



Duluth Heritage Preservation Commission, Special Meeting

To view the meeting, visit http://duluthmn.gov/live-meeting

Monday, May 10, 2021, 12:00 PM

(Note: Special Date, Time, and Location)

1. Call to Order/Determination of Quorum

2. Public Hearings

- -PL 21-054 Historic Construction/Demolition Permit for 521 West Second Street (Former St Louis County Jail)
- 3. Consideration of Minutes (April 12, 2021)

4. Communications

- -Short Verbal Presentation on Maintenance/Preservation Project at Carnegie Library (AKA Duluth Public Library) at 101 West Second Street (Page 131)
- -106 Review, Proposed Brewery Creek Apartments at Corner of East 4th Street and 6th Ave East (Page 137)
- 5. Report of Final Disposition of Matters Previously Before the Commission (None at This Time)

6. Reports of Officers, Staff and Committees

- -Planning Commission Items of Note
- 7. Consideration of Matters Regarding Commission Action

8. Other Business

- -Change to the Zoning Code (UDC) Related to Local Historic Preservation (Page 140)
- -Update on RFP for Historic Downtown Design Guidelines
- 9. Adjournment (Next Regular Scheduled Meeting (Monday, June 14, 2021)

NOTICE: The Heritage Preservation Commission will be holding its <u>May 10, 2021</u> Special Meeting by other electronic means pursuant to Minnesota Statutes Section 13D.021 in response to the COVID-19 emergency. Some members of the Board will be participating through video conference. Due to the COVID-19 emergency and the closure of City facilities, public comment will not be taken in person. However, members of the public can monitor the meeting and provide public comment on agenda items through WebEx Events. Visit https://duluthmn.gov/live-meeting to access the meeting. The public is also encouraged to submit written comment to planning@duluthmn.gov prior to the meeting. Please include "HPC Agenda" in the subject line, and include your name and address and the agenda item you are speaking to. Please note that all public comment is considered Public Data.

Heritage Preservation Commission April 12, 2021 Meeting Minutes Web-Ex Meeting Format

Due to the COVID-19 emergency, the HPC members participated through video conference from home. The meeting was held as a Special Meeting pursuant to Minnesota Statute 13D.021 in response to the Covid-19 emergency.

1. Call to Order and Roll Call

President Jessica Fortney called to order the meeting of the Heritage Preservation Commission (HPC) at 12:05 p.m. on Monday, April 12, 2021.

Attendance: (Via WebEx video conferencing – all votes conducted via roll call)

Attending: Ken Buehler, Stacey DeRoche, Jessica Fortney, Brandon Hartung, and Sarah Wisdorf

Absent: Mike Poupore

Staff Present: Steven Robertson, Adam Fulton, Eleanor Bacso, and Cindy Stafford

2. Public Hearings

Historic Construction/Demolition Permit for 319 and 321 East Superior Street – Steven Robertson gave an overview. He shared images which were provided in the commissioners' packet. An Environmental Assessment Worksheet (EAW) was deemed sufficient by the planning commission, and no additional review (Environmental Impact Statement) was required. Staff recommended the HPC place a condition on the item to include mitigation steps where the project proposer will photo document the interiors of both structures and will remove some front façade pieces to be displayed in the new project courtyard.

<u>Public Comment</u> – Chair Fortney opened up the meeting for public comment. There was none. <u>Commissioners</u> – Ken Buehler asked if anything has recently changed. Deputy Director Fulton stated no, it is consistent as described. Chair Fortney would like the owner to use as many original materials as possible, and it sounds like the owner is in agreement. Stacey DeRoche is disappointed to be losing the buildings, and thinks they could have done a better job in help preserving them.

MOTION/Second: Fortney/Buehler approve the historic demolition permit for 319 and 321 East Superior Street with added condition to include mitigation efforts to take photos of interiors and remove some front façade pieces to be displayed in the new project courtyard

VOTE: (4-1, DeRoche Opposed)

3. Consideration of Minutes

March 8, 2021

MOTION/Second: DeRoche/Buehler approved the minutes **VOTE:** (5-0)

4. Communications

Robertson and Deputy Director Fulton will attend the 4/14/2021 5:00 pm public information meeting for the reuse of Historic Old Central High School.

<u>5. Report of Final Disposition of Matters Previously Before the Commission</u> None at this time.

6. Reports of Officers, Staff and Committees

Planning Commission (PC) - Commissioner Sarah Wisdorf gave an overview. The PC is proposing a change in the zoning code which relates to local historic preservation. (See below.)

7. Consideration of Matters Regarding Commission Action -

None at this time.

8. Other Business

- Change to the Zoning Code (UDC) Related to Local Historic Preservation Robertson gave an overview. He noted the proposed change which stresses the word "local" in section 50-18.3 of the UDC. He welcomed commissioner comments. Chair Fortney asked about the HPC's bylaws. Does it list local? What about nationally designated items? Robertson stated federal mandates still exist, and local doesn't trump it. DeRoche commented that the language seems more confusing. Do they need to make sure that nationally nominated properties are also locally protected? Buehler agreed. Who is in charge of nationally designated properties? Robertson noted if there is federal funding involved, the HPC is consulted, but the privately owned property does not need HPC review. The US Parks Department oversees national designation. Buehler noted it seemed easier to deal directly with local designation standards. Robertson noted locally designated properties need to have a preservation plan, which can sometimes be an obstacle. Chair Fortney noted the national register design guidelines. Are they also locally designated? The HPC should have overview of nationally designated properties. Fortney noted historic districts, at some point the property owners gave their permission to be contributing. Historic Districts should be on this list. DeRoche asked for a list of Federal designated properties that aren't on the local list Fortney noted the HPC might need to adjust their bylaws to be more pro-active before issuing a demo permit. Robertson shared the national register list. There were approximately 45 listings, including Fitgers. Robertson stated staff feels the code change is important, but the planning commission may choose to delay. Chair Fortney would like to do more research. She asked that the planning commission table their decision for another month. Wisdorf noted the planning commission has a long agenda, and will share the HPC's wishes with the planning commission to table for more time.
- Update on RFP for Historic Downtown Design Guidelines Robertson noted they received three proposals, and hope to make a recommendation to administration by the end of the week. A special HPC meeting may be needed in the next couple of months. The timelines and next steps will be shared after the proposal is chosen.
- Other items Robertson noted there will be a historic jail demo permit coming up.

9. Adjournment

Adjournment at 12:40 p.m. (Next meeting scheduled for Monday, 5/10/2021)

Respectfully,

Adam Fulton – Deputy Director
Department of Planning and Economic Development



Planning & Development Division

Planning & Economic Development Department

Room 160 411 West First Street Duluth, Minnesota 55802



Date: May 4, 2021

To: Planning Commission

From: Steven Robertson, Senior Planner RE: Pending Items on the May 2021 HPC

Public Hearing, Historic Construction Permit, Former St. Louis County Jail, 521 West Second Street

This item is an official public hearing item, so following commissioner discussion, there will be an opportunity for members of the public to address HPC and share their comments on the proposal. If there are a number of people wishing to speak, the HPC may want to consider limiting each speaker to no more than three to five minutes. The owner's agents will be available to make a short five minute presentation on their project. They had submitted a significant amount of information, and in order to save on file space, their pictures/images will be saved as a separate PDF/addendum to the HPC packet.

Communication, Carnegie Library 101 West Second Street

The owner is proposing an emergency maintenance procedure on the dome of the structure, to prevent further deterioration. The dome suffers from significant water leakage during some storm events, and there is failing and falling plaster beneath the dome area. The owner's agent will attend the meeting to share a short three minute verbal presentation on their project and future timelines to permanently address the situation. In 2013, this property came before the HPC for a Historic Construction Permit and Certificate of Appropriateness (PL 13-130, construct a sidewalk at 1:20 grade from parking lot to front entrance).

Communication, Proposed Brewery Creek Apartments at Corner of East 4th Street and 6th Avenue East

Minnesota Housing Finance Agency, with the support of the Duluth City Council and the direct financial participation of the City of Duluth through its Community Development programs and the Community Development Committee, has awarded Low Income Housing Tax Credits (LIHTC) in support of the Brewery Creek Apartments development located on the eastern and uphill side of the intersection of East 4th Street and 6th Avenue East. The Brewery Creek Apartments development is being proposed by One Roof Community Housing, and will result in creation of new housing that will be affordable to Duluth citizens of a range of incomes. The proposed apartment building is located in form district, and will adhere to the guidelines for the form district to complement the existing architecture and design of the neighborhood.

As part of the LIHTC process, a federal Section 106 review is being conducted of the site, which features two existing buildings and a creek. The creek is located in a tunnel underground, on the eastern side of the site. One building, on the west side of the site, is a former automotive service and oil change building, and is non-descript. The building on the eastern side of the site is quite old, but has not been designated as a locally significant structure. The creek passes beneath the building located on the site's east side, and the creek's tunnel forms part of the foundation for that structure. Both structures on the site have been deemed blighted; the City previously provided funding for the site's acquisition to One Roof Community Housing that was conditional on the removal of the blighted structures.

The Section 106 process includes an opportunity for Heritage Preservation Commission consultation regarding the demolition of the structures on the site, and staff has been in communication with the State Historic Preservation Office to that effect. However, the HPC does not have a specific formal role in the review process for this building, nor is any action or vote required by the HPC.

At the meeting, staff will provide the HPC with a short summary of the proposed Brewery Creek Apartments, and explain the phasing for the project. It would appreciate if the HPC could consider the development, the site's existing condition, and its context, and provide any specific comments during the meeting. Staff will summarize those comments and respond as part of the Section 106 process.

One Roof Community Housing is also currently the owner of the building immediately to the east of the Brewery Creek Apartments site. This is an operating apartment building in an older structure. One Roof intends to convey the building for redevelopment, and is focused on restoration of that structure. It is uncertain as to how that will proceed at this time, but the intent will be to restore this brick structure to its original character.

Other Business, Proposed UDC Text Change Regarding Local Preservation Review

This item was tabled from last month's commission meeting, to allow for more time to review the proposal and to seek information on properties that are locally and nationally designated. In coordination with the City Attorney's office, staff is reviewing UDC provisions associated with historic preservation. The current language in the UDC has standards relates to historic districts and historic landmarks. The language is intended to be applicable for locally designated historic landmarks and the two locally designated historic districts. To reduce ambiguity, staff recommend an amendment to the applicable UDC section to clarify that the intent of local historic preservation efforts and the work of the Heritage Preservation Commission is on locally designated landmarks and districts. Included with the HPC packet is a draft ordinance, highlighting/reinforcing the phrases "local" and "locally designated".

Other Business, Update on RFP for Historic District Preservation Design Standards

Three firms submitted proposals, and while all were very good, clear, and impressive, ultimately the review committee picked one firm's proposal to move forward with. Staff will have an update for the members of the HPC at the Monday meeting.



Planning & Development Division

Planning & Economic Development Department

Room 160 411 West First Street Duluth, Minnesota 55802



Date: May 4, 2021

To: Planning Commission

From: Steven Robertson, Senior Planner

RE: PL 21-054, Historic Construction Permit, Former St. Louis County Jail, 521 West 2nd Street

A zoning application to allow for the alternation of the former St. Louis County Jail is coming before the HPC at the May 10, 2021, regular meeting. Included with this memo is a cover letter from the applicant's agents, images from the site (2019 pictometry), construction drawings, and application to the National Park Service. This site is within the Duluth Historic Preservation District, a local historic district, per UDC 50-18.3. A copy of the standards for the historic overlay are also included.

As stated in the cover letter: "The Burnham, which is named for acclaimed architect and planner Daniel Burnham, will revitalize a long-vacant structure and provide 32 units of housing. The existing building is a five-story, 34,550-square foot former jail that includes a non-historic annex addition. The project will substantially restore the historic exterior of the building, including the removal of the non-historic annex and replacement of non-historic glass block windows. Other exterior work includes masonry repair and repointing, restoration of the historic front doors, and repair of the existing retaining walls. The interior of the building will be substantially rehabilitated for reuse as housing. The first floor and historic lobby will be restored and retained as common space. The former cell areas will be converted to living units.... The project will be certified for historic tax credits. The project has been reviewed and approved by both the State Historic Preservation Office (SHPO) and the National Park Service (NPS)."

