

Housing Opportunities

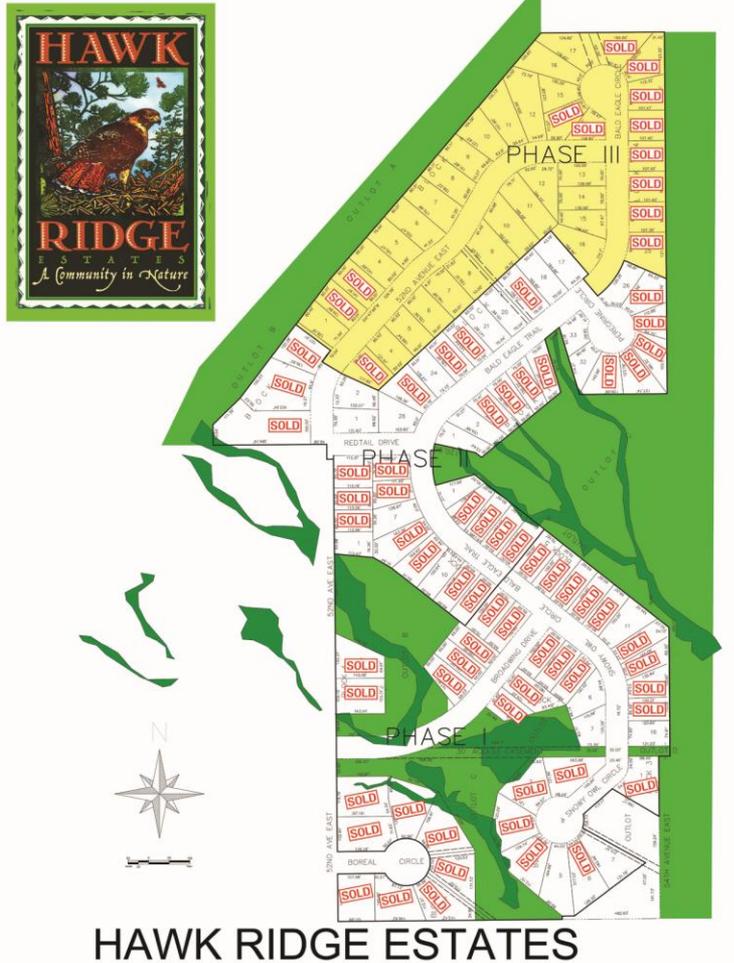


DULUTH HOUSING SUMMIT

FEBRUARY 13, 2014

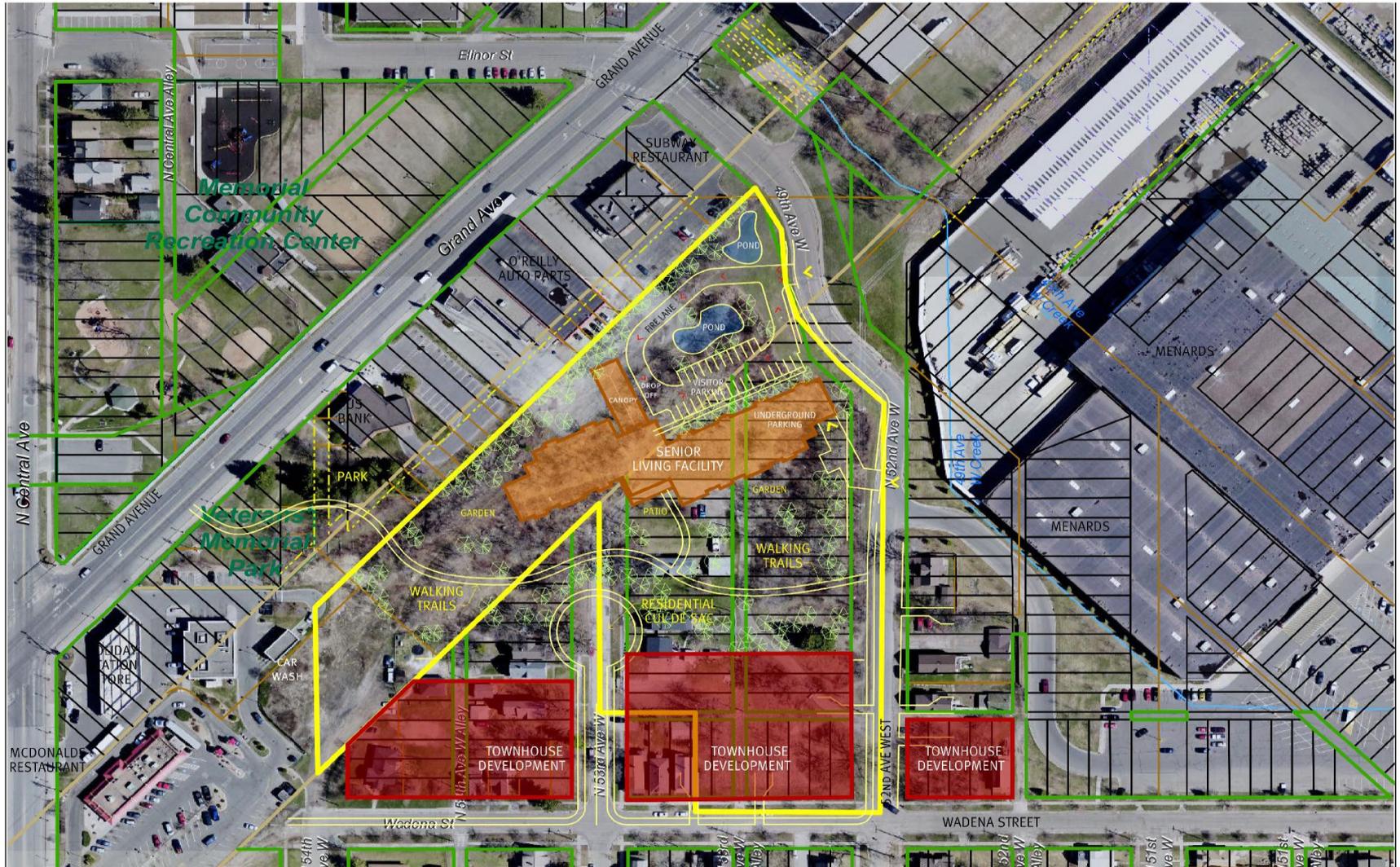
Hawk Ridge Estates

2



- 38 new Single Family lots available in Phase 3
- All Streets & Utilities In and Paid
- Special Incentives for Buyers and Builders
- 46 new homes occupied – valued at over \$13M
- 40 lots available in Phases 1 & 2
- Adjacent to Amity Creek – Trails & Parkland
- Contact David 218-529-6347

Ramsey Village Senior Housing Campus



SENIOR HOUSING DEVELOPMENT CONCEPT

RAMSEY VILLAGE

DULUTH, MN

01-10-14



Ramsey Village Senior Housing

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- Request for Proposals – Due to the HRA March 7th
- 40 – 60 Units – “Campus” Style Mixed Senior Housing
- 6 Acres City/DEDA/HRA – Owned Land
- Tax Increment Financing Available
- Contact Rick Ball at 218-529-6341

Build Up Duluth!

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- Central and East Hillside Neighborhoods
- Urban Infill Single Family Housing
 - Up to \$50,000 in forgivable down payment assistance available
 - 45 New Homes
- Small Multi-family Ownership Opportunities
 - Up to \$90,000 in forgivable rehab loans available
- Construction Financing Available
- Core Builders Wanted
- Contact David at 218-529-6347

