

Cap Type	Parapet, Flat Roof, Pitched Roof	<b>t</b>
Tower	Permitted	
Street Façade Base Type	Arcade, Storefront	<b>u</b>

**F. Façade Materials Requirements <sup>2</sup>**

Permitted Façade Materials	Durable, natural materials, such as stone, brick, stucco, metal, and concrete
Permitted Upper Story Façade Materials	Painted or Stained Wood
Required Materials	Minimum 60% masonry on each façade, red brick preferred
Materials to Avoid	Imitation materials intended to look like natural materials; Residential grade windows and doors on the ground story; painted brick or stone
Prohibited Materials on Façades	Concrete masonry units, utility or economy bricks more than 3" in height, untreated wood, and exterior insulation & finishing systems (EIFS)
Façade Colors	Historic Paint Palettes by any major brand, also on file at City Hall

Notes:

<sup>2</sup> Façade materials requirements apply only to the Canal Park area

# 50-22.10 Main Street Building III

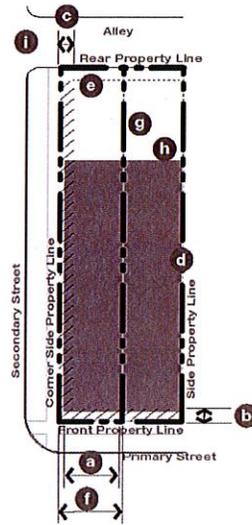


Figure 50-22.10(A) : Building Siting.

A. Building Siting		B. Height	
<b>1. Street Frontage</b>		Minimum Overall Height	1 story; 2 stories along Superior Street <b>(j)</b>
Multiple Principal Buildings	Not permitted	Maximum Overall Height	6 stories and 80'; 9 stories and 116' on all corner parcels except those on 2nd Street; 15 stories and 188' along Superior Street <sup>1,2</sup> <b>(k)</b>
Front Build-to-Zone Coverage	95% <b>(a)</b>	<del>Ground Story: Minimum Height 15'</del>	<b>(l)</b>
Occupation of Corner	Required	<del>Maximum Height 24'</del>	
Front BTZ	0' to 5' <b>(b)</b>	<del>Upper Stories: Minimum Height 0'</del>	<b>(m)</b>
Corner BTZ	0' to 5' <b>(c)</b>	<del>Maximum Height 14'</del>	
<b>2. Buildable Area</b>		Notes:	
Side Yard Setback	0' <b>(d)</b>	<sup>1</sup> 15 Stories/188' height shall be measured from Superior Street	
Rear Yard Setback	0' <b>(e)</b>	<sup>2</sup> 15 Stories permitted from Mesaba Ave to N 4th Ave E on W Superior Street	
Minimum Lot Width	20' <b>(f)</b>	<sup>3</sup> If 20' or more in height, ground story shall count as 2 stories towards maximum building height	
Minimum Landscape Area	0%		
<b>3. Parking Lot, Loading &amp; Access</b>		<b>C. Uses</b>	
Parking Lot Location	Rear yard <b>(g)</b>	Ground Story	Refer to Section 3. Permitted Uses <b>(n)</b>
Loading Facility Location	Rear building façade <b>(h)</b>	Upper Story	Refer to Section 3. Permitted Uses <b>(o)</b>
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage <b>(i)</b>	Parking within Building	Permitted in the rear of all floors and fully in any basement <b>(p)</b>
	<u>2 driveways may be permitted through Land Use Supervisor Approval if frontage exceeds 300'</u>		

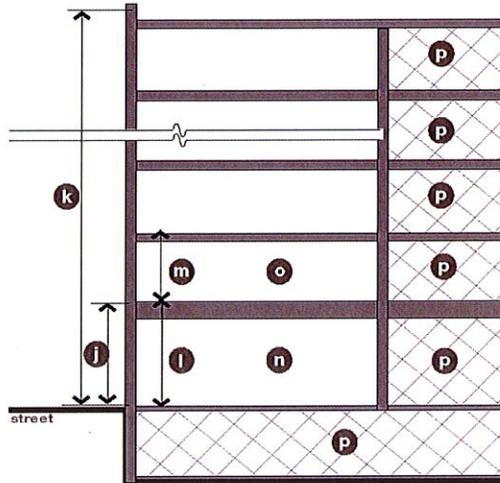


Figure 50-22.10(B): Height & Use Requirements.

**30' depth and 30' height required facing Primary Streets; 30' depth required on ground floor facing Secondary Streets**  
**30' depth space required on all floors facing Primary Streets and on ground floor facing Secondary Streets**

Occupied Space

**D. Street Façade Requirements**

<b>1. Transparency</b> <span style="float: right;">(q)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of building <span style="float: right;">(r)</span>
Street Façades: Number of Entrances	1 per 75' of Front Façade
<b>3. Balconies</b> <span style="float: right;">(s)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

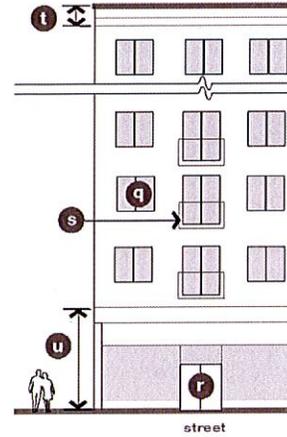


Figure 50-22.10(C): Façade Requirements.

**E. Cap & Base Type Requirements**

Cap Type	Parapet, Flat Roof <span style="float: right;">(t)</span>
Tower	Permitted
Street Façade Base Type	Arcade, Storefront <span style="float: right;">(u)</span>

# 50-22.11 Corridor Building I

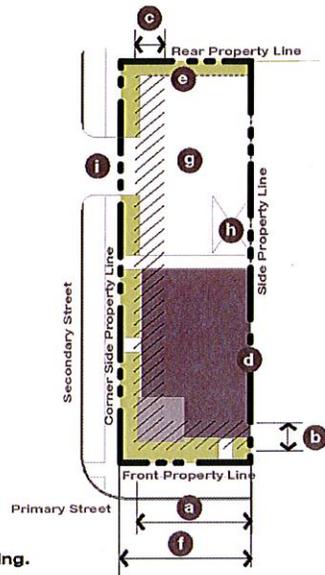


Figure 50-22.11(A): Building Siting.