This item is an official public hearing item, so following commissioner discussion there will be an opportunity for members of the public to address HPC and share their comments on the proposal. If there are a number of people wishing to speak, the HPC may want to consider limiting each speaker to no more than three to five minutes.

From the UDC:

50-37.14 Historic construction/demolition permit.

This Section applies to applications for construction or demolition within a historic district or on a historic property listed in Section 50-18.3 where the city must confirm whether the application complies with the standards in Section 50-18.3 and with all other applicable provisions of this Chapter and state law.

A. Application.

An application for a historic construction/demolition permit shall be filed pursuant to Section 50-37.1.B;

B. Procedure.

The application shall be reviewed by the heritage preservation commission. The commission shall conduct a public hearing pursuant to Section 50-37.1.I, with public notice as required by Section 50-37.1.H and make a decision to adopt, adopt with modifications, or deny the application based on the criteria in subsection C below;

C. Criteria.

The commission shall approve the application, or approve it with modifications, if the commission determines that the application complies with all applicable provisions of this Chapter and state law and that the work to be performed shall not adversely affect the historic preservation landmark or district based on adopted historic preservation guidelines.

A. Purpose.

The purpose of this Section 50-18.3 is to preserve, protect and promote any areas, places, buildings, structures, lands, districts and other objects having a special historical, community or aesthetic interest or value. The Historic Resources Overlay:

- 1. Safeguards the heritage of the city by preserving properties that reflect elements of the city's cultural, social, economic, political, engineering, visual or architectural history;
- 2. Protects and enhances the city's appeal and attraction to residents, visitors and tourists, while enhancing its economic viability through the protection and promotion of its unique character as related to its history and heritage;
- 3. Enhances the visual and aesthetic character, diversity and interest of the city;
- 4. Fosters civic pride in the beauty and notable accomplishments of the past;
- 5. Promotes the preservation and continued use of historic properties for the education and general welfare of the people of the city;

B. Designation of historic resources.

- 1. Through the process for designating historic resources in Section 50-37.8, or its predecessor ordinance previously codified as Chapter 28A of the City Code, the heritage preservation commission has designated:
 - (a) Two historic preservation districts: the Duluth Civic Center Historic District, and the Duluth State Normal School Historic District, whose boundaries are shown on Exhibits 50-18.3-1 and 50-18.3-2; and
 - (b) Those designated historic preservation landmarks on file with the secretary of the planning commission;
- 2. The heritage preservation commission and planning commission may from time to time recommend, and the council may approve, additional historic preservation districts or landmarks pursuant to Section 50-37.8:

Review of construction/demolition activities.

Within those designated historic preservation districts shown on Exhibit 50-18.3-1 and those historic preservation landmarks on file with the secretary of the planning commission:

- 1. Construction and demolition activities, including all street and utility activities, shall be approved pursuant to Section 50-37.14;
- 2. The issuance of city permits to do any of the following shall be approved pursuant to Section 50-37.14:
 - (c) Remodel, repair or alter in any manner that will change the exterior appearance;
 - (d) New construction, including parking facilities;
 - (e) Move a building;
 - (f) Change the nature or appearance of a designated historic preservation landmark or district, including landscape features;
 - (g) Demolition in whole or in part;

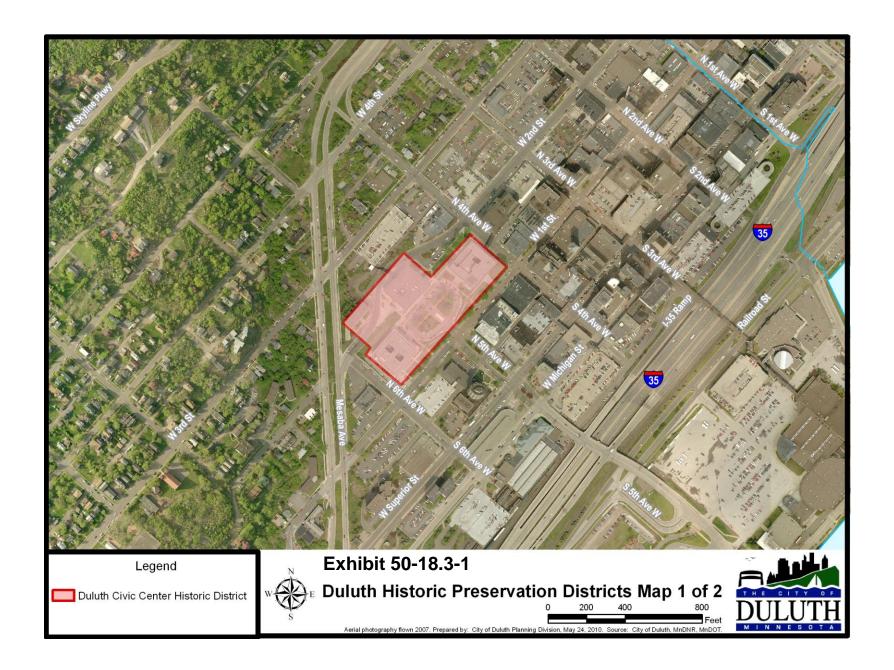
D. Emergency repair.

In emergency situations where immediate repair is needed to protect the safety of the structure and its inhabitants, the building official may approve the repair of only those items needed to ensure safety. Such repairs shall be limited to those necessary to correct the safety emergency. In the case of a permit issued pursuant to this subsection D, the building official shall require that the repairs be made in conformance with the U.S. secretary of interior's recommended standards for heritage preservation projects and adopted historic preservation guidelines for the landmark or district to the extent possible. In addition, the building official shall immediately notify the historic preservation commission of the action and specify the facts or conditions constituting the emergency situation;

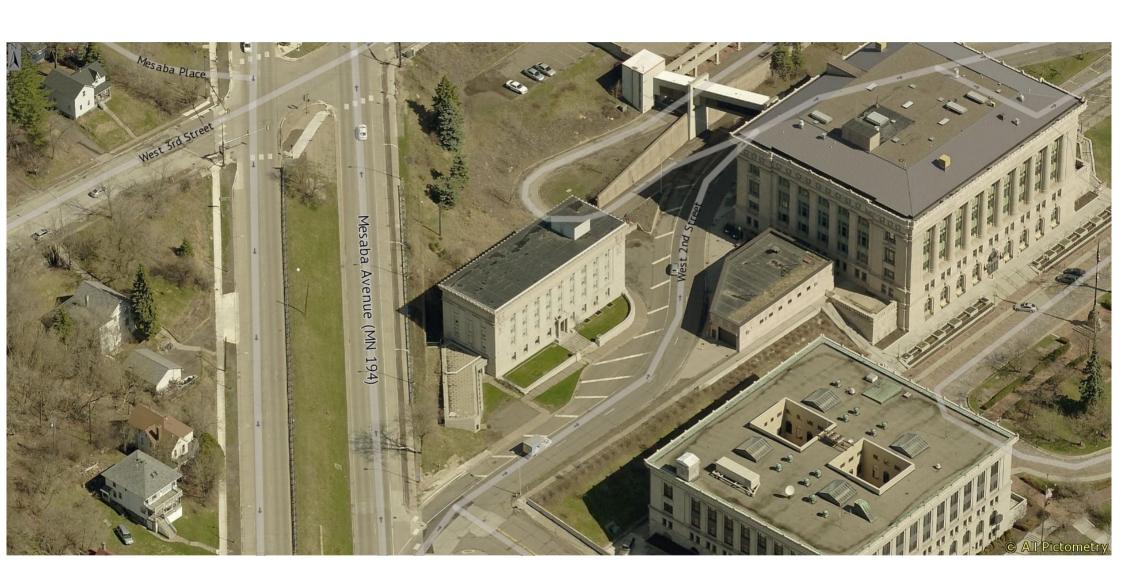
E. Building code enforcement.

This Section 50-18.3 is also intended to encourage the sensitive rehabilitation, restoration, stabilization and preservation of historic buildings throughout the city. These rehabilitation and preservation efforts should provide for the upgrading and maintenance of the safety features of the building or structure to provide a practical level of safety to the public and surrounding properties. While ensuring this increased level of public safety, the enforcement authorities are encouraged to be open to acceptable alternative solutions and alternative compliance concepts, where practical, that will permit the continued use of existing buildings and structures without creating overly restrictive financial burdens on owners or occupants. Nothing in this Section shall be construed to prevent the ordinary maintenance or repair of any exterior elements of any building or structure.

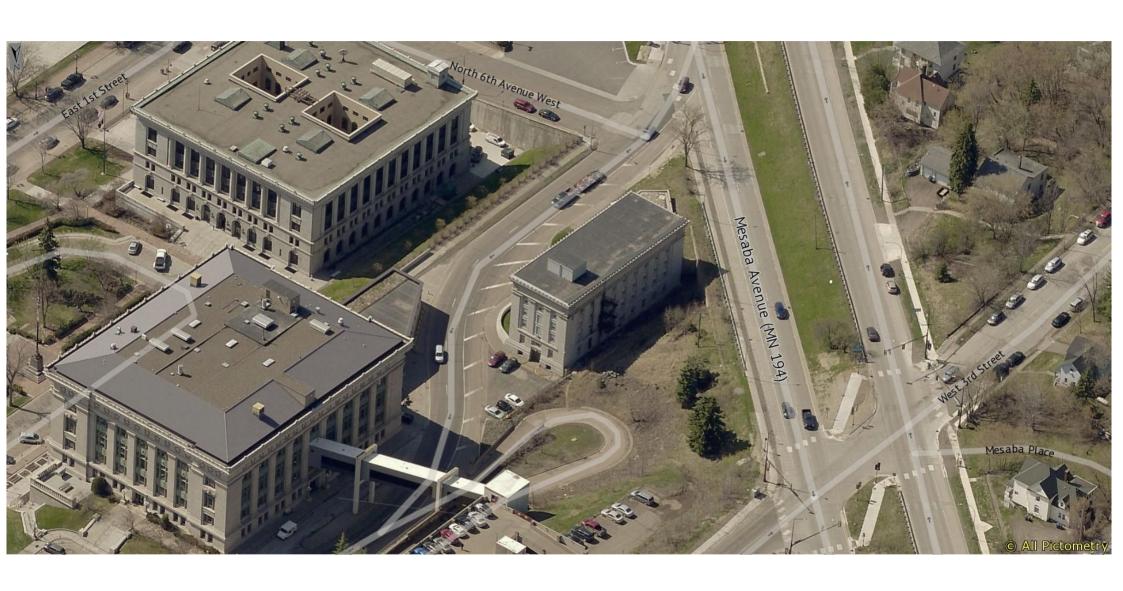
(Ord. No. 10041, 8-16-2010, § 4; Ord. No. 10044, 8-16-2010, § 6; Ord. No. 10096, 7-18-2011, § 14; Ord. No. 10225, 5-28-2013, § 3.)



SLC Jail 1



SLC Jail 2



NEW HISTORY

Date: April 13, 2021

To: Steven Robertson, Senior Planner

City of Duluth

411 West First Street - Room 160

Duluth, MN 55802

srobertson@duluthmn.gov

CC: Jason Hale, Senior Housing Developer, Planning & Economic Development

jhale@duluthmn.gov

Re: Application for Certificate of Appropriateness

The Burnham [historic St. Louis County Jail]

By: Meghan Elliott, elliott@newhistory.com

(612) 501-6832

Dear Steven:

We are delighted to submit this application for a Certificate of Appropriateness for the reuse of the historic St. Louis County Jail. The purpose of this letter is to provide an outline of all materials submitted, as well as a brief description of the project.

The following items are completed and submitted as part of this application:

- 1. Application Cover Sheet
- 2. Required Fee (to be paid via eTRAKiT)
- 3. Application for Certificate of Appropriateness, including:
 - a. Application worksheet
 - b. Scope of Work as described in the federal historic tax credit certification application ("Part 2"), including National Park Service approval and conditions
 - c. Existing conditions photographs of site, exterior, interior, as well as historic photographs (appended to Part 2)
 - d. 100% Construction Documents, (LHB, dated 1/10/2020). Architectural, demolition, and landscape drawings are included.