Harbor Highlands

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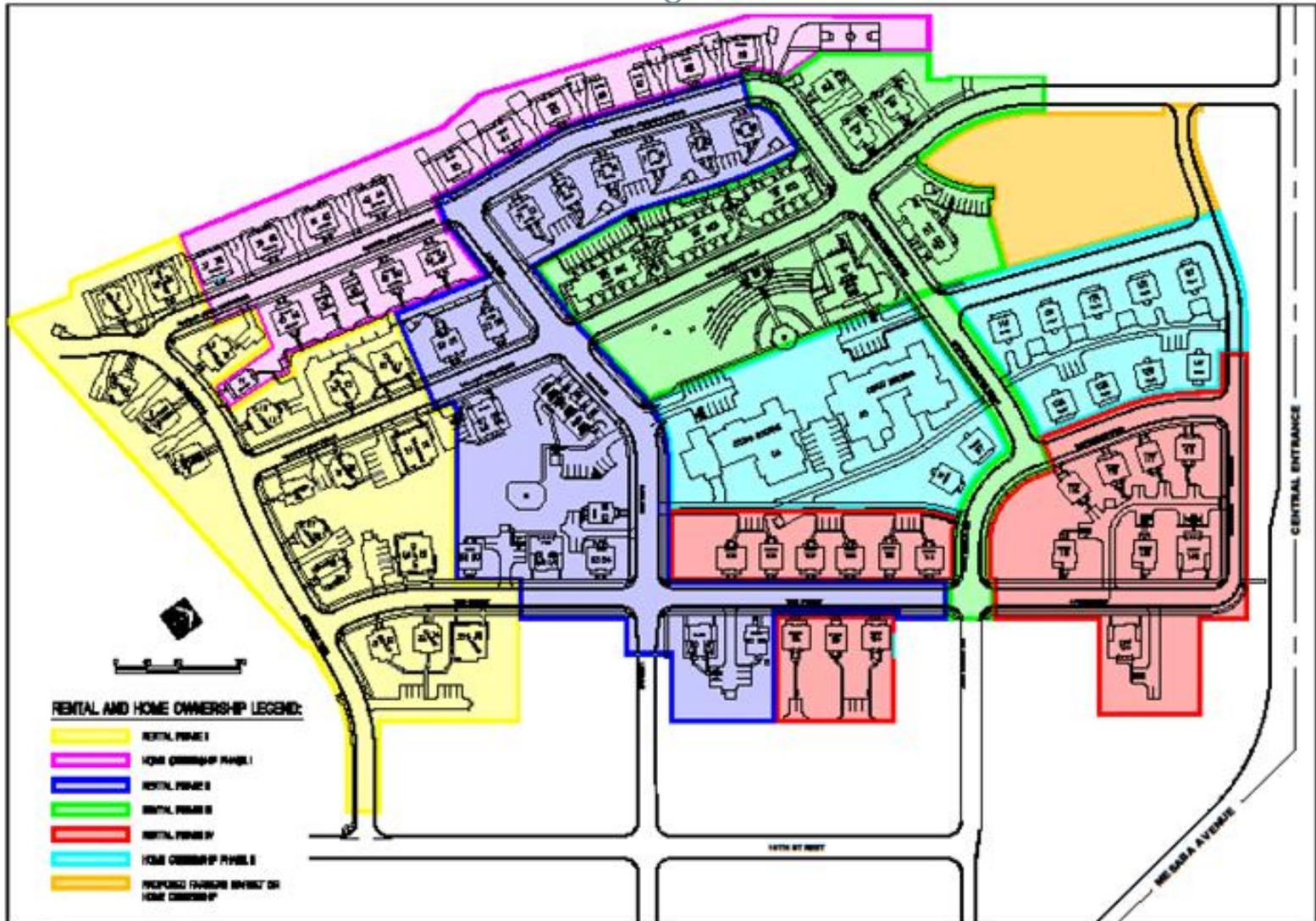
Harbor Highlands

7

- “Village with a View!”
- Townhouse Development Opportunities
- Infrastructure available for single family & twin homes
- Affordable Homeownership Development Opportunities
- Community Center with YMCA
- New Urbanism at its best!
- Contact Rick Ball at 218-529-6341