A. Building Siting	
<b>1. Street Frontage</b>	
Multiple Principal Buildings	Permitted
Front Build-to Zone Coverage	<del>65%</del> 75% <span style="float: right;">(a)</span>
Occupation of Corner	Required
Front BTZ	5' to 15' <span style="float: right;">(b)</span>
Corner B'TZ	5' to 15' <span style="float: right;">(c)</span>
<b>2. Buildable Area</b>	
Side Yard Setback	0' <span style="float: right;">(d)</span>
Rear Yard Setback	5' <span style="float: right;">(e)</span>
Minimum Lot Width	30' <span style="float: right;">(f)</span>
Minimum Landscape Area	<del>15%</del> 10%
<b>3. Parking Lot, Loading &amp; Access</b>	
Parking Lot Location	Rear yard; Single aisle permitted in side yard <span style="float: right;">(g)</span> <i>or double</i>
Loading Facility Location	Rear building façade <span style="float: right;">(h)</span>
Access	<i>or side</i> 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' <span style="float: right;">(i)</span>

B. Height	
Minimum Overall Height	1 story <span style="float: right;">(j)</span>
Maximum Overall Height	3 stories / 45' <span style="float: right;">(k)</span>
Ground Story: Minimum Height 15' <span style="float: right;">(l)</span>	
Maximum Height 24'	
Upper Stories: Minimum Height 9' <span style="float: right;">(m)</span>	
Maximum Height 14'	

**Notes:**

If 20' or more in height, ground story shall count as 2 stories towards maximum building height.

C. Uses	
Ground Story	Refer to Section 3. Permitted Uses <span style="float: right;">(n)</span>
Upper Story	Refer to Section 3. Permitted Uses <span style="float: right;">(o)</span>
Parking within Building	Permitted in the rear of the ground floor and fully in any other floor <span style="float: right;">(p)</span>
Occupied Space	30' depth space required on ground floor facing Primary Street

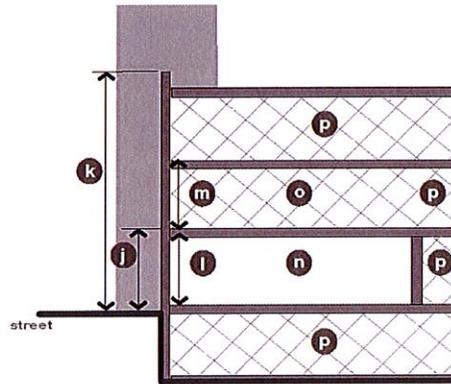


Figure 50-22.11(B): Height & Use Requirements.

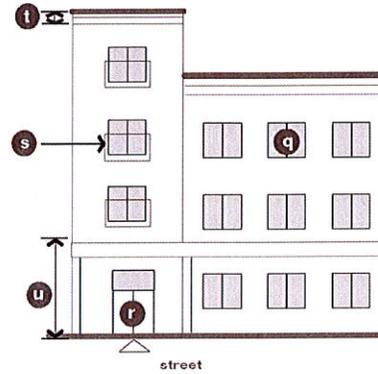


Figure 50-22.11(C): Façade Requirements.

D. Street Façade Requirements	
<b>1. Transparency</b> <span style="float: right;">(q)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of building <span style="float: right;">(r)</span>
Street Façades: Number of Entrances	$\frac{50'}{75'}$ 1 per $\frac{50'}{75'}$ of Front Façade
<b>3. Balconies (if provided)</b> <span style="float: right;">(s)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

E. Cap & Base Type Requirements	
Cap Type	Parapet, Flat Roof, Pitched Roof <span style="float: right;">(t)</span>
Tower	Permitted
Street Façade Base Type	Stoop, Porch <sup>2</sup> <span style="float: right;">(u)</span>
Notes:	
<sup>2</sup> Porch, Stoop, or stairs may encroach to within 2' of the property line	

## 50-22.12 Corridor Building II

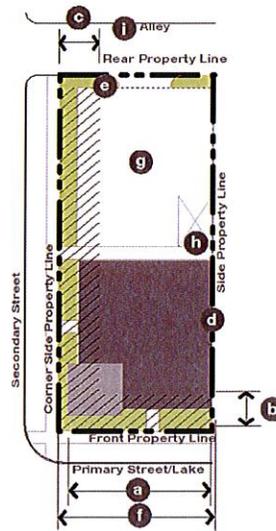


Figure 50-22.12(A): Building Siting.

A. Building Siting		B. Height	
<b>1. Street Frontage</b>		Minimum Overall Height	1 story (j)
Multiple Principal Buildings	Permitted	Maximum Overall Height	4 stories / 55' (k)
Front Build-to Zone Coverage	75% (a)	<del>Ground Story: Minimum Height 15'</del>	(l)
Occupation of Corner	Required	<del>Maximum Height 24'</del>	
Front BTZ	0' to 15' (b)	<del>Upper Stories: Minimum Height 0'</del>	(m)
Corner BTZ	0' to 15' (c)	<del>Maximum Height 14'</del>	
<b>2. Buildable Area</b>		<b>Notes:</b>	
Side Yard Setback	0' (d)	If 20' or more in height, ground story shall count as 2 stories towards maximum building height.	
Rear Yard Setback	5' (e)		
Minimum Lot Width	50' (f)		
Minimum Landscape Area	15%		
<b>3. Parking Lot, Loading &amp; Access</b>		<b>C. Uses</b>	
Parking Lot Location	Rear yard (g)	Ground Story	Refer to Section 3. Permitted Uses (n)
Loading Facility Location	Rear building façade (h)	Upper Story	Refer to Section 3. Permitted Uses (o)
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (i)	Parking within Building	Permitted in the rear of the ground floor and fully in any other floor (p)
		Occupied Space	30' depth space required on ground floor facing Primary Street

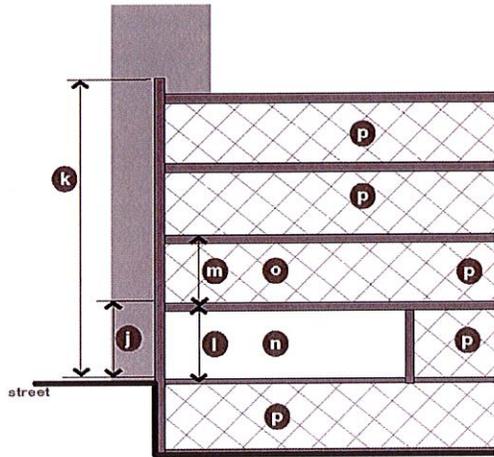


Figure 50-22.12(B): Height & Use Requirements.