Note: Additional project materials are available, but have been excluded for brevity. These materials can be made available for review at your request, and include:

- e. Previous reuse studies and reports
- f. Structural, mechanical, electrical, and plumbing drawings (LHB, dated 1/10/2020)
- g. Complete Project Manual (i.e. Specifications), produced by LHB, dated 1/10/2020
- h. Historic drawings



The historic St. Louis County Jail building is located in the locally and National Register of Historic Places-designated Civic Center Historic District. The Burnham, which is named for acclaimed architect and planner Daniel Burnham, will revitalize a long-vacant structure and provide 32 units of housing.

The existing building is a five-story, 34,550-square foot former jail that includes a non-historic annex addition. The project will substantially restore the historic exterior of the building, including the removal of the non-historic annex and replacement of non-historic glass block windows. Other exterior work includes masonry repair and repointing, restoration of the historic front doors, and repair of the existing retaining walls. The interior of the building will be substantially rehabilitated for reuse as housing. The first floor and historic lobby will be restored and retained as common space. The former cell areas will be converted to living units.

The reuse of the jail building requires substantial and careful reconfiguring of the cell structure, which was the original structural system of the building. In order to retain as many historic materials as possible, the design team converted a central mechanical run at each floor into a corridor, and converted the cells on each side to living units. This design strategy allowed for the retention of the original configuration of space, and much of the physical cells. Likewise, the replacement of the glass block windows will restore the original façade appearance while letting natural light into the proposed living units.

The project will be certified for historic tax credits. The project has been reviewed and approved by both the State Historic Preservation Office (SHPO) and the National Park Service (NPS).

We look forward to sharing this project with the Heritage Preservation Commission at the May hearing. In the meantime, I am available to answer any questions and provide additional information.

Thank you for your consideration of this application,

Meghan Elliott

elliott@newhistory.com

(612) 501-6832

Application for CERTIFICATE OF APPROPRIATENESS

for Duluth Heritage Preservation Landmarks and Districts
Please complete this application as it pertains to your project. Attach all information required, including a scope of work form.

Location	of Building:	521 West Se	cond Street		Duluth, MN	55802			
	0 -	(Street Addre	ss)	(City,	State)	(Zip Code)			
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Owner.	(Name)	118, 220 (0.			ddress, City, St	ate, Zip Code)	(Da	ytime Phone	e)
Applican	ı t: New His	story (Megha		575 SE 9th St				414 (612)	<u>)</u> 501-6832
	(Applican	nt's Name, if or	ther than own	er) (Street Ac	ldress, City, Sta	ate, Zip Code)	(Day	ytime Phone	2)
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	Siding		☐ Photos	of current cor	ndition of all	building ele	vations	impacted b	oy
	Roof change	<u>.</u>	□ Detaile	ed specification	ns and scope	of work			
	Chimney		☐ Materi	als to be used	(color numbe	er, sample o	f materia	al & that	
	Lighting		which is	being matched	l, name of ma	anufacturer	& mater	rial)	
	Facade		□ Detaile	ed drawings of	new windov	vs, doors, or	other fe	eatures in	
	Other		scope of	work					
Des	cription of pro	oposed chan	ges:						
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(Checklist of items needed for application:
	☐ Scale drawings of all building elevations impacted by change
	Photos of current condition of all building elevations impacted by change
	Detailed specifications and architectural drawings of existing structure
	Detailed specifications and architectural drawings of new construction (Including but not limited to
	materials to be used on exterior and architectural elements - color numbers, samples of materials &
	samples of existing materials being matched, name of manufacturers & materials)
	Site plan showing existing and new construction
≿ LA	NDSCAPING: Removal of non-historic addition, restaration of existing
I	NDSCAPING: Description of proposed landscape changes: Removal of non-historic addition, restoration of existing
	retaining wans, installation of front patio greenery.
	Reason for changes: Restoration of original site configuration
I	Location of changes on site: Front facade and existing retaining walls
	Cl. 11' c. C'
	Checklist of items needed for application: See attached.
	Detailed architectural landscape design plans to scale with building elevations shown
	Detailed site plans to scale
	☐ Material samples and existing materials samples
_	☐ Photos of existing landscape and structures to be impacted. ☐ Detailed scope of work and specifications.
_	☐ Photos of statues, structures, etc. to be incorporated, if appropriate
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SIG	ENS
	Purpose: Restoration of historic signage, wayfinding for accessible parking and building entry
ī	Location: Front facade, parking stalls, interior
	Size: Varied
1	Material: Varied
1	Description: Historic terra cotta cornice inscription to be restored, limited metal signage at exterior
	and interior to meet building code requirements for accessibility egress
(Checklist of items for application: See attached.
	Architectural drawings of all building elevations related to new sign - must illustrate the location of
	both proposed and existing signs and method of lighting (if any).
	Architectural drawings of all proposed signs illustrating style(s), noting dimensions, materials,
	method of attachment to building or below ground structure, if free-standing, etc.
_	☐ Samples of all materials to be used (specific colors).
	Associated lighting, specifications, photos and/or catalog cuts
_	☐ A full description of the work to be performed.
	☐ If prefabricated sign, photos and name of manufacturer, model number, etc.
₩ TNI/I	TEDIOD DECEMBATION
	TERIOR RESTORATION
ر ا	Description of proposed interior changes: Interior changes include: restoration of first floor lobby and stairs, conversion of cell areas to
	iving units, structural modifications to partially replace cell structure, replacement of all building
_	
	systems (mechanical, electrical, plumbing, and fire suppression). Reason for interior changes: Conversion of historic jail function to multi-family housing
	(i.e. rehabilitation of interior)
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Charlist of itams for applian	ation: See attached								
 Checklist of items for application: See attached. ☐ Scale drawings of all building elevations impacted by change ☐ Photos of current condition of all building to be impacted by changes ☐ Detailed specifications and architectural drawings of modifications to be made (Including but no provided in the condition of all building but no provided in the condition of all building to be impacted by changes 									
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		of manufacturers & materi	aisj						
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D C A 11'4'									
Reason for Addition:									
T C A 1 1'4'									
Location of Addition on site:	·								
Location of Addition on site: Size:									
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Size: (Number of Stories) Architect:	(Length) (Widt	th) (Height)							
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Reductions to 11" by 17" are required of all oversized blueprints, plans, and drawings.

No applications will be processed without a complete application, signed by the owner, and all required attachments.

Duluth Heritage Preservation Commission Duluth Community Planning Division Room 208 City Hall Duluth, MN 55802

Phone: 730-5580

SCOPE OF WORK FORM (See attached.)

Instructions for Completing the Scope of Work Form for Local Historic Landmark Designations

Detailed Description of Work. In the numbered blocks, provide a description of project work. Describe the site work. A separate block should be used to describe each work item and its effect on architectural features or spaces.

In the left block, identify the architectural feature to be impacted, and indicate whether the feature described is original to the building, was added at a later date, or is new construction. Give the approximate date of the feature. In the appropriate space, describe its physical condition. Indicate the photograph or drawing numbers that show the feature described.

In the right block, explain in detail the work to be undertaken. Describe the effect (visual, structural, or other) on existing features. List drawings, marked photographs, or specification page numbers that show the work and impact on the existing building.

Photographs. The applicant must submit a sifficient number of good, clear photographs to document both interior and exterior conditions, including site and environment, prior to any work to be performed, and to show the areas of proposed or completed work.

Elevations and interior features and spaces of the buildings should be shown. All photographs should

be numbered, dated and labeled with the property name, the view (e.g., east side) and a brief description of what is shown; photographs should be keyed to the application narrative, where appropriate. In many cases, it may be helpful to mark directly on the photographs the areas of proposed or complete work. Photographs may be black-and-white or color, but must show architectural features clearly. Photographs are not returnable. Drawings or sketches. Drawings or sketches are required for proposed work to show planned alterations or new construction. They must be sufficiently detailed to show existing wall configurations and anticipated changes. If warranted by the work to be performed, documentation should include floor plans, sections and elevations. All drawings and sketches submitted with the review form

Project amendments. If changes are made to a project at any time after submission of the initial review form, submit a continuation/amendment sheet. Provide the name and address of the property, indicate changes in project work, giving the originally proposed treatment and the amended work item description. Give the owner's name. Sign and date the form. Give the owner's address and daytime telephone number. Return to City Planning Department. (See sample format.below)

should be numbered and should be keyed to the form.

Scope of Work (Please provide scope of work from	Describe the work to be done on existing feature:
architect for all features to be addressed - include all	
items that follow.)	Paint Color Name & Number and Manufacturer:
Work Item number: Approx. Date of Feature:	Tunit Color Fund & Fundor and Fundamental
Architectural Feature:	
Describe the existing feature and its condition:	Other materials: Type, Color and Manufacturer
Describe the existing readure and its condition.	(Use additional page if necessary)
Accompanying photo number:	

SCOPE OF WORK

Architectural feature: facade brick Approximate date of feature: ca. 1880 Description of feature and its condition: Hard pressed red brick with butter joints in good con Mortar mostly sound, but deteriorated and missing a downspout at east end of facade. Some graffiti at fir	round	Description of work to be performed on existing feature: Repair and replace existing mortar with new to match existing (see specs.). Remove graffitti with chemical cleaners (see specs.).
Architectural feature: Approximate date of feature: Description of feature and its condition: Photo No. Drawing No.	No. 2	Description of work to be performed on existing feature:

PROJECT RENDERING



ST. LOUIS COUNTY JAIL -CONVERSION TO HOUSING

A7.00 ROOM FINISH SCHEDULE

M4.04 MECHANICAL DETAILS

M4.05 MECHANICAL DETAILS

M4.07 PLUMBING DETAILS

ELECTRICAL

M5.00 PLUMBING RISER DIAGRAM

E000 ELECTRICAL TITLE SHEET

E0.01 ELECTRICAL SITE PLAN

E3.00 ELECTRICAL UNIT PLANS E3.10 ELECTRICAL UNIT PLANS

E3.20 ELECTRICAL UNIT PLANS

E3.30 ELECTRICAL UNIT PLANS

E4.00 ELECTRICAL RISER DIAGRAM

ME1.00 MECHANICAL EQUIPMENT SCHEDULES

ME1.01 MECHANICAL EQUIPMENT SCHEDULES

E1.00 BASEMENT AND FIRST FLOOR LIGHTING PLANS

E2.00 BASEMENT AND FIRST FLOOR POWER AND SYSTEMS PLAN

E2.40 FOURTH AND FIFTH FLOOR POWER AND SYSTEMS PLAN

E1.20 SECOND AND THIRD FLOOR LIGHTING PLANS E1.40 FOURTH AND FIFTH FLOOR LIGHTING PLANS

E2.60 ROOF POWER AND SYSTEMS PLAN

E4.10 ELECTRIÇAL DISTRIBUTION SCHEDULES

DULUTH, MN 55802



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

PROJECT TEAM

Blue Limit, LLC 620 South Ninth Street

ARCHITECT & LANDSCAPE ARCHITECT 701 Washington Ave N, Suite 200

612.338.2029 **CIVIL ENGINEER**

Minneapolis, MN 55401

Duluth, MN 55802

218.727.8446

21 West Superior St., Suite 500

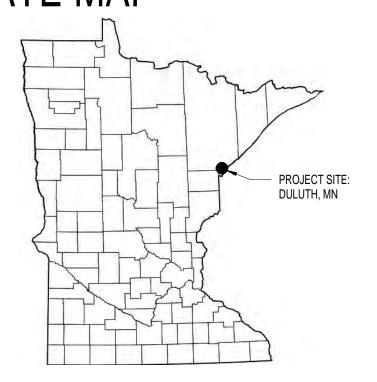
REGIONAL MAP

Mattson Macdonald Young, Inc 901 North 3rd Street, Suite 100 612.827.7825

5430 Douglas Drive N. Crystal, MN 55429-3106

Johnson Wilson Constructors 4431 West Michigan Street PO Box 16006 Duluth, MN 55816 218.628.0202

STATE MAP



BUILDING DATA

BUILDING AREA TABULATION - PROPOSED				
FLOOR NAME	DESCRIPTION	AREA (GSF)		
BASEMENT	APARTMENTS, STORAGE & MECH. (4,090)	6,248		
FIRST FLOOR	APARTMENTS & COMMON AREA	6,248		
SECOND FLOOR	APARTMENTS	6,248		
THIRD FLOOR	APARTMENTS	6,248		
FOURTH FLOOR	APARTMENTS	6,248		
FIFTH FL.	APARTMENTS & MECHANICAL (2,633)	4,591		
TOTAL	-	35,831		