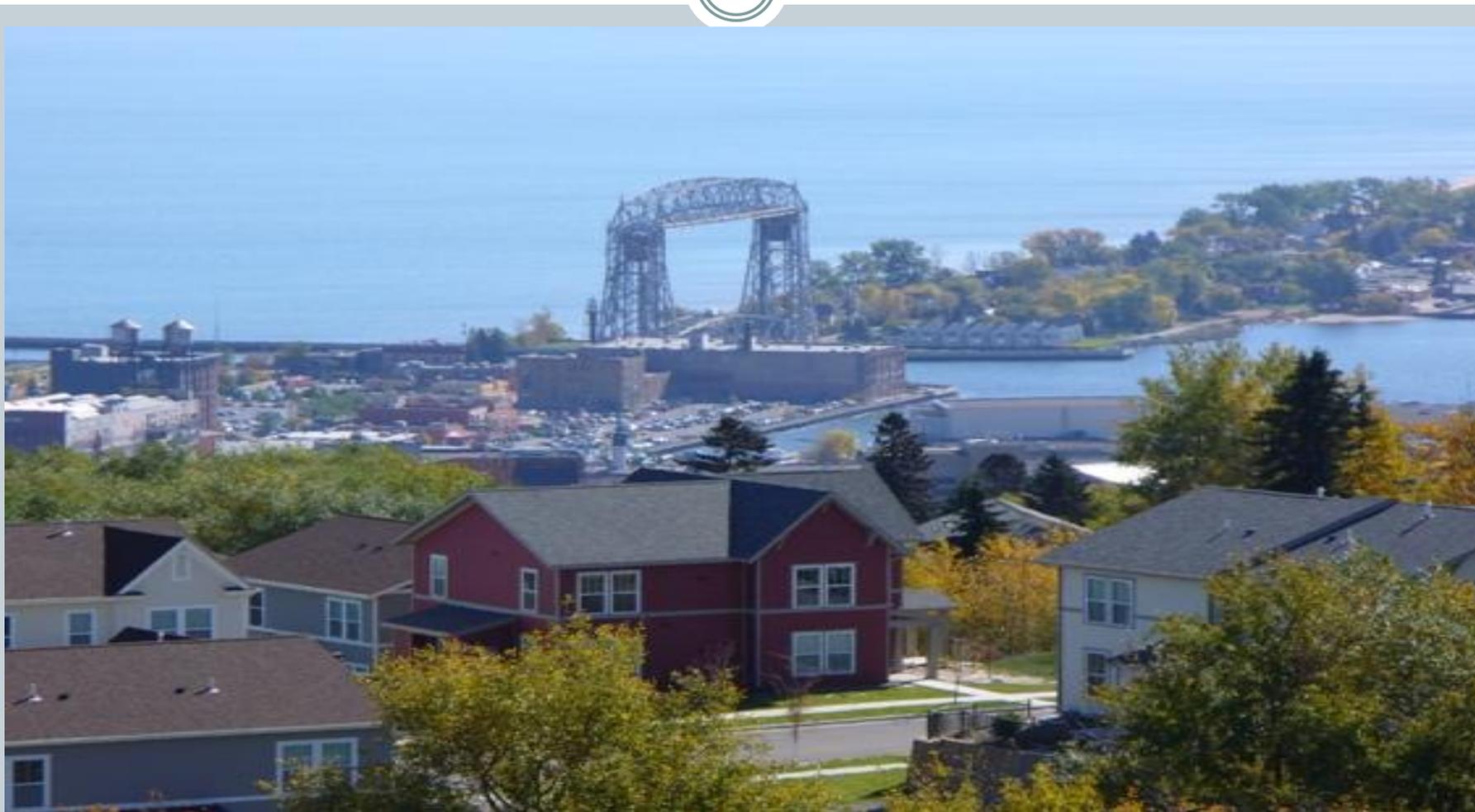
Harbor Highlands

8



Harbor Highlands

9



Gateway Tower -Adjacent Market Rate Site

10

- New Construction of 50 Market Rate Units adjacent to Gateway Tower
- Overlooking the Harbor
- Downtown Location
- Transit-Oriented Development

- Contact Rick Ball
218-529-6341



Spirit Valley Master Plan

CONCEPT SKETCH PLAN



Spirit Valley Development Recreational

RECREATIONAL FACILITIES / CONNECTIONS PLAN



- Ski Trails
- Keyways
- Existing Trails
- Proposed Trails
- Mountain Bike Trails



Spirit Valley Development

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- 55 Single Family Home Ownership Opportunities
- 115 – 180 Rental Apartments Units
- 80 Units of Rental Senior Housing
- Trail access from the slopes and through to the St Louis River Beach
- Contact Brad Johnson at 612-369-4364

Seaway Hotel

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- Building renovation for 70 housing units with MHFA and GMHF Funding Assistance
- Commercial Opportunities on First Level
- Contact David Peterson
218-529-6347