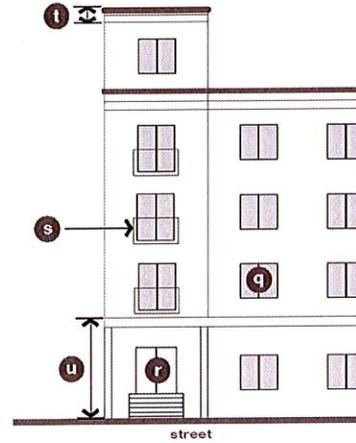


Figure 50-22.12(C): Façade Requirements.

#### D. Street Façade Requirements

<b>1. Transparency</b>		<b>q</b>
Minimum Transparency	20% per floor	
Blank Wall Limitations	Required	
<b>2. Building Entrance</b>		
Principal Entrance Location	Front or Corner Side Façade of building	<b>r</b>
Street Façades: Number of Entrances	1 per 75' of Front Façade	
<b>3. Balconies (if provided)</b>		<b>s</b>
Size	Minimum 3' deep and 5' wide	
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately	
Access to Balcony	Maximum one (1) dwelling unit	
Structure	Independently secured and unconnected to other balconies; or integral to the façade	

#### E. Cap & Base Type Requirements

Cap Type	Parapet, Flat Roof, Pitched Roof	<b>t</b>
Tower	Permitted	
Street Façade Base Type	Stoop, Porch	<b>u</b>

#### F. Façade Materials Requirements <sup>2</sup>

Permitted Façade Materials	Durable, natural materials, such as stone, brick, stucco, metal, and concrete
Permitted Upper Story Façade Materials	Painted or Stained Wood
Required Materials	Minimum 60% masonry on each façade, red brick preferred
Materials to Avoid	Imitation materials intended to look like natural materials; Residential grade windows and doors on the ground story; painted brick or stone
Prohibited Materials on Façades	Concrete masonry units, utility or economy bricks more than 3" in height, untreated wood, and exterior insulation & finishing systems (EIFS)
Façade Colors	Historic Paint Palettes by any major brand, also on file at City Hall

Notes:

<sup>2</sup> Façade materials requirements apply only to the Canal Park area

## 50-22.13 Lakefront Corridor Building

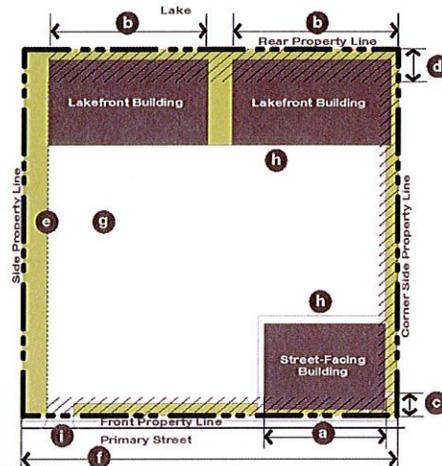


Figure 50-22.13(A): Building Siting.

A. Building Siting	
<b>1. Street &amp; Lake Frontage</b>	
Multiple Principal Buildings	Permitted
Build-to Zone Coverage:	
Front & Corner BTZ on Street Face	33% <b>(a)</b>
Rear BTZ on Lakefront	65% <b>(b)</b>
Occupation of Corner	Required
Build-to Zone:	
Front & Corner BTZ on Street Face	0-15' <b>(c)</b>
Rear BTZ on Lakefront	0-25' <b>(d)</b>
<b>2. Buildable Area</b>	
Side Yard Setback	20' <b>(e)</b>
Rear Yard Setback	Not applicable
Lakefront Access Easement	Minimum 30' wide easement from Canal Park Drive to the Lakewalk <sup>1</sup>
Minimum Lot Width	50' <b>(f)</b>
Minimum Landscape Area	20%
<b>3. Parking Lot, Loading &amp; Access</b>	
Parking Lot Location	Must be screened from the Lakefront by building <b>(g)</b>
Loading Facility Location	Not permitted on Street or Lakefront Façades <b>(h)</b>

Access	1 driveway permitted per every 140' of street frontage <b>(i)</b>
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Notes:

<sup>1</sup> Access easements are required at the terminus of any street with Canal Park Drive.

B. Height	
Minimum Overall Height	1 story <b>(j)</b>
Maximum Overall Height	4 stories / 55' <b>(k)</b>
Ground Story: Minimum Height	15' <b>(l)</b>
Maximum Height	24'
Upper Stories: Minimum Height	0' <b>(m)</b>
Maximum Height	44'

Notes:

<sup>1</sup> If 20' or more in height, ground story shall count as 2 stories towards minimum building height.