UNIT TYPES AND DATA

ITEMIZED UNIT	DESCR	IPTIO	N				LOOF	?		TOTAL
TYPE	AREA (NET SF)	BR	ВА	ACC	В	1	2	3	4	TYPE
EFF A	465	0	1	В			4	4		8
EFF A2	476	0	1	В		2				2
EFF B	423	0	1	В			1	1		2
EFF B2	388	0	1	В		1				1
EFF C	303	0	1	В		1				1
EFF D	389	0	1	В	1					1
1BR A	564	1	1	В*					3	3
1BR B	542	1	1	B*					1	1
1BR C	648	1	1	В			1	1		2
1BR D	585	1	1	В		1				1
1BR E	529	1	1	В			1	1	1	3
1BR F	694	1	2	B*		1				1
1BR G	_ 61.7 _	_ 1 _	1_	B*		-	-		1_	_ 1 _
1BR+DEN A	616	1	1	Α		1				1
2BR B	807	2	1	В*					1	1
2BR C	709	2	1	В			1	1	1	3
TOTALS				t t	1	7	8	8	8	32

2 BR	32
1 BR + DEN	1
1 BR	12
EFF	15
TOTAL UNIT TYPE	TOTAL TYPE

NOTE: UNIT AREAS INCLUDE THE MECH. SHAFT AREA * MULTI STORY UNITS THAT ARE PROVIDED WITH EXTERNAL ELEVATOR SERVICE TO ONLY ONE FLOOR - THE FLOOR PROVIDED WITH ELEVATOR SEVICE SHALL BE THE PRIMARY ENTRY TO THE UNIT, SHALL COMPLY WITH THE REQUIREMENTS FOR A TYPE B UNIT AND A TOILET FACILITY SHALL BE PROVIDED ON THAT FLOOR. (IBC 1107.7.2)

1	UNIT ACC	ESSIBILITY DATA	
	Units are desi ACC. Type A B	gned to the following Accessibility Standards: <u>Accessibility Standard</u> ICC/ANSI 117.1 - Type 'A' Accessible Unit ICC/ANSI 117.1 - Type 'B' Accessible Unit	
	NUMBER OF	ACCESSIBLE UNITS REQUIRED 6.2.1.1 requires 2% of dwelling units be Type 'A' Accessible:	32 Units x 2% = 1
	NUMBER OF	ACCESSIBLE UNITS PROVIDED	

1 - Type 'A' Accessible Unit is provided.

SHEET INDEX

G0.03 CODE REVIEW - IBC L200 LANDSCAPE DETAILS C100 SITE REMOVALS & EROSION CONTROL PLAN C200 SITE PLAN C300 GRADING PLAN

STRUCTURAL S0.00 STRUCTURAL TITLE SHEET S0.01 STRUCTURAL NOTES

S3.31 FIFTH FLOOR FRAMING SECTIONS AND DETAILS S3.32 FIFTH FLOOR FRAMING SECTIONS AND DETAILS S3.33 FIFTH FLOOR FRAMING SECTIONS AND DETAILS S4.00 ROOF FRAMING SECTIONS AND DETAILS S5.00 STAIR A FRAMING PLANS AND SECTION S5.01 STAIR A FRAMING SECTIONS AND DETAILS S5.02 STAIR FRAMING SECTIONS AND DETAILS S6.00 STRUCTURAL VISUALS

DEMOLITION

D1.00 BASEMENT DEMO PLAN D1.10 FIRST FLOOR DEMO PLAN D1.20 SECOND AND THIRD FLOOR DEMO PLANS D1.40 FOURTH FLOOR DEMO PLAN D1.50 FIFTH FLOOR DEMO PLAN D1.90 DEMOLITION DETAILS D2.00 EXTERIOR DEMOLITION ELEVATIONS D2.01 EXTERIOR DEMOLITION ELEVATIONS ARCHITECTURAL A0.10 ARCHITECTURAL SITE PLAN A1.00 BASEMENT PLAN A1.10 FIRST FLOOR PLAN A1.40 FOURTH FLOOR PLAN A1.60 ROOF PLAN A1.61 ENLARGED COMMON AREA FLOOR PLANS A1.71 UNIT PLANS

A1.72 UNIT PLANS A1.73 UNIT PLANS A1.80 REFLECTED CEILING PLANS - BASEMENT & FIRST FLOOR A1.81 REFLECTED CEILING PLANS - SECOND AND THIRD FLOOR A1.82 REFLECTED CEILING PLANS - FOURTH AND FIFTH FLOOR A1.90 NEW CONSTRUCTION DETAILS A2.00 BUILDING ELEVATIONS A2.01 BUILDING ELEVATIONS A2.10 INTERIOR ELEVATIONS - UNIT KITCHENS & BATHS A2.20 INTERIOR ELEVATIONS - COMMON AREAS A2.21 INTERIOR ELEVATIONS - COMMON AREAS - EXISTING CONDITION PHOTOS

A2.23 INTERIOR ELEVATIONS - COMMON AREAS A2.24 INTERIOR ELEVATIONS - COMMON AREAS - EXISTING CONDITION PHOTOS

ABBREVIATIONS AHJ AUTHORITY HAVING JURISDICTION

CLR CLEAR 'DIMENSION'

UNO UNLESS NOTED OTHERWISE

TYP TYPICAL

A2.22 INTERIOR ELEVATIONS - COMMON AREAS

IBC 2012 INTERNATIONAL BUILDING CODE (W/ 2015 MN AMENDMENTS) IEBC 2012 INTERNATIONAL EXISTING BUILDING CODE (W/ 2015 MN AMENDMENTS 'MN CONSERVATION CODE, FOR EXISTING BUILDINGS') NIC 'WORK' NOT IN CONTRACT

Blue Limit, LLC

620 South 6TH Street Minneapolis, MN 55404

ON FULL SIZE SHEETS

100% CONSTRUCTION DOCUMENTS ISSUED FOR

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

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PROJECT NAME: St. Louis Co Jail -

Conversion to Housing

521 W. 2ND STREET Duluth, MN 55802

DRAWING TITLE: TITLE SHEET

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:

GENERAL CUTTING NOTES:

GENERAL - APPLIES TO ALL CUTTING IN ALL NON-STRUCTURAL WALL TYPES

- 1. CMU/CONCRETE WALLS REQUIRING CUTTING SHALL BE SAWCUT, NEAT, LEVEL AND PLUMB AND
- SHALL NOT DAMAGE ADJACENT AND SURROUNDING WALLS, FLOORS, CEILINGS, OR MATERIALS. 2. GYPSUM BOARD AND PLASTER WALLS REQUIRING CUTTING SHALL BE KNIFE CUT, NEAT LEVEL AND PLUMB AND SHALL NOT DAMAGE ADJACENT AND SURROUNDING WALLS, FLOORS, CEILINGS,
- 3. SEE ALSO SPECIFICATION SECTION 02 41 00 DEMOLITION, FOR MORE INFORMATION.

GENERAL PATCHING NOTES:

GENERAL - APPLIES TO ALL PATCHES AND WALL TYPES

- 1. ALL EMPTY OR ABANDONED HOLES PENETRATING THROUGH WALLS LEFT FROM FASTENERS, CONDUITS, SLEEVES, ANCHORS, PIPES, DUCTS, CABLES, ETC. SHALL BE PATCHED.
- 2. ALL EXISTING OPEN PENETRATIONS IN WALLS, FLOORS, AND CEILINGS AROUND CABLE TRAYS, CONDUITS, PIPES, DUCTS, CABLES, ETC. TO REMAIN SHALL BE PATCHED.
- 3. ALL HOLES, CRACKS AND DAMAGE IN SURFACES OF WALLS, FLOORS, AND CEILINGS LEFT BY
- FASTENERS, ANCHORS, HANGERS, SHELVES, BRACKETS, ETC. SHALL BE PATCHED. 4. FIELD VERIFY FULL EXTENT OF HOLES TO BE PATCHED.
- 5. CAULK IS NOT AN ACCEPTABLE PATCH MATERIAL UNLESS IT IS PART OF A TESTED ASSEMBLY APPROVED BY THE ARCHITECT.
- 6. FOR RATED ASSEMBLIES, PATCHES MUST BE A TESTED ASSEMBLY BY U.L. OR SIMILAR. PATCHES IN ASSEMBLIES WITH HIGHER FIRE RATINGS, SHALL MATCH THE HIGHER FIRE RATING. SEE SHEET G0.01 FOR RATINGS.
- 7: FINISH-CONCEPT: PATCHED-SURFACES SHALL MATCH THE EXISTING SURFACES IN-SMOOTHNESS AND TEXTURE. PATCHES SHALL BE FINISHED SO THEY DO NOT SHOW THROUGH THE NEW FINISH MATERIAL APPLIED TO IT.

PATCHING HOLES PENETRATING THROUGH WALLS

- I. <u>CMU/CONCRETE WALLS</u>: PATCHING MATERIAL SHALL BE MORTAR AND SHALL MATCH THE FULL HICKNESS OF THE ASSEMBLY UNLESS THE TESTED ASSEMBLY BEING USED SHOWS A DIFFERENT THICKNESS. USE FORMS FOR LARGER OPENINGS TO CONTAIN MORTAR PATCH MATERIAL. REMOVE FORMS AFTER PATCH HAS SET AND IS STABLE ON ITS OWN.
- 2. <u>CMU/CONCRETE PATCH MATERIAL</u>: HILTI, INC., CP637 MORTAR OR SIMILAR (U.L. SYSTEM NO. C AJ-0074, OR SIMILAR). SUBMIT PRODUCT INFORMATION AND THE TESTED ASSEMBLY THAT WILL BE USED FOR REVIEW AND APPROVAL BY THE ARCHITECT
- GYPSUM BOARD WALLS: PATCHING MATERIAL SHALL BE JOINT COMPOUND AND TAPE. WHERE REQUIRED, CUT OUT DAMAGED GYPSUM BOARD TO THE NEAREST FRAMING MEMBER IN EACH DIRECTION. INSTALL NEW GYPSUM BOARD, INSULATION, ETC. IN CUT OUT AREA TO MATCH THE WALL ASSEMBLY AND RATING.
- . GYPSUM PLASTER WALLS: SCRAPE AND REMOVE ANY LOOSE PLASTER OR DEBRIS. REINFORCE NITH EXPANDED METAL LATH, CUT SLIGHTLY SMALLER THAN OPENING, FASTENED TO FRAMING, WOOD LATH OR OTHER SOLID SUBSTRATE. APPLY BONDING AGENT (LARSEN'S PLASTER-WELD OR EQUAL) TO EDGES OF SOUND EXISTING PLASTER, RE-PLASTER USING THREE-COAT TECHNIQUE AS PER ASTM C 842 USING MILLED PLASTER PRODUCT (NATIONAL GYPSUM GOLD BOND, USG RED TOP OR EQUAL). SEE SPEC SECTION 09 2300.

PATCHING AROUND EXISTING PENETRATIONS AND SYSTEMS TO REMAIN

- . CMU/CONCRETE WALLS: PATCHING MATERIAL SHALL BE MORTAR AND SHALL MATCH THE FULL THICKNESS OF THE ASSEMBLY UNLESS THE TESTED ASSEMBLY BEING USED SHOWS A DIFFERENT THICKNESS. USE FORMS FOR LARGER OPENINGS TO CONTAIN MORTAR PATCH
- MATERIAL. REMOVE FORMS AFTER PATCH HAS SET AND IS STABLE ON ITS OWN. 2. CMU/CONCRETE PATCH MATERIAL: HILTI, INC., FS635, CP636, OR CP637 MORTAR OR SIMILAR (U.L. SYSTEM NO. C-AJ-4017. OR SIMILAR). SUBMIT PRODUCT INFORMATION AND THE TESTED ASSEMBLY THAT WILL BE USED FOR REVIEW AND APPROVAL BY THE ARCHITECT.
- . GYPSUM BOARD WALLS: PATCHING MATERIAL SHALL BE JOINT COMPOUND AND TAPE. WHERE REQUIRED, CUT OUT DAMAGED GYPSUM BOARD TO THE NEAREST FRAMING MEMBER IN EACH DIRECTION. INSTALL NEW GYPSUM BOARD, INSULATION, ETC. IN CUT OUT AREA TO MATCH THE WALL ASSEMBLY AND RATING.
- GYPSUM PLASTER WALLS: SCRAPE AND REMOVE ANY LOOSE PLASTER OR DEBRIS. REINFORCE ITH EXPANDED METAL LATH, CUT SLIGHTLY SMALLER THAN OPENING, FASTENED TO FRAMING, WOOD LATH OR OTHER SOLID SUBSTRATE, APPLY BONDING AGENT (LARSEN'S PLASTER-WELD OR EQUAL) TO EDGES OF SOUND EXISTING PLASTER. RE-PLASTER USING THREE-COAT TECHNIQUE AS PER ASTM C 842 USING MILLED PLASTER PRODUCT (NATIONAL GYPSUM GOLD BOND, USG RED TOP OR EQUAL). SEE SPEC SECTION 09 2300.