The Historic Duluth Armory

A Place of Great Inspiration



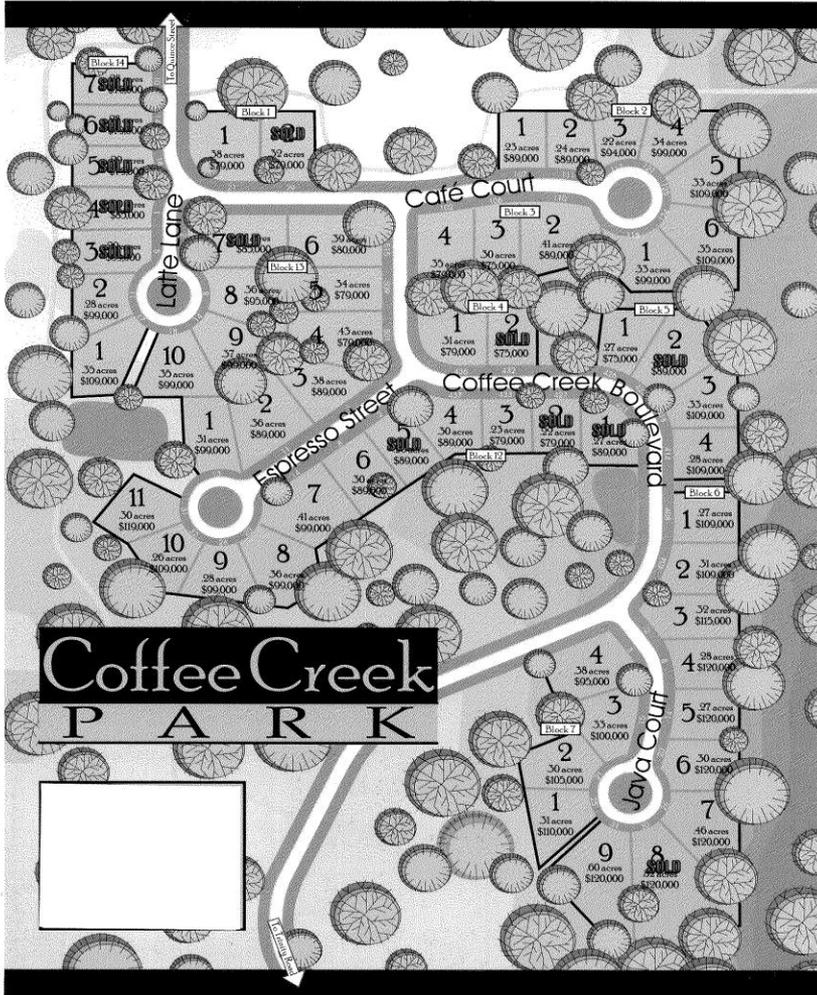
Duluth Armory

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- 13th Avenue East & London Road – across from Rose Garden
- Owner: Armory Arts & Music Center
- Mixed Use – Arts & Performance and Housing
- Potential for approximately 13 housing units with underground parking
- Year Built: 1915, Stage Addition 1940
- On National Register of Historic Places
- Eligible for 20% Federal & 20% State Historic Tax Credits
- Lot Size: 1.8 Acres (including Annex)