C. Uses	
Ground Story	Refer to Section 3. Permitted Uses <b>(n)</b>
Upper Story	Refer to Section 3. Permitted Uses <b>(o)</b>
Parking within Building	Permitted in the rear of all floors and fully in any basement <b>(p)</b>
Occupied Space	30' depth space facing Primary Street or space on front façade

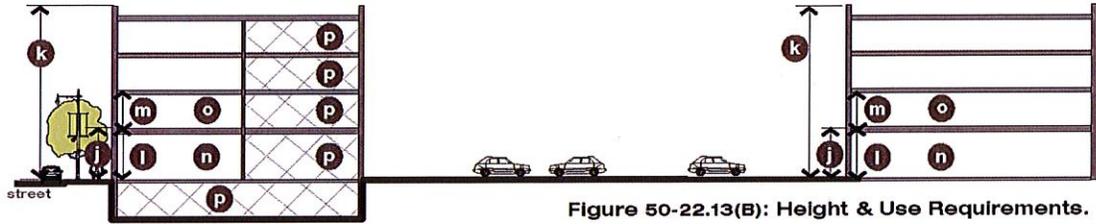


Figure 50-22.13(B): Height & Use Requirements.

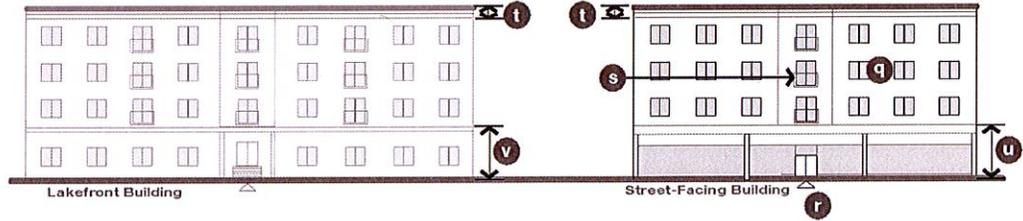


Figure 50-22.13(C): Facade Requirements.

<b>D. Street, Lakefront, and Parking Lot Façade Requirements</b>	
<b>1. Transparency</b> <span style="float: right;">(q)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required only on Street and Lakefront Façades
<b>2. Building Entrance</b>	
Principal Entrance Location	Visible from Street <span style="float: right;">(r)</span>
Number of Entrances:	
Street Façade	1 per 100' of Front Façade
Lakefront Façade	1 per 150' of Front Façade
<b>3. Balconies (if provided)</b> <span style="float: right;">(s)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of front & corner side façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the façade

<b>E. Cap &amp; Base Type Requirements</b>	
Cap Type	Parapet, Flat Roof, Pitched Roof <span style="float: right;">(t)</span>
Tower	Permitted
Street Façade Base Type	Storefront, Stoop <span style="float: right;">(u)</span>
Parking Lot Façade Base Type Visible from Street	Stoop, Porch <span style="float: right;">(v)</span>
Lakefront Façade Base Type	Stoop, Porch
<b>F. Façade Materials Requirements</b>	
Permitted Façade Materials	Durable, natural materials, such as stone, brick, stucco, metal, and concrete
Permitted Upper Story Façade Materials	Painted or Stained Wood
Required Materials	Minimum 60% masonry on each façade, red brick preferred
Materials to Avoid	Imitation materials intended to look like natural materials; Residential grade windows and doors on the ground story; painted brick or stone
Prohibited Materials on Façades	Concrete masonry units, utility or economy bricks more than 3" in height, untreated wood, and exterior insulation & finishing systems (EIFS)
Façade Colors	Historic Paint Palettes by any major brand, also on file at City Hall

# 50-22.14 Corridor Building III

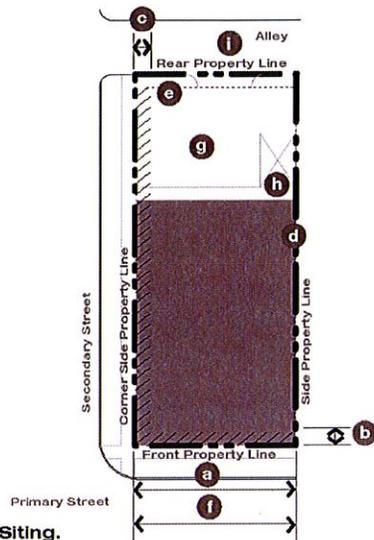
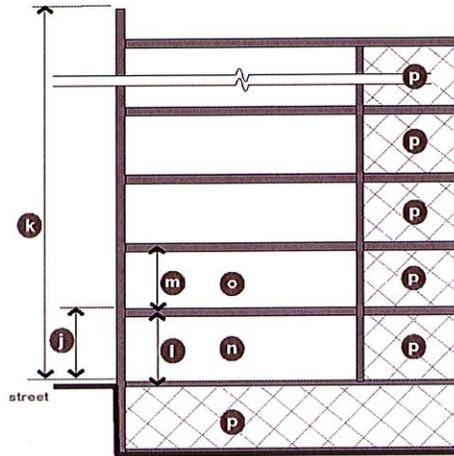


Figure 50-22.14(A): Building Siting.

A. Building Siting	
<b>1. Street Frontage</b>	
Multiple Principal Buildings	Not permitted
Front Build-to Zone Coverage	85% <b>(a)</b>
Occupation of Corner	Required
Front BTZ	0' to 5' <b>(b)</b>
Corner BTZ	0' to 5' <b>(c)</b>
<b>2. Buildable Area</b>	
Side Yard Setback	0' <b>(d)</b>
Rear Yard Setback	0' <b>(e)</b>
Minimum Lot Width	50' <b>(f)</b>
Minimum Landscape Area	0%
<b>3. Parking Lot, Loading &amp; Access</b>	
Parking Lot Location	Rear Yard <b>(g)</b>
Loading Facility Location	Rear Building Façade <b>(h)</b>
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage <b>(i)</b>
<u>2 driveways may be permitted through Land Use Supervisor Approval if frontage exceeds 300'</u>	

B. Height	
Minimum Overall Height	1 story <b>(j)</b>
Maximum Overall Height	6 stories / 80'; 9 stories and 116' on corner parcels only; 15 stories / 188' along Superior street <sup>1,2</sup> <b>(k)</b>
<u>Ground Story: Minimum Height 15'</u>	
<u>Maximum Height <sup>1</sup> 24'</u> <b>(l)</b>	
<u>Upper Stories: Minimum Height 9'</u>	
<u>Maximum Height 14'</u> <b>(m)</b>	
Notes:	
<sup>1</sup> 15 Stories/188' height shall be measured from Superior Street	
<sup>2</sup> 15 Stories permitted from Mesaba Ave to N 4th Ave E on W Superior Street	
<u>If 20' or more in height, Ground Story shall count as 2 Stories towards maximum building height.</u>	