PATCHING HOLES, CRACKS AND DAMAGE IN SURFACES OF WALLS, FLOORS, AND CEILINGS

- CMU/CONCRETE: PATCHING MATERIAL SHALL BE MORTAR. CLEAN AND PREPARE HOLE, CRACK OR DAMAGED AREA TO RECEIVE NEW MORTAR. APPLY BONDING AGENTS, OR SIMILAR AS RECOMMENDED BY THE MORTAR MANUFACTURER FOR THE INTENDED USE.
- 2. CMU/CONCRETE PATCH MATERIAL: HILTI, INC., FS635, CP636, OR CP637 MORTAR OR SIMILAR. SUBMIT PRODUCT INFORMATION ON THE PRODUCT THAT WILL BE USED FOR REVIEW AND APPROVAL BY THE ARCHITECT
- 3. GYPSUM BOARD: PATCHING MATERIAL SHALL BE JOINT COMPOUND AND TAPE. WHERE REQUIRED, CUT OUT DAMAGED GYPSUM BOARD TO THE NEAREST FRAMING MEMBER IN EACH DIRECTION. INSTALL NEW GYPSUM BOARD, INSULATION, ETC. IN CUT OUT AREA TO MATCH THE WALL ASSEMBLY AND RATING.
- 4. GYPSUM PLASTER: SCRAPE AND REMOVE ANY LOOSE PLASTER OR DEBRIS. REINFORCE WITH EXPANDED METAL LATH, CUT SLIGHTLY SMALLER THAN OPENING, FASTENED TO FRAMING, WOOD LATH OR OTHER SOLID SUBSTRATE. APPLY BONDING AGENT (LARSEN'S PLASTER-WELD OR EQUAL) TO EDGES OF SOUND EXISTING PLASTER. RE-PLASTER USING THREE-COAT TECHNIQUE AS PER ASTM C 842 USING MILLED PLASTER PRODUCT (NATIONAL GYPSUM GOLD BOND, USG RED TOP OR EQUAL). SEE SPEC SECTION 09 2300.

CMU/CONCRETE WALL - PATCH ALTERNATE

CMU/CONCRETE WALLS: IN LIEU OF THE PATCHING WITH MORTAR DESCRIBED ABOVE, THE CONTRACTOR MAY PROPOSE USING ABUSE-RESISTANT GYPSUM OVERLAYS IN SOME AREAS PROVIDED THEY COVER THE ENTIRE WALL AREA FROM FLOOR-TO-CEILING AND EDGE-TO-EDGE TO THE NEAREST FULL HEIGHT VERTICAL CORNER OR EDGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ON A PLAN, AND IN WRITING. THE AREAS THEY WOULD LIKE TO OVERLAY AND PRESENT IT TO THE OWNER AND ARCHITECT FOR REVIEW AND APPROVAL, ALONG WITH AN ALTERNATE BID FOR THE DESCRIBED SCOPE OF WORK. THE OWNER SHALL MAKE THE FINAL DECISION ON WHETHER GYPSUM OVERLAYS ARE ACCEPTABLE.

INTERIOR DETAIL NOTES:

THE FOLLOWING NOTES APPLY TO ALL WALL TYPES.

- 1. Refer to the Structural Drawings for locations and special requirements for stud spacing on all bearing wall
- 2. At Unit partition walls, insulate the backside of all receptacles. 3. At Unit separation walls, provide intumescent wrap around receptacles and other electrical boxes. Coordinate
- with Electrical. 4. Install acoustic sealant in drywall assemblies at the following locations, typical:
- a. all perimeter joints:
- b. behind control joints; c. around electical, data and communication boxes;
- d. around pipes and ducts that penetrate wall assemblies; e. at ceiling and base of wall;
- f. elsewhere as required by manufacturers, noted in the wall types or floor-ceiling assemblies, or as specified to achieve the required sound rating for the assembly
- 5. Refer to the Code Analysis sheet for required fire ratings and their locations. Fire ratings noted on the Wall Types are maximums for the assembly and may exceed the actual fire ratings required for the project.
- 6. For wall types that include resilient channel, provide plywood or gypsum board filler strips as follows: 1/2" x 4" along base plate, and 1/2" x 3" around all doors and windows, and around other wall openings such as recessed fire extinguisher cabinets, etc. Adjust size of filler strips as required to properly back trim and appurtenances. Sub-contractor shall coordinate type and material of fillers and blocking required with product mfg. Notify Architect prior to installation if different than noted above.
- 7. If the Contractor proposes alternate insulations or materials from those noted in the Wall Type details, Floor/Ceiling/Roof assemblies, or in the Specification, it is the Contractor's responsibility to show to the Architect, Owner, and Building Official, compliance with the tested assembly noted and the fire and sound
- 8. Do Not install electrical boxes, phone boxes, or other communication / data boxes back-to-back in the same
- 9. See appropriate Specification Sections for additional information on materials, accessories, and installation relative to the Wall Types and Equipment. 10. All openings cut, penetrations made, or equipment installed in fire rated walls, partitions, floors, or ceilings,
- shall be restored, sealed, fire-stopped or otherwise constructed or repaired to maintain the integrity of the fire rating to the full satisfaction of the Architect, Engineer, and Building Official. The General Contractor shall coordinate and be responsible for this work. 11. Installed wall assemblies must comply with the tested assembly noted for that wall type. Only products noted
- in the tested assembly are acceptable for use. It is the General Contractor's responsibility to show compliance with the assembly noted, or propose an equivalent tested assembly using the desired materials, for the Architect, Engineer, and Building Official to review and approve.
- 12. Refer to the detail sheets in this set, and the Specification, for more information and direction on fastening, product descriptions, accessories, etc. 13. See the "General Building Plan Notes" on the building plan sheets for additional information on wall types and

GENERAL PUBLIC STAIR NOTES:

(THESE APPLY TO ALL PUBLIC STAIRS)

their installation.

- 1. FIRE RATINGS MUST EXTEND CONTINUOUSLY THROUGH FLOOR STRUCTURES AND UP TO ROOF DECK (OR INDEPENDENT CEILING STRUCTURE). REFER TO DETAILS.
- 2. NO PENETRATIONS OF STAIR WALLS ARE ALLOWED, EXCEPT FOR ITEMS INDICATED IN
- 3. STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. STAIR TREAD DEPTHS SHALL BE 11 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF ADJACENT TREADS (I.E. TREAD TO TREAD). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE (I.E.
- NOSE TO NOSE). ALL TREADS AND RISERS MUST BE UNIFORM WITHIN 3/8". (IBC 1009.3) 4. PROVIDE HANDRAIL AT EACH SIDE OF EVERY STAIR.
- 5. HANDRAILS SHALL BE 1-1/4" MIN. TO 2" MAX. OUTSIDE DIAMETER OR EQUIVALENT. TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE MOUNTED AT 34" MIN. TO 38" MAX. ABOVE STAIR NOSINGS AND WALKING SURFACES. CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACE AND ADJACENT SURFACES SHALL BE 1-1/2" MIN. AND HANDRAIL MUST NOT PROJECT MORE THAN 4-1/2" FROM WALL. HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE STAIR NOSINGS AND WALKING SURFACES FOR THEIR ENTIRE LENGTH.
- 6. INSTALL CONTINUOUS BLOCKING ON BOTH SIDES OF STAIRS ADEQUATE TO ACCOMMODATE HANDRAIL BRACKET LOADS. LOCATE BLOCKING BEHIND, AND CENTERED ON, HANDRAIL LOCATIONS. INSTALL ADDITIONAL BLOCKING WHERE NECESSARY FOR A COMPLETE AND CODE COMPLIANT INSTALLATION OF STAIRS, HANDRAILS AND BRACKETS. EACH BRACKET SHALL RESIST A LOAD OF 250 POUNDS APPLIED IN ANY DIRECTION, INSTALL HANDRAIL BRACKETS AT 4'-0" MAX. OR CLOSER TO ACHEIVE THE REQUIRED LOAD RESISTANCE. EACH SECTION OF HANDRAIL SHALL
- HAVE TWO BRACKETS, MINUMUM. 7. HANDRAIL TO CONTINUE 12" PAST BOTTOM TREAD NOSE.
- 8. HANDRAIL TO LEVEL OFF AND CONTINUE 12" PAST TOP TREAD NOSE 9. END OF HANDRAIL MUST RETURN TO WITHIN 1/8 INCH OF WALL OR FLOOR.
- 10. NOTES 7, 8 AND 9 APPLY TO TOPS AND BOTTOMS OF HANDRAILS ONLY AND DO NOT APPLY TO
- HANDRAILS THAT ARE CONTINUOUS TO NEXT FLIGHT OF STAIRS. 11. REQUIRED HEADROOM CLEARANCE SHALL BE 80 INCHES MIN. MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGE OF THE NOSES. (IBC 1009.2)

GENERAL UNIT PLAN NOTES:

(THESE APPLY TO ALL DWELLING UNITS)

- 1. DIMENSIONS AT EXTERIOR WALLS ARE TO INTERIOR FINISH FACE OF EXISTING EXTERIOR WALL. 2. DIMENSIONS AT PARTY WALLS BETWEEN UNITS ARE TO THE CENTERLINE OF FRAMING (IF IT IS A
- SINGLE-STUD WALL) OR TO THE CENTERLINE OF THE AIR SPACE (IF IT IS A DOUBLE STUD WALL). 3. DIMENSIONS AT INTERIOR UNIT WALLS AND AT CORRIDOR WALLS ARE TO FACE OF STUDS.
- 4. NOT USED 5. REFER TO WALL TYPES (SHEET A5.00) FOR ASSEMBLY DETAILS OF WALLS DESIGNATED WITH IDENTIFIER INSIDE ◊
- 6. REFER TO UNIT ROOM FINISH SCHEDULE (SHEET A7.00) FOR INTERIOR FINISH MATERIAL TYPES. 7. REFER TO UNIT DOOR SCHEDULE (SHEET A5.20) FOR INFORMATION ON DOORS AND OPENINGS
- WITHIN DWELLING UNITS. 8. PARTY WALLS BETWEEN UNITS SHALL BE INSULATED AND AIR AND SOUND SEALED. REFER TO
- DETAIL SHEET FOR INSULATION, BOXES AND PENETRATIONS AND SEALANT INFORMATION. 9. INSTALL INSULATION IN ALL BATHROOM WALLS AND WALLS CONTAINING PLUMBING PIPES AND AS SHOWN/NOTED ON WALL TYPES (SHEET A5.00).
- 10. MINIMUM CEILING HEIGHT REFER TO GENERAL BUILDING PLAN NOTE NUMBER 14. 11. ALL INTERIOR UNIT WALLS ARE TYPE A3 U.N.O.