- Total Area: 96,303 SF
- Contact: Mark Poirier 218-428-9686
mark@dulutharmory.com

Coffee Creek

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- Single Family Homes Site
- Wooded Lots with Lake Views
- Duplex Home Sites
- Co-op Building Site
- All Utilities in and Paid

Arrowhead Crossing

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Arrowhead Crossing

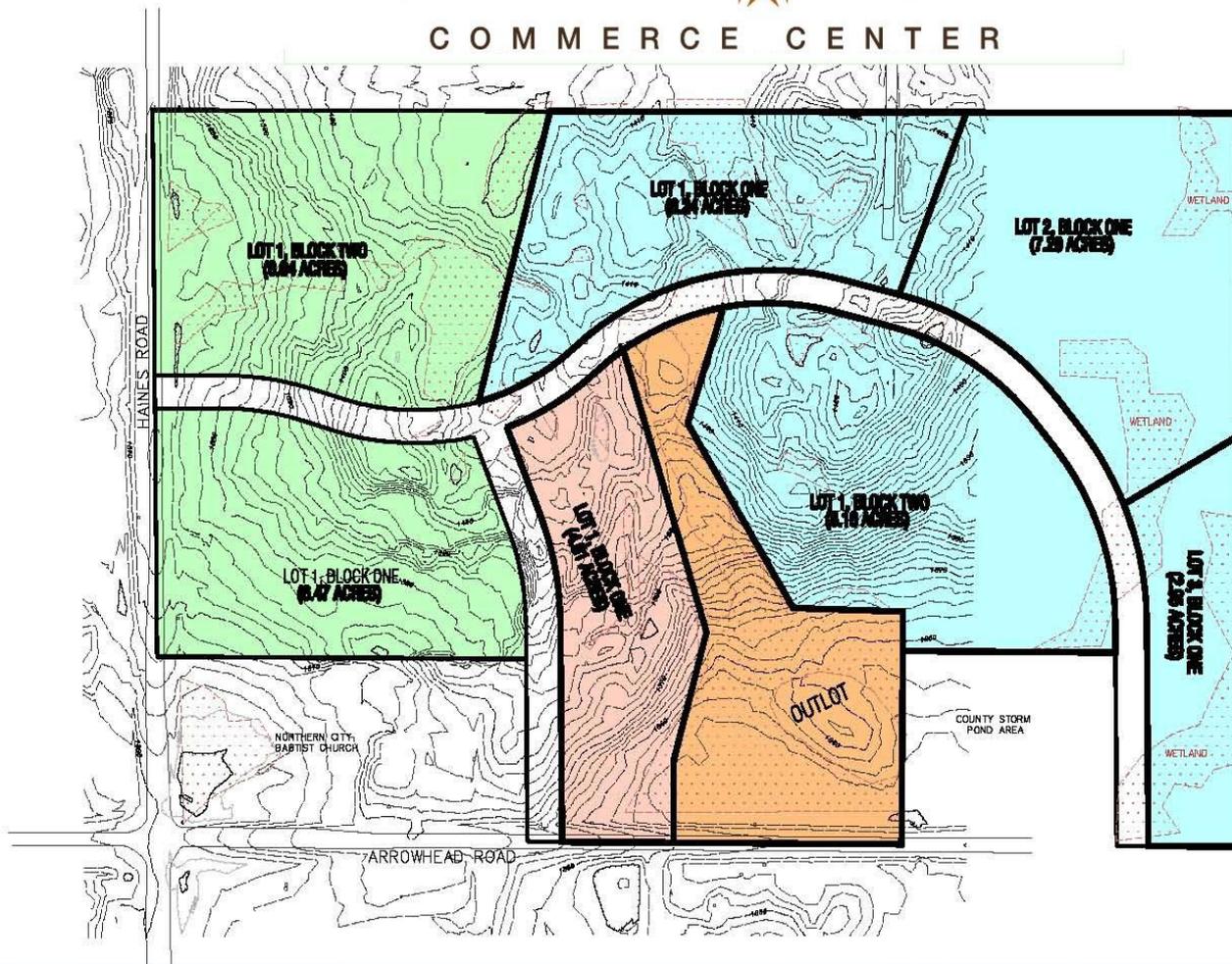
20

- Zoned MU-C Commercial retail/office/light Industrial
- 4 to 8 Acre Parcels
- Located near the Duluth Airport
- Potential tax incentives to cover utilities