C. Uses	
Ground Story	Refer to Section 3. Permitted Uses <b>(n)</b>
Upper Story	Refer to Section 3. Permitted Uses <b>(o)</b>
Parking within Building	Permitted in the rear of all floors and fully in any basement <b>(p)</b>



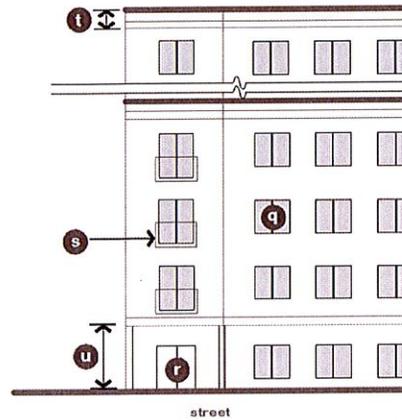
**Figure 50-22.14(B): Height & Use Requirements.**

30' depth and 30' height required facing Primary Streets; 30' depth required on ground floor facing Secondary Streets

Occupied Space 30' depth space required on all floors facing Primary Streets and on ground floor facing Secondary Streets

**D. Street Façade Requirements**

<b>1. Transparency</b> <span style="float: right;">(q)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of Building <span style="float: right;">(r)</span>
Street Façades: Number of Entrances	1 per 75' of Front Façade
<b>3. Balconies (if provided)</b> <span style="float: right;">(s)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of Front & Corner Side Façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit



**Figure 50-22.14(C): Façade Requirements.**

Structure	Independently secured and unconnected to other balconies; or integral to the Façade
<b>E. Cap &amp; Base Type Requirements</b>	
Cap Type	Parapet, Flat Roof <span style="float: right;">(t)</span>
Tower	Permitted
Street Façade Base Type	Stoop <span style="float: right;">(u)</span>

# 50-22.15 Cottage Commercial I

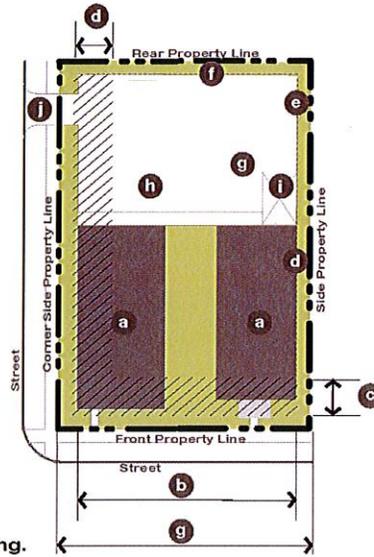


Figure 50-22.15(A): Building Siting.

A. Building Siting		
<b>1. Street Frontage</b>		
Multiple Principal Buildings	Permitted <sup>1</sup>	(a)
Front Build-to-Zone Coverage	60%	(b)
Occupation of Corner	Required	
Front BTZ	5' to 20'	(c)
Corner BTZ	5' to 20'	(d)
<b>2. Buildable Area</b>		
Side Yard Setback	5'	(e)
Rear Yard Setback	5'	(f)
Minimum Lot Width	50'	(g)
Minimum Landscape Area	<del>20%</del> 10%	
<b>3. Parking Lot, Loading &amp; Access</b>		
Parking Lot Location	Rear Yard; Single Side aisle permitted	(h) or double
Loading Facility Location	Rear Building Façade or Side	(i)
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200'	(j)

**Notes:**

<sup>1</sup> Each principal building shall have a width of less than 75' and meet the applicable requirements for the Building Type included

B. Height		
Minimum Overall Height	1 story	(k)
Maximum Overall Height	2.5 stories / 33'	(l)
Ground Story: Minimum Height	13'	(m)
	Maximum Height	24'
Upper Stories: Minimum Height	9'	(n)
	Maximum Height	14'
<b>Notes</b>		
If 20' or more in height, Ground Story shall count as 2 Stories towards maximum building height.		
C. Uses		
Ground Story	Refer to Section 3. Permitted Uses	(o)
Upper Story	Refer to Section 3. Permitted Uses	(p)
Parking within Building	Permitted in the Rear of all Floors and fully in any Basement	(q)
Occupied Space	30' depth space facing Primary Street or space on front façade	

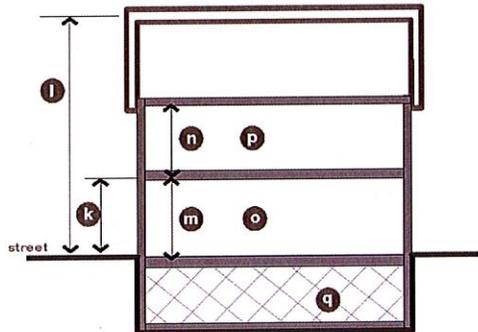


Figure 50-20.15(B): Height & Use Requirements.

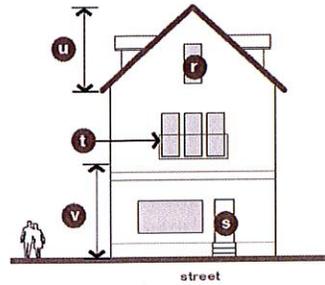


Figure 50-22.15(C): Façade Requirements.