GENERAL KITCHEN NOTES:

(THESE APPLY TO ALL KITCHENS)

- 1. BLOCKING MUST BE INSTALLED IN ALL AREAS WHERE REQUIRED FOR MOUNTING CABINETS. 2. AT ALL PENETRATIONS OF EXTERIOR OR PARTY WALLS REFER TO SPECIAL DETAILS IN DRAWINGS
- 3. CABINET SUPPLIER TO SUPPLY FILLERS. ADJUST LAYOUT TO PREVENT DOOR AND DRAWER INTERFERENCE AT INSIDE CORNERS AND TO ACCOMMODATE ALL APPLIANCES. 4. CABINET SUPPLIER TO VERIFY ACTUAL DIMENSIONS AND REQUIRED CLEARANCES FOR ALL
- SCHEDULED APPLIANCES. VERIFY FINAL APPLIANCE SELECTIONS WITH GENERAL CONTRACTOR. 5. 30" OR 36" UPPER CABINETS SHALL HAVE TWO ADJUSTABLE SHELVES. 18" AND 24"
- UPPERCABINETS SHALL HAVE ONE ADJUSTABLE SHELF. INSTALL BASE TRIM AT WALL BEHIND AND ADJACENT TO ALL REFRIGERATORS AND RANGES.
- 7. VERIFY ALL ISLAND AND PENINSULA ELECTRICAL OUTLET LOCATIONS WITH ELECTRICIAN AND PROVIDE ANY NECESSARY CABINET MODIFICATIONS FOR THESE OUTLETS. 8. PROVIDE FINISHED END AND BACK PANELS AT ALL EXPOSED CABINET ENDS AND BACKS.
- 9. INSTALL WALL BASE AT BACK AND ENDS OF ALL ISLAND AND PENINSULA CABINETS. MITER
- 10. PROVIDE MANUFACTURER'S CABINET FINISH TOE KICK SURFACE; TRIM TOE KICK BACK AT EXPOSED CABINET ENDS TO MAKE FLUSH CORNER WITH WALL BASE. 11. PROVIDE END SPLASH AT COUNTERTOP AT ALL SIDEWALLS.
- 12. INSTALL SEALANT AT THESE LOCATIONS:
- a. BACKSPLASH AND END SPLASH TO COUNTERTOP (UNLESS INTEGRAL);
- b. TOP AND EDGES OF BACKSPLASH AND ENDSPLASH AT DRYWALL; c. ALL HOLES AND PENETRATIONS OF WALL, FLOOR OR CEILING SURFACE AT PIPES, WIRES,
- CONDUITS, VENTS OR DUCTS. USE FIRE CAULK IF WALL IS FIRE RATED. 13. INSTALL FINISHING FLANGE (ESCUTCHEON) AT WALL AT ANY PIPE PENETRATIONS EXPOSED IN
- ROOM OR INSIDE CABINETS. 14. INSTALL HEAT SHIELD (GREASE SHIELD) BEHIND EVERY RANGE AND ON SIDEWALL IF RANGE IS
- WITHIN 6" OF SIDEWALL 15. ALL CABINET IDENTIFIER REFERENCES MATCH THE SMART CABINET PRODUCT LINE - BASIS OF

GENERAL BATHROOM NOTES:

(THESE APPLY TO ALL BATHROOMS)

- 1. BLOCKING MUST BE INSTALLED IN ALL BATHROOMS FOR GRAB BARS, TOWEL BARS, DISPENSERS, HOOKS AND RODS. ALL TUBS AND SHOWERS MUST HAVE BUILT-IN BLOCKING FOR GRAB BARS, BLOCKING MUST WITHSTAND 250-POUND PULL.
- 2. USE "M-R" (MOLD-RESISTANT) GYPSUM BOARD AT ALL PLUMBING WALLS AND WALLS ADJACENT TO FIXTURES. THICKNESS, FIRE-RATING AND WALL CONSTRUCTION ARE TO BE AS SHOWN ON WALL TYPES (SHEET A5.00). 3. DRYWALL FINISHES, INCLUDING CEILING, SHALL BE SMOOTH
- 4. AT ALL PENETRATIONS OF EXTERIOR OR PARTY WALLS REFER TO SPECIAL DETAILS IN
- 5. PROVIDE END SPLASH AT ALL SIDEWALLS FOR ALL VANITY TOPS. 6. INSTALL SEALANT AT THESE LOCATIONS:
- a. BASE OF TOILET
- b. TUB OR SHOWER AT JOINT WITH FLOORING: c. TUB OR SHOWER FULL PERIMETER AT DRYWALL
- d. VANITY SPLASH OR END SPLASH TO COUNTERTOP (UNLESS INTEGRAL);
- e. TOP AND EDGES OF VANITY SPLASH AT DRYWALL; f. ALL HOLES AND PENETRATIONS OF WALL, FLOOR OR CEILING SURFACE AT PIPES, WIRES, CONDUITS, VENTS OR DUCTS. USE FIRE CAULK IF WALL IS FIRE RATED.
- . INSTALL FINISHING FLANGE (ESCUTCHEON) AT WALL AT ANY PIPE PENETRATIONS EXPOSED IN ROOM OR INSIDE CABINETS. 8. INSTALL WALL BASE AT TOE KICK AND EXPOSED ENDS OF VANITY; MITER AT OUTSIDE

GENERAL ELEVATOR NOTES:

1. Existing elevator is to be removed from the existing shaft

- 2. Elevator shall be a custom designed elevator to fit the dimensions of the existing steel plate walls of the elevator shaft. All requisite equipment for the elevator is to be housed above the elevator shaft 3. The elevator is to be a front/rear elevator with 4 front stops and 2 rear stops
- 4. See Mechanical for drains and sumps in elevator pit, hoistway venting, and HVAC requirements for equipment
- 5. See Electrical for required devices, wiring and lights in elevator pit, hoistway, and equipment room.
- 6. See Structural for hoisting beam and additional hoistway structural information.
- 7. Provide rail supports at each floor, in overhead, and intermediate levels as required by the elevator manufacturer. Coordinate requirements for rail mounting with the elevator manufacturer/supplier. Install manufacturer approved
- support, at each floor, in overhead, and intermediate levels as required. 8. Provide blockouts/cutouts required for hall button boxes, signal fixtures, and hatch duct. Coordinate sizes and locations of the blockouts/cutouts with the elevator manufacturer/supplier.
- 9. Provide Class "ABC" fire extinguisher in equipment area, or as required by local codes, if different. 10. See Specification Section 14 20 10 for additional elevator specifications, requirements and finishes.

HISTORIC APPROVAL:

The St. Louis County Jail is on the MN State and National Historic Register. This project received approval for historic tax credits by the US Department of the interior - National Park Service and the MN State Historic Preservation Office based on the report that was compiled by the historic consultant, PVN. The report is included as part of the project and included in the specifications. Several preservation briefs are referenced throughout the report and are included in the specifications as reference material. It is imperative that the scope of work described in the report be carried out in order to maintain these approvals through the construction process.

BELOW IS A LIST OF THE NUMBERS AND ASSOCIATED FEATURES THAT ARE IN THE HISTORIC REPORT. THESE REFERENCES WILL BE NOTED THROUGHOUT THE DOCUMENTS TO PROMPT REVIEW OF THE

1 SITE

- (2) EXTERIOR WALLS MASONRY
- (3) WINDOWS
- (4) PRIMARY ENTRANCES SOUTH AND SOUTHEAST FACADES
- (5) SECONDARY ENTRANCES NORTH, WEST AND SOUTHEAST FACADES
- (6) LOADING ENTRANCE GARAGE DOOR AT EAST FACADE (7) SIGNAGE
- (8) FIRE ESCAPE
- (9) ROOF ROOFING, PARAPET DRAINAGE
- (10) ROOF PENTHOUSE, ACCESS
- (11) ROOF MECHANICAL EQUIPMENT
- (12) STRUCTURE
- 13) STRUCTURE CELL FRAMING
- (14) LOWER LEVEL
- (15) FIRST LEVEL
- (16) SECOND THROUGH FOURTH LEVEL (17) FIFTH LEVEL
- (18) ADDITION
- (19) CIRCULATION LOBBY AND VESTIBULE
- (20) CIRCULATION CORRIDORS
- (21) CIRCULATION TUNNEL
- (22) CIRCULATION STAIRS
- (23) CIRCULATION ELEVATOR
- 24) CIRCULATION RAMPS
- (25) INTERIOR FINISHES EXTERIOR AND PARTITION WALLS (26) INTERIOR FINISHES - CEILINGS
- (27) INTERIOR FINISHES FLOORS
- (28) INTERIOR FINISHES DOORS
- 29) MECHANICAL HVAC SYSTEM (30) ELECTRICAL - POWER AND LIGHTING
- 31) PLUMBING PIPING LAYOUTS AND FIXTURES
- (32) FIRE PROTECTION

GENERAL BUILDING PLAN NOTES:

- 1. Coordinate this Architectural plan with plans by all other-disciplines in the documents, such as-Civil, Structural, Mechanical, Plumbing, Electrical, Fire Protection Plans, and others as necessary. Note: Symbols used in plans by other disciplines may differ from Architectural Symbols.
- 2. Refer to the Code Analysis on Sheet G0.01, G0.02, G0.03 for required fire ratings, types and locations of rated assemblies. Note: Fire ratings noted on the Wall Types on Sheet A5.00 (and A5.01...if applicable) are maximum ratings for that wall type and may exceed the actual required ratings for this project. If ratings noted are different, the fire ratings noted in the Code Analysis shall supercede the ones on the Wall Types. Contact the architect immediately if further clarification is needed about required fire ratings.
- 3. Coordinate all shop drawing submittals, including the product and equipment sizes, specifications and manufacturers installation instructions, with the plans in the documents. Notify the architect immediately if there
- are any discrepencies, conflicts, or additional requirements that need clarification and/or further direction. 4. Each Trade/Discipline shall work cooperatively with all other Trades/Disciplines to coordinate and complete the Work described within the Project's Schedule and Budget.
- requirements shown on these plans are acceptable for installation and proper use of their respective systems. materials and equipment. Each Trade and/or Installer shall field verify dimensions related to the installation of their work to ensure that what is shown on the plans is coordinated with the existing field conditions and the work of other trades. This shall include requirements for shafts, soffits, penetrations, or enclosures. Trades and/or Installers, shall notify the General Contractor immediately if changes are required, or if there are any discrepencies, conflicts, or additional requirements that need clarification and/or further direction, prior to starting work. The General Contractor shall review and notify the Architect immediately to request clarification and further

5. It is the responsibility of each Trade and/or Installer to review and verify that all dimensions, sizes, locations, and

- direction on how to proceed. 6. Where access panels are required for equipment, utilities, or devices, those panels shall be installed whether or not they are specifically shown on the drawings. When installed in a fire rated assembly, the access panel must befire rated to match the rating of that assembly. Verify all panel locations with architect and owner before installing. 7. Refer to Wall Types on Sheet A5.00 (and A5.01...if applicable) for details and descriptions of wall type assemblies.
- Wall Types are identified in the documents inside the following diamond symbol 0 - 8. All openings cut, penetrations made, or equipment installed in fire rated assemblies such as walls, partions, floors, ceilings, etc. shall be restored, sealed, firestopped, or otherwise constructed to maintain the integrity and fire rating of the assembly to the full satisfaction of the architect, engineer, building official and owner. The general contractor
- shall coordiante and be responsible for this work. 9. Refer to Room Finish Schedule on Sheet A7.00 for interior finish materials and types.
- 10. Refer to Door & Frame Schedule on Sheet A5.20 for information on doors, frames and openings. All doors are numbered and are listed by that number in the Schedule. Notify the architect immediately if there are any discrepencies, conflicts, or additional requirements that need clarification and/or further direction.
- 11. Refer to Enlarged Plans identified on the Building Plans, when provided, for additional information to supplement 12. Exterior walls, and party walls between dwelling units, shall be insulated, and air and sound sealed as indicated in
- the documents. Refer to the detail sheets and project manual for more information on types and installation procedures for insulation, weather resistant membranes, air sealing and vapor retarders, device boxes and penetrations, and sealants, etc.
- 13. Install acoustic batt insulation in all bathroom walls and walls containing plumbing pipes and as shown/noted on wall types on Sheet A5.00 (and A5.01...if applicable). 14. Ceiling heights shall be as noted on the Reflected Ceiling Plans (RCPs) and in the Room Finish Schedule. Minimum ceiling height throughout is 7'-6" AFF, including at soffits, unless specifically noted otherwise. All
- sprinkler heads below 7'-6" AFF shall be recessed type. Notify the architect immediately if there are any discrepencies, conflicts, or additional requirements that need clarification and/or further direction. 15. Refer to Interior Details on A6 Series sheets for details and information on shelves, soffits, access panels, wall caps, attic hatch (when applicable), floor transitions, standard and accessible mounting heights, and other interior
- 16. Provide blocking in walls for mounting equipment, rails, stops, and all other specialties and accessories. Refer to
- Standard Mounting Heights on Sheet A6.03 unless noted otherwise. 17. All exposed pipes, vents, and conduit penetrating walls, floors, or ceilings shall have finished trim rings
- 18. Exterior landings, stoops, and porches shall be level across doorways and shall slope away from the building at 1/4" per foot.
 - EXTERIOR WALLS: To exterior face of sheathing, or exterior face of CMU or cast-in-place concrete.