- For Information contact: Dave Holappa
218-722-0357 / dave.holappa@holappa.com

ARROWHEAD CROSSING

COMMERCE CENTER



PRELIMINARY PLAT DATA

AREA	54.2 ACRES
ROAD AREA	4.80 ACRES
LOT AREA	(7 LOTS) 43.79 ACRES
OPEN SPACE	3.58 ACRES
AVERAGE LOT	6.26 ACRES
WETLANDS	3.7 ACRES

*LAND IS NOT IN A FLOOD ZONE

OWNER-HAINES PROPERTIES LLP

SURVEYOR/ENGINEER-SEH-DULUTH

SEWER AVAILABLE-HAINES ROAD

WATER AVAILABLE-HAINES ROAD/ARROWHEAD ROAD

ZONING CURRENT-CS,ITS
PROPOSED-CS,T

LEGEND

- PHASE ONE
ARROWHEAD CROSSING
- PHASE TWO
ARROWHEAD CROSSING
FIRST ADDITION
- PHASE THREE
ARROWHEAD CROSSING
SECOND ADDITION
- WETLAND AREA

DESIGN TEAM	1				
DRAWN BY:	JRW	2			
DESIGNED BY:	JRW	3			
CHECKED BY:	JRW	4			
	NO	BY	DATE	REVISIONS	

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Signature: JOHN J. HENDRICKSON JR. Date: 07/28/11
 Printed Name: JOHN J. HENDRICKSON JR. Exp. No.: 07284