#### D. Street Façade Requirements

<b>1. Transparency</b> <span style="float: right;">(l)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of building <span style="float: right;">(s)</span>
Street Façades: Number of Entrances	Not required
<b>3. Balconies (if provided)</b> <span style="float: right;">(t)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of Front & Corner Side Façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the Façade

#### E. Cap & Base Type Requirements

Cap Type	Pitched Roof <span style="float: right;">(u)</span>
Tower	Permitted
Street Façade Base Type	Shopfront, Porch, Stoop <sup>1</sup> <span style="float: right;">(v)</span>

Notes:

<sup>1</sup> Porch, Stoop, or stairs may encroach to within 2' of the property line

## 50-22.16 Cottage Commercial II

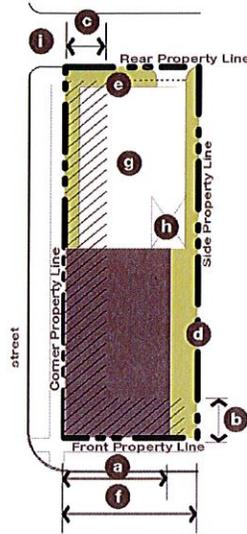


Figure 50-22.16(A): Building Siting.

A. Building Siting	
<b>1. Street Frontage</b>	
Multiple Principal Buildings	Not permitted
Front Build-to Zone Coverage	60% <span style="float: right;">(a)</span>
Occupation of Corner	Required
Front BTZ	0' to 15' <span style="float: right;">(b)</span>
Corner BTZ	0' to 15' <span style="float: right;">(c)</span>
<b>2. Buildable Area</b>	
Side Yard Setback	0' <span style="float: right;">(d)</span>
Rear Yard Setback	5' <span style="float: right;">(e)</span>
Minimum Lot Width	50' <span style="float: right;">(f)</span>
Minimum Landscape Area	20%
<b>3. Parking Lot, Loading &amp; Access</b>	
Parking Lot Location	Rear Yard <span style="float: right;">(g)</span>
Loading Facility Location	Rear Building Façade <span style="float: right;">(h)</span>
Access	No driveway permitted if alley access is available; If no alley exists, 1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' <span style="float: right;">(i)</span>

B. Height	
Minimum Overall Height	1 story <span style="float: right;">(j)</span>
Maximum Overall Height	2.5 stories / 33' <span style="float: right;">(k)</span>
<b>Ground Story - Minimum Height - 15'</b>	
<b>Maximum Height - 24'</b> <span style="float: right;">(l)</span>	
<b>Upper Stories - Minimum Height - 0'</b>	
<b>Maximum Height - 14'</b> <span style="float: right;">(m)</span>	

**Notes:**

If 20' or more in height, Ground Story shall count as 2 stories towards maximum building height.

C. Uses	
Ground Story	Refer to Section 3. Permitted Uses <span style="float: right;">(n)</span>
Upper Story	Refer to Section 3. Permitted Uses <span style="float: right;">(o)</span>
Parking within Building	Permitted in the Rear of all Floors and fully in any Basement <span style="float: right;">(p)</span>
Occupied Space	30' depth space facing Primary Street or space on front façade

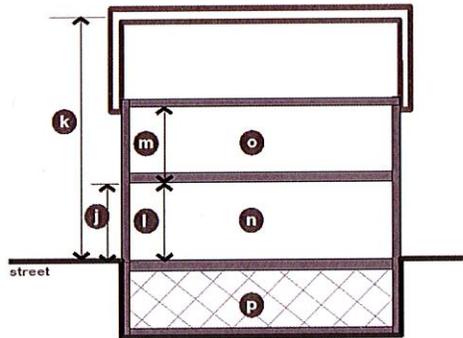


Figure 50-22.16(B): Height & Use Requirements.

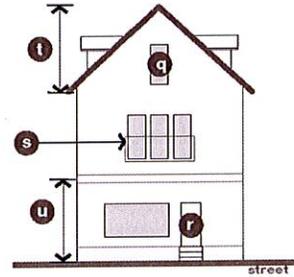


Figure 50-22.16(C): Façade Requirements.

#### D. Street Façade Requirements

<b>1. Transparency</b> <span style="float: right;">(q)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of Building <span style="float: right;">(r)</span>
Street Façades: Number of Entrances	Not required
<b>3. Balconies (if provided)</b> <span style="float: right;">(s)</span>	
Size	Minimum 3' deep and 5' wide
Façade Coverage	Maximum 30% of Front & Corner Side Façades, calculated separately
Access to Balcony	Maximum one (1) dwelling unit
Structure	Independently secured and unconnected to other balconies; or integral to the Façade

#### E. Cap & Base Type Requirements

Cap Type	Pitched Roof <span style="float: right;">(t)</span>
Tower	Permitted
Street Façade Base Type	Shopfront, Porch, Stoop <span style="float: right;">(u)</span>

## 50-22.17 Iconic Building

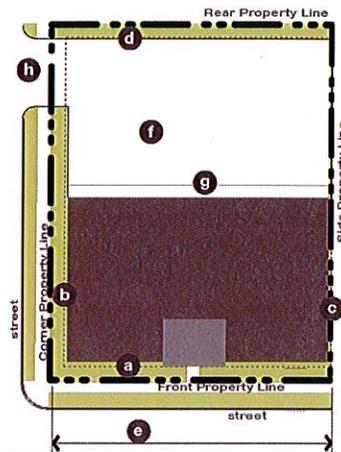


Figure 50-22.17(A): Building Siting.

A. Building Siting		B. Height	
<b>1. Street Frontage</b>		Minimum Overall Height	1 story (i)
Multiple Principal Buildings	Permitted	Maximum Overall Height	4 stories / 45' (j)
Front Build-to-Zone Coverage	Not Applicable	Ground Story: Minimum Height	9' (k)
Occupation of Corner	Not required	Maximum Height	30'
Front Setback	5' (a)	Upper Stories: Minimum Height	9' (l)
Corner Setback	5' (b)	Maximum Height	14'
<b>2. Buildable Area</b>		<b>Notes:</b>	
Side Yard Setback	5' (c)	If 20' or more in height, Ground Story shall count as 2 stories towards maximum building height.	
Rear Yard Setback	5' (d)		
Minimum Lot Width	50' (e)	<b>C. Uses</b>	
Minimum Landscape Area	20%	Ground & Upper Stories	Only Civic, Institutional, Infrastructure, and Open Space and Recreation uses are permitted in the Iconic Building Type (see Section 3. Permitted Uses). (m)
<b>3. Parking Lot, Loading &amp; Access</b>		Parking within Building	Permitted in the Rear of all Floors and fully in any Basement
Parking Lot Location	Rear Yard; Single aisle permitted in Side Yard (f)	Occupied Space	30' depth space facing Primary Street or space on front façade
Loading Facility Location	Rear Building Façade (g)		
Access	1 driveway permitted per frontage; 2 driveways may be permitted through [special exception] if frontage exceeds 200' (h)		