COLUMNS: To centerline of columns.

UNIT SEPARATION WALLS (PARTY WALLS):

DOUBLE STUD WALLS: To centerline of the air space between the walls.

CORRIDOR WALLS: To face of studs. INTERIOR UNIT WALLS: To face of studs.

· SINGLE STUD OR STAGGERED STUD WALLS: To centerline of framing (i.e. center of top or

WINDOWS, DOORS, EQUIPMENT AND FEATURES: To centerlines in framed walls, or to face of rough-openings in CMU, masonry, or cast-in-place concrete walls, unless noted otherwise A. ALL NEW HYDRONIC PIPING FOR THE BASEBOARD HEAT THROUGHOUT THE BUILDING SHALL BE RUN VERTICALLY THROUGH THE EXISTING CHASES IN THE EXTERIOR WALLS. ALL CHASES ARE TO BE FIRE BLOCKED WITH MATERIAL SPECIFIED IN MECHANICAL DRAWINGS AT EACH FLOOR LEVEL.

B. ALL EXISTING STEEL PLATE WALLS THAT ARE TO REMAIN AND BE EXPOSED TO THE

ROOM/CORRIDOR SHALL BE SCRAPED, SANDED AND PAINTED. C. WELD STEEL PLATES TO EXISTING STEEL PLATE WALLS AT ALL EXISTING HOLES FROM PLUMBING. VENTILATION AND OTHER PENETRATIONS - SEE DETAIL 10/A6.01



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	OIN FULL SIZE SI	TEETS
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NO	DATE	ISSUED FOR

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DATE REVISION

I HEREBY CERTIFY that this plan, specification or

supervision and that I am a duly Licensed Architect

report was prepared by me or under my direct

under the laws of the State of Minnesota.

ANDREW MADSON Typed or Printed Name: Date: 1/10/20

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Signature:

St. Louis Co Jail Conversion to Housing

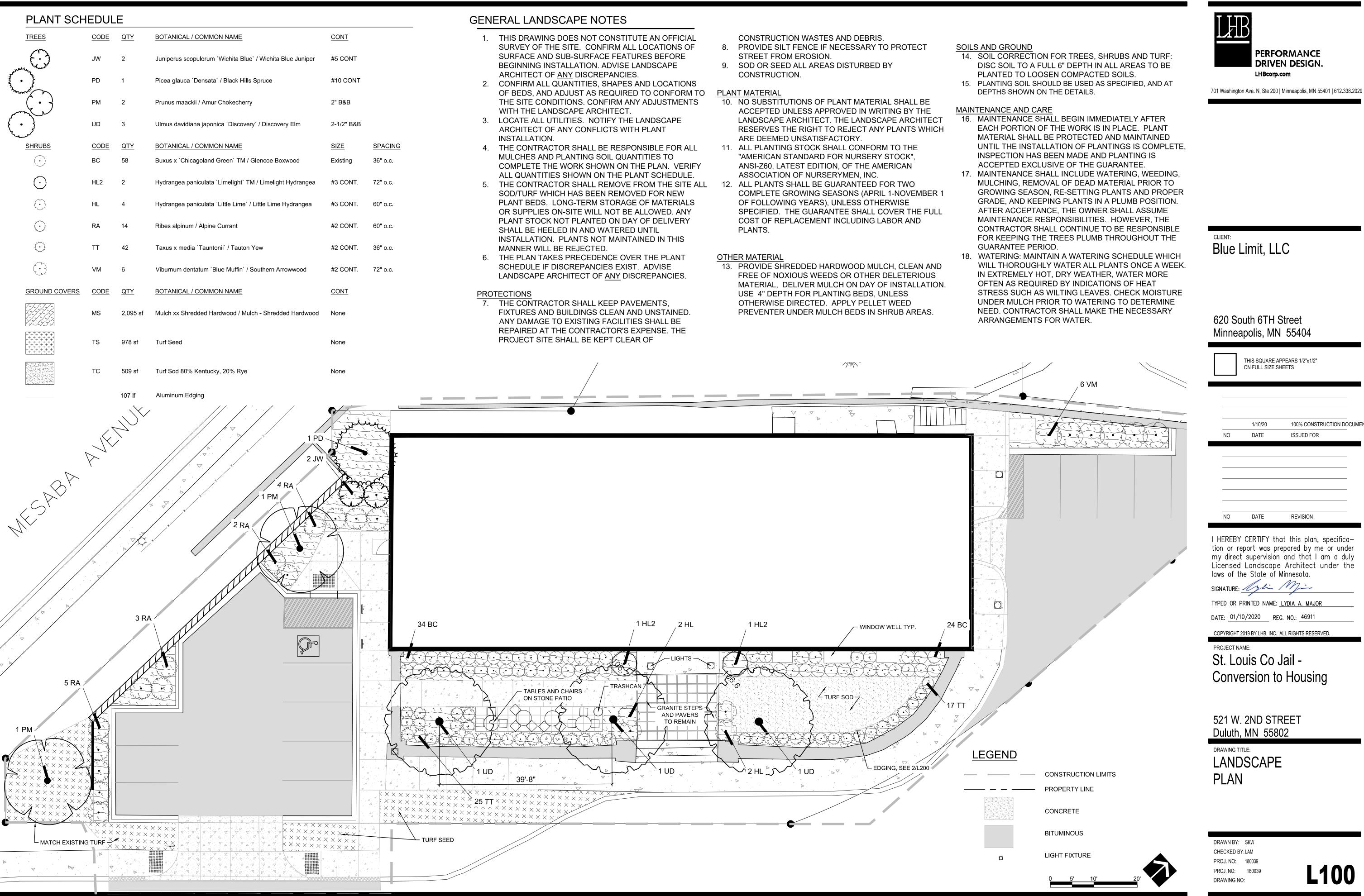
521 W. 2ND STREET Duluth, MN 55802

PROJECT NOTES

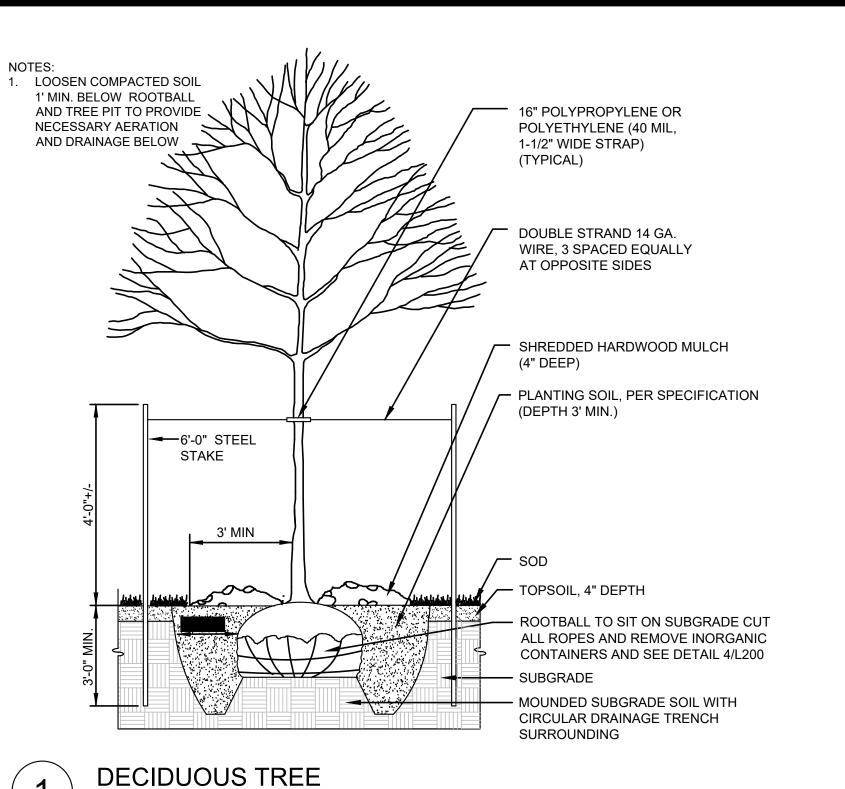
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PROJ. NO: 180039 DRAWING NO:

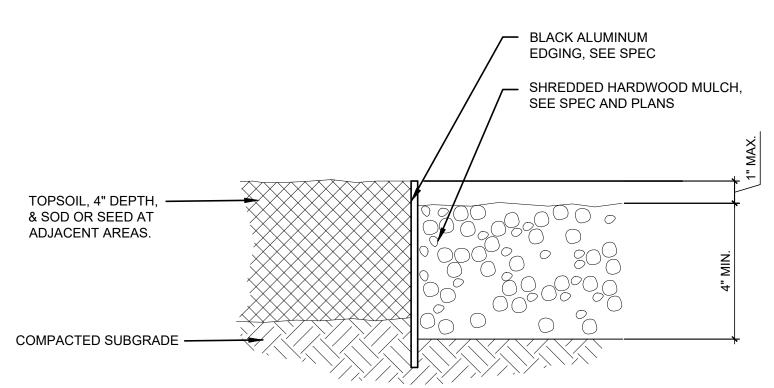


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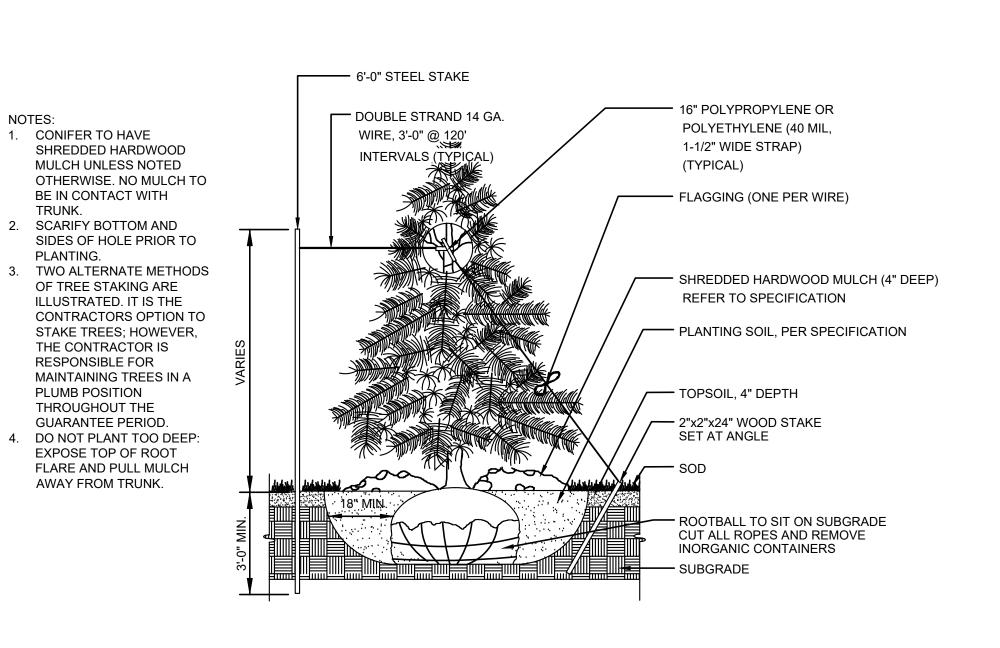
INSTALL TOPSOIL EVEN WITH TOP OF EDGING 2. SEE PLAN FOR LIMITS OF EDGING AND MULCH

TRUNK.