HAINES PROPERTY, LLC
 CONCEPT PLAN for
 ARROWHEAD CROSSING

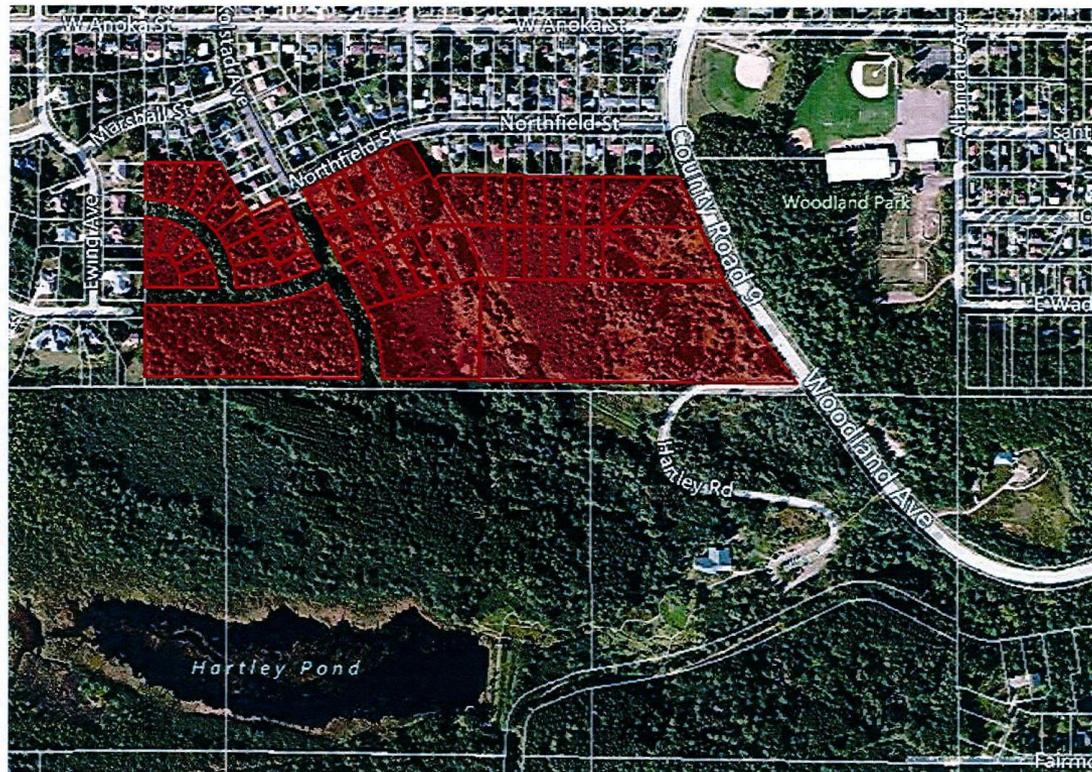
PROPOSED BUSINESS PARK

FILE NO.	1
10728	
DATE	07/26/11
	1

Hartley

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Hartley Property

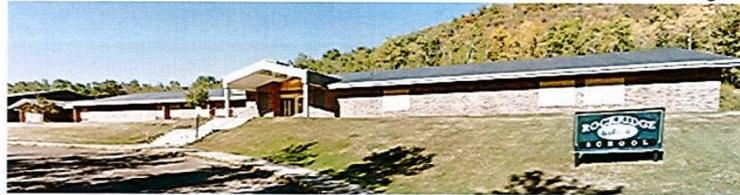


Contact: Kerry Leider : (218) 336-8907 kerry.leider@duluth.k12.mn.us

Rock Ridge

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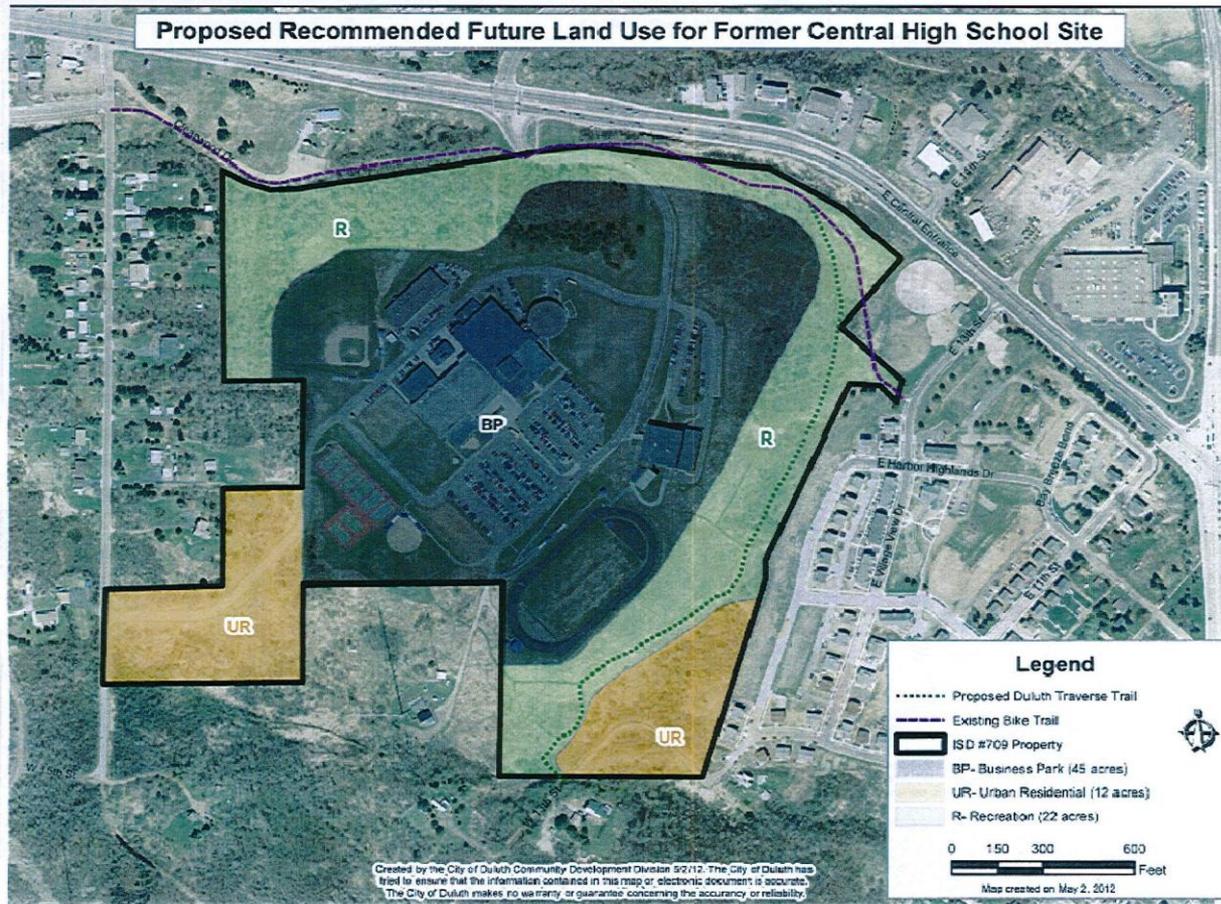
Rockridge Elementary



Contact: Kerry Leider : (218) 336-8907 kerry.leider@duluth.k12.mn.us

Central High School

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Contact: Kerry Leider : (218) 336-8907 kerry.leider@duluth.k12.mn.us