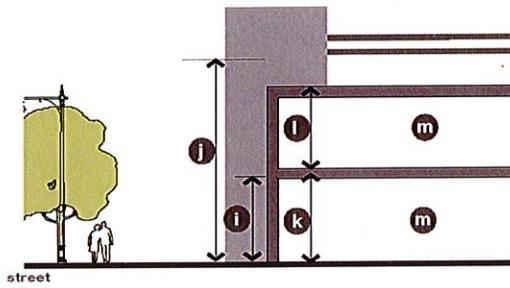


Figure 50-22.17(B): Height & Use Requirements.

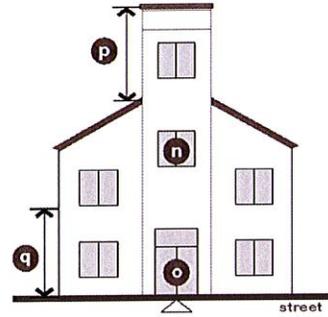


Figure 50-22.17(C): Facade Requirements.

D. Street Façade Requirements	
<b>1. Transparency</b> <span style="float: right;">(n)</span>	
Minimum Transparency	20% per floor
Blank Wall Limitations	Required
<b>2. Building Entrance</b>	
Principal Entrance Location	Front or Corner Side Façade of Building <span style="float: right;">(o)</span>
Street Façades: Number of Entrances	Not required

E. Cap & Base Type Requirements	
Cap Type <sup>2</sup>	Parapet, Pitched Roof, Flat Roof <span style="float: right;">(p)</span>
Tower	Permitted
Street Façade Base Type	Stoop <span style="float: right;">(q)</span>
Notes:	
<sup>2</sup> Other cap types not listed here may be approved through a [special exception] (see Section XX)	

Section 3. That this ordinance shall take effect 30 days after its passage and publication.

Approved to as form:



Anna Johnson

Attorney

PLANNING SR 2/13/14

STATEMENT OF PURPOSE: This ordinance implements text amendments to chapter 50 of the City Code, known as the Unified Development Chapter (UDC). This ordinance is one of three ordinances being proposed. One ordinance is related to simple amendments to the form district development standards, one is related to changes to the flood plain and flood hazard management standards requested by the Department of Natural Resources, and the third ordinance is related to amendments to the current development standards requested by the staff of the Planning Division.

The proposed changes have been discussed at a public information meeting on December 2, 2013, and also at published public hearings at the December 10, 2013 and January 14 and February 11, 2014 Regular Planning Commission meetings. After the public hearing on February 11, 2014, the Duluth Planning Commission made a motion to approve the recommended text amendments to the UDC passed with a vote of 8 yeas, 0 nays and 0 abstentions, with 1 Planning Commission member being absent from the meeting.

The Planning Division intends to submit one more UDC change in the near future concerning the platting process. In addition, near the end of this year, the Engineering division will be asking for some

modification of the storm water management language. Other than those two items, the Planning Division does not anticipate any additional text changes to the UDC in the next 12 to 16 months.

Action Deadline: Not Applicable

PL: 13-146



**City of Duluth  
Planning Division**

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## MEMORANDUM

**DATE:** February 5, 2014  
**TO:** Planning Commissioners  
**FROM:** Steven Robertson, Senior Planner  
**SUBJECT:** Proposed Text Amendments to the UDC

The Planning Division is submitting recommendations for text changes to the Unified Development Chapter (UDC). Staff recommend that the Planning Commission review the changes and, if appropriate, make a motion to recommend that the City Council approve the text amendments. The proposed changes have been discussed at a public information meeting on December 2, 2013, and also at published public hearings at the December 10 and January 14 Regular Planning Commission meetings.

The Planning Division intends to submit one more UDC change in the near future concerning the quick platting process. In addition, near the end of this year the Engineering division will be asking for some modification of the storm water management language. Other than those two items, the Planning Division does not anticipate any additional changes in the next 12 to 16 months.

For ease of discussion, staff have segregated the UDC changes into three draft ordinances: one for proposed form district changes, one for requested Department of Natural Resources changes (required to bring the city into compliance with minimum requirements for the Flood Insurance Program), and one for changes that the Planning Division are recommending to improve and clarify existing language.

### **Brief Summary of Form District Changes**

#### Section 1:

-Label images to more clearly identify different form district building types

#### Section 2:

- Move language that better defines form district building types to more appropriate location.
- Add clarifying sentence to Iconic Buildings.
- Add language to better explain how to calculate height in form districts (this language comes from Land Use Supervisor Interpretations 13-001 and 13-002).
- Reduce minimum build to zone for Main Street I and Corridor Building I to 65% (from 85% /75%)
- Reduce minimum rear yard setback to 0 feet for Main Street III and Corridor III (from 5 feet)
- Reduce minimum landscape for Corridor Building I and Cottage Commercial Building I to 10% (from 15% and 20% respectively)
- Add “double side aisle parking” to Corridor Building I and Cottage Commercial Building I (currently allowed rear or single side aisle parking).
- Add “single, or double side aisle parking” in Main Street I (currently rear only)
- Allow 2 driveways if 300 feet of frontage for Main Street III and Corridor III (currently 1 driveway allowed if no alley).
- Increase street façade entrances required from 1 per 75 feet to 1 per 50 feet for Main Street Building I and Corridor Building I
- Remove ground and upper story floor to ceiling restrictions for all form district building types.