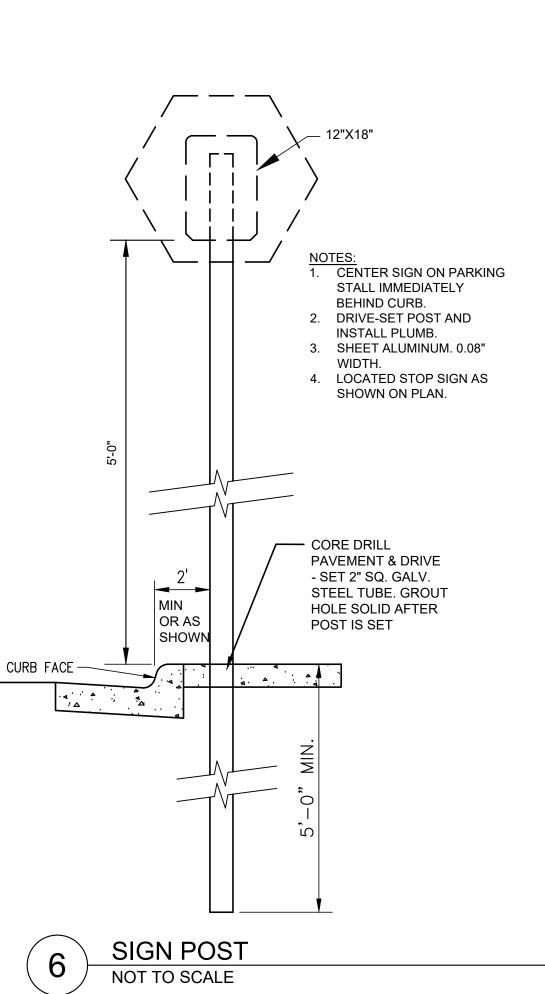


EDGING AND MULCH NOT TO SCALE

SHRUB PLANTING NOT TO SCALE



CONIFEROUS TREE PLANTING NOT TO SCALE



HAND LOOSEN ROOTS OF CONTAINERIZED MATERIAL (TYPICAL).

PER PLAN

2. HAND REMOVE EXCESS SOIL AT TOP OF ROOT BALL TO EXPOSE TOP OF ROOT FLARE. TYPICALLY REQUIRES THE REMOVAL OF

3. ENSURE THAT FIRST MAIN LATERAL ROOT IS LESS THAN 1"

4. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

6. APPLY PELLET WEED PREVENTER PRIOR TO MULCHING.

1-6" OF SOIL FROM CONTAINER OR B&B.

BELOW THE FINAL PLANTING SURFACE.

5. SHRUBS TO SIT ON SUBGRADE.



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SHREDDED HARDWOOD

SPECIFICATION DEPTH 18" MIN

—GROUND COVER REFER TO

SLIT ORGANIC CONTAINER, OR REMOVE INORGANIC CONT.

AND SEE DETAIL 4/L200

MULCH (4" DEEP)

TOPSOIL, 4" DEPTH

SPECIFICATION

APPROVED SUBGRADE

- PLANTING SOIL, PER

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NO	DATE	ISSUED FOR

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly

Licensed Landscape Architect under the laws of the State of Minnesota. SIGNATURE: Osli Mi

TYPED OR PRINTED NAME: LYDIA A. MAJOR DATE: 01/10/2020 REG. NO.: 46911

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PROJECT NAME: St. Louis Co Jail -

Conversion to Housing

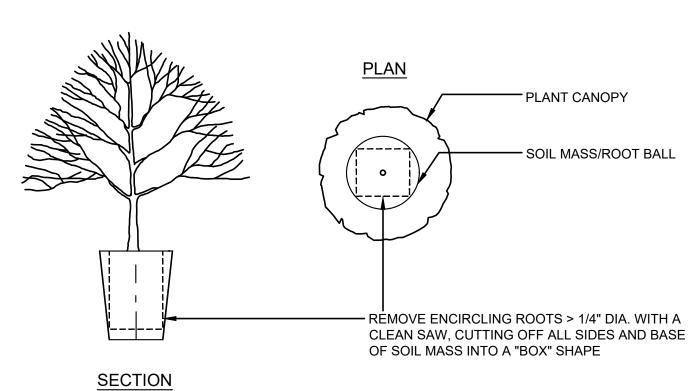
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DRAWING TITLE:

LANDSCAPE DETAILS

DRAWN BY: SKW CHECKED BY:LAM PROJ. NO: 180039 PROJ. NO: 180039

DRAWING NO:



BOXING PROCEDURE FOR CONTAINERIZED PLANTS NOT TO SCALE

NOTES:

1. FOR TREES, SHRUBS, AND PERENNIALS WITH INORGANIC

2. "BOXING" IS ONLY NECESSARY ON PLANTS THAT HAVE

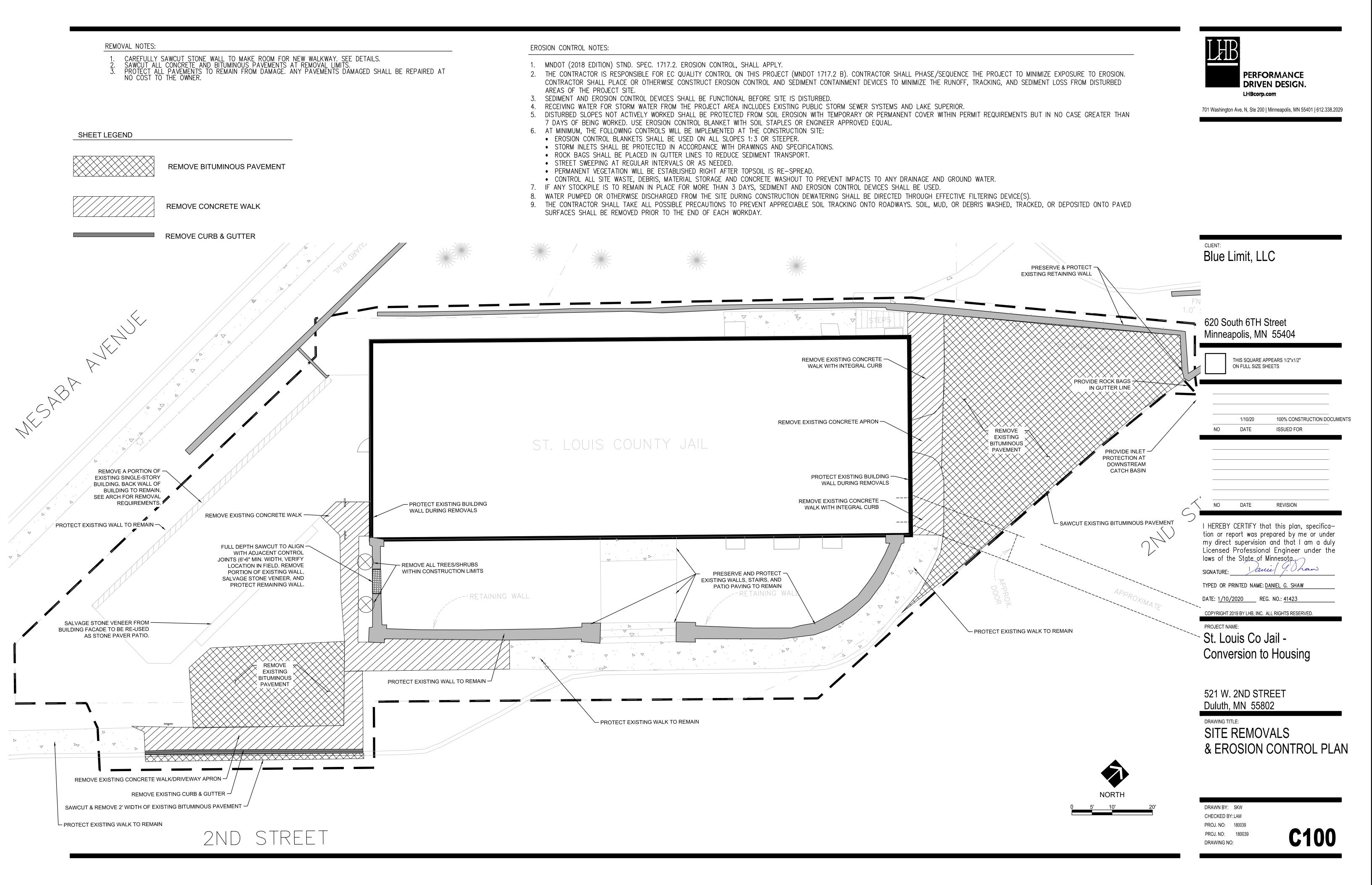
"BOXING" THE ROOT BALL (TYPICAL).

3. HAND LOOSENING OF ROOTS IS STILL NECESSARY AFTER

ENCIRCLING ROOTS WITH DIAMETERS GREATER THAN 1/4".

CONTAINERS, FOLLOW THE "BOXING" PROCEDURE TO REMOVE

NOT TO SCALE

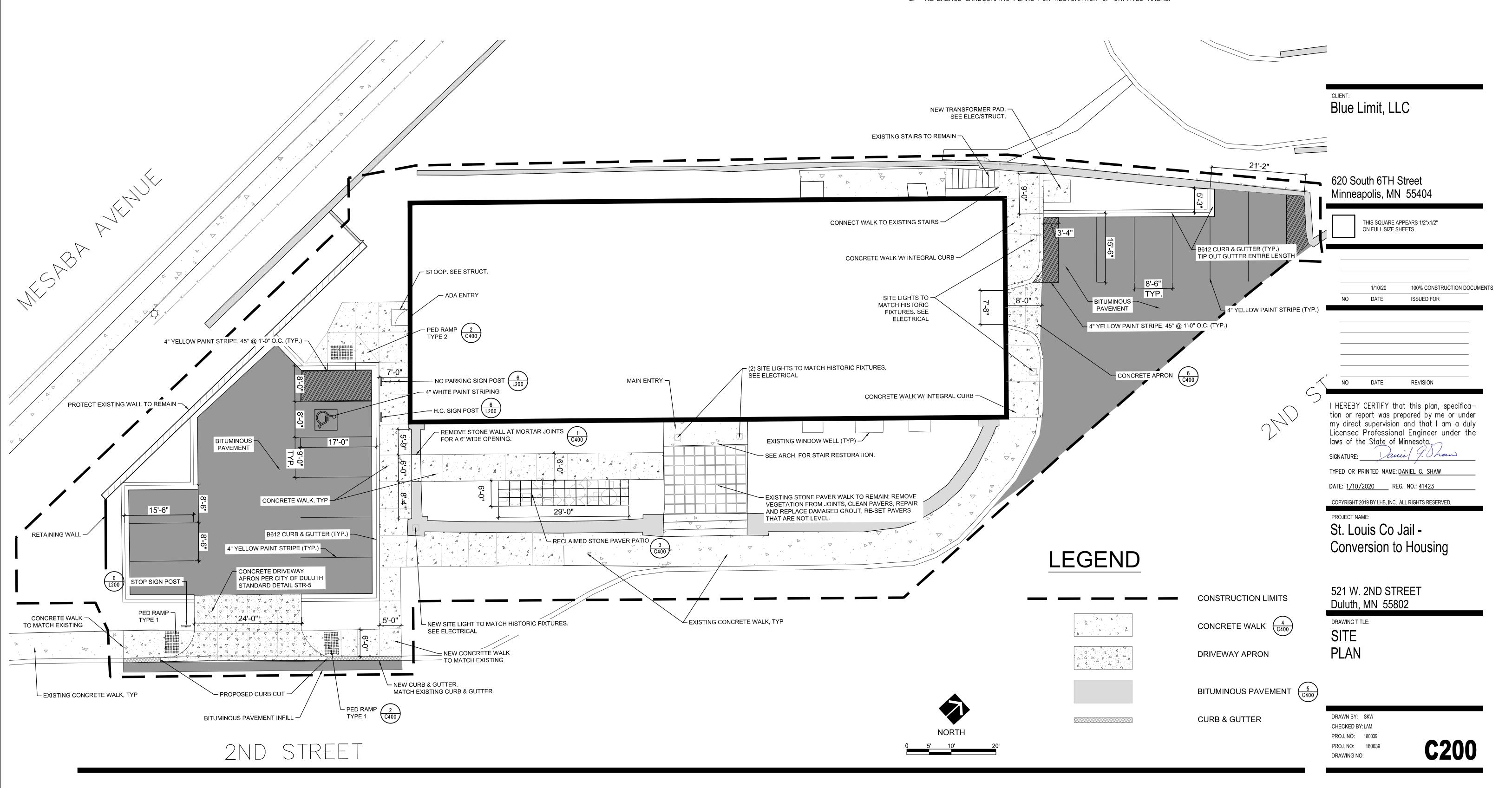