Morgan Park

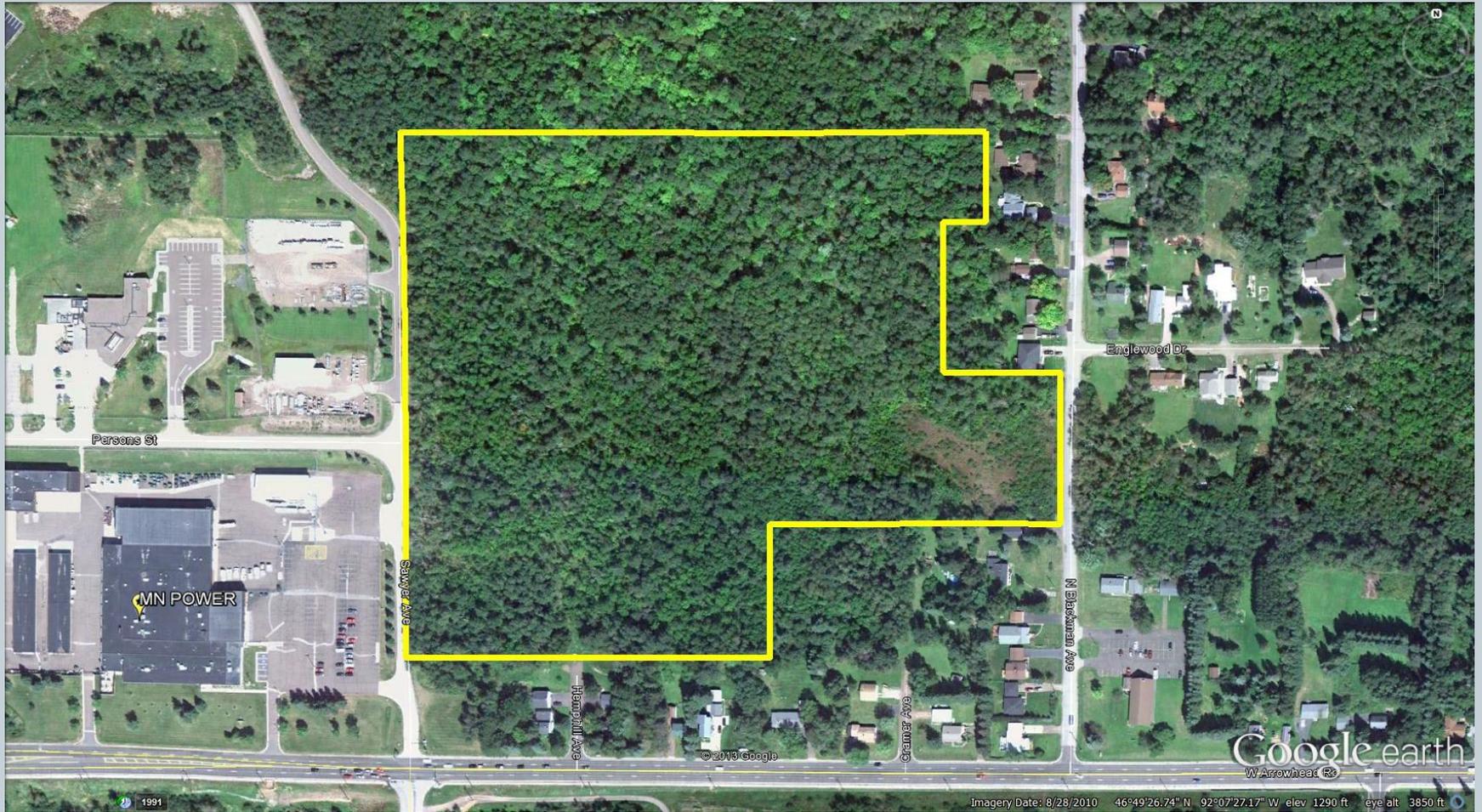
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Morgan Park Middle School



Kenwood Neighborhood

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Kenwood Neighborhood

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- Site: Approximately 23.5 Acres
- Zoning: R-1
- Beautifully wooded development site in prime Kenwood location. Access to three sides with all utilities to site. R-1 zoning allows up to 140 plus residential units to be built. Great opportunity!
- Prime Development Site! Residential or Rezone to Light Industrial
- gregfollmer@gmail.com
- 218-310-0013
- [www. GregFollmer.com](http://www.GregFollmer.com)
- FOR SALE \$599,000
- 23.5 ACRES

Miscellaneous Sites

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- **Many other sites are available to work with**
 - School Sites
 - Air Park Sites
 - Tax Forfeit Land
 - Former Vacant or Blighted Properties
 - Privately Owned

Conclusion

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- There are numerous housing development opportunities in Duluth
- Let's work together to meet the City's housing needs
- For Additional Information Contact:
 - Rick Ball – HRA – 529-6341
 - David Peterson – HRA – 529-6347
 - Keith Hamre – City of Duluth – 730-5297
 - Chris Eng – Duluth Economic Development Authority- 730-5322