## **Brief Summary of DNR Requested Flood Plain and Flood Hazard Changes**

### Section 1:

- List all the specific maps impacting Duluth.
- Maps to be stored in the Land Use Supervisor's Office.
- Clarify the difference in flood way, flood fringe, and general flood plain.
- Clarify allowed uses and requirements in flood way (also added clarification on road-ready recreational vehicles and sand/gravel operations). Clarify special uses (also added clarification on floodproofing accessory structures).
- Clarify allowed uses and requirements in flood fringe (also added note on securing manufactured homes and recreational vehicles).
- Minor edit change to general flood plain.
- Add language in general flood plains that if a property owner does not want to do a flood way/flood fringe evaluation, they can presume their land is in the flood way (note, this is a city staff addition, not DNR requested).
- Add language for new subdivisions in flood plains.
- Add language for on-site water systems and on-site sewage systems (septic tanks).
- Add language limiting future amendment process (note that this new language requires DNR approval before amending this specific section; city staff added clarification that this restriction also applies only to changing the official map relating to flood plain designation).
- Change table 50-18.1.D-1 to add footnote clarifying when lowest floor elevation of 3 feet is not necessary (note, this is a city staff addition for clarity, not DNR requested).

### Section 2:

- Revise variance criteria. Also, changes require advanced 10 day notice to flood plain variances sent to DNR and added additional conditions to variances (note that standard for most variances is "practical difficulties or exceptional or undue hardship," whereas the variance from flood plain regulation is "exceptional hardship").
- Added clarity on how to calculate assessed market value of variance for reconstruction of non-conforming structure

### Section 3:

- Add language for flood plain permits.

### Section 4:

- Replace non-conforming language for flood hazard areas.
- Added clarity on how to calculate assessed market value of non-conforming structure (note that standard is being changed to 60%, from 50%, for non-flood hazard related non-conformities).

### Sections 5 to 11:

- Add/amended several definitions required to conform to DNR/FEMA standards.

## **Brief Summary of Clarifying Text Amendments**

### Section 1:

-Added language to require a community meeting with neighboring citizens before submitting an R-P application (note: change made by the Planning Commission at the 2/11/14 meeting)

### Section 2:

-Reduce front yard setback from 25 to 20 feet in the MU-N District (to support the option of more pedestrian friendly development)

### Section 3:

-Increase maximum height allowed for non-residential structures from 45 to 60 feet in the MU-W zone district.

### Section 4:

-Added language to require a community meeting with neighboring citizens before submitting an MU-P application (note: change made by the Planning Commission at the 2/11/14 meeting)

### Section 5:

-Clarify primary streets for the Higher Education Overlay District.

### Section 6:

-Remove and rewrite the use table legend (the current legend is blocky and consumes too much of the table).

-Add language in the use table to more clearly indicate when a Planning Commission Review may be required (in the past some citizens have confused staff "Plan Review" done administratively with "Planning Commission Review" done at a public hearing).

-Add language in the use table to more clearly indicate when additional standards from the Higher Education Overlay District may be required.

-Add Manufactured Home Park as special use in R-1, R-2, and MU-N, and permitted in R-P.

-Add multi family as permitted use in R-P.

-Add large day care facility as permitted use in R-P.

-Add veterinarian or animal clinic as a permitted use in the F-1, F-3, and F-6 zones.

-Remove University and College, Bank, Personal Service and Repair Larger, and Parking structure, removed from R-P (currently listed as Interim Uses).

-Remove distinction between restaurants with drive-throughs and without drive-throughs (note: additional requirements added to the use specific standards to reduce conflict between land uses. Similar language being added for retail and banks when located in MU-N).

-Changed restaurant, small, from a permitted to a special use in the R-P and MU-P zone districts (note: change made by the Planning Commission at the 2/11/14 meeting)

-Change name of Tourist or Trailer Camp to Recreational Vehicle Park (DNR/FEMA term).

-Add building types allowed in form districts to the use table (for easier citizen access).

### Section 7:

-Add standards for manufactured home parks. (note: DNR/FEMA required standards for flood plain and hazard management).

### Section 8:

-Add standards for Recreational Vehicle Park (and remove tourist and trailer camp).

-Remove distinction between restaurants with drive throughs and without drive-throughs and add standards.

Section 9:

-Clarify where zoning encroachments are allowed as shown on Table 50-21.3.1. Also clean up language related to exception to building height limits (religious assembly or ornamental spires and towers in form districts).

Section 10:

-Amend the parking calculation on Table 50-24.1 as follows: 1) clarify that the base requirement may be modified to 30% less or 50% more, 2) add uses that were overlooked from 50-19 (bus or rail transit station, convention and event center, data center, filling station, grocery store, personal service or repair, preschool, and vacation dwelling unit, 3) change name of "automobile filling station" to "filling station" and "personal service or repair not listed" to "personal service or repair" to match 50-19, 4) eliminate distinction between restaurant with drive through and restaurant that doesn't have drive-through, and 5) change calculation to a per 1,000 square feet where possible/appropriate.

Section 11:

-Clarify where parking is allowed on a lot on table 50-24.3.  
-Add option to create pedestrian walkway in parking area to allow property owner to place more parking spaces in the front yard than normally allowed (50% versus 60%).

Section 12:

-Add additional parking option (75 degrees) and reduce minimum required width of parking aisle (from 25 feet for two-way to 24 feet) on table 50-24.7. Added clarification that parking and driveway entrances must meet design standards of the City Engineer.

Section 13:

-Clarify when tree canopy coverage is required.

Section 14:

-Add clarification for size limitation on the size of general, non-commercial signs (note that prior to the sign amendments last year, the maximum size was limited to 6 or 8 square feet).

Section 15:

-Clarify where electronic message centers are allowed

Section 16:

-Land Use Supervisor given authority to approve alternative design standards for plats when relating to road frontage (currently is listed as city engineer).

Section 17:

-Amend the summary table to require a sign notice when doing a quick plat (currently no public notice is required) and clarify when planning review is needed.  
-Minor adjustment to powers of Land Use Supervisor to administratively approve 1 extra parking space beyond the maximum allowed.  
-All final subdivision plats to be recorded 180 days after approval (instead of 90).

Section 18:

-Fix error concerning Heritage Preservation Commission (incorrectly labeled Historic Preservation Commission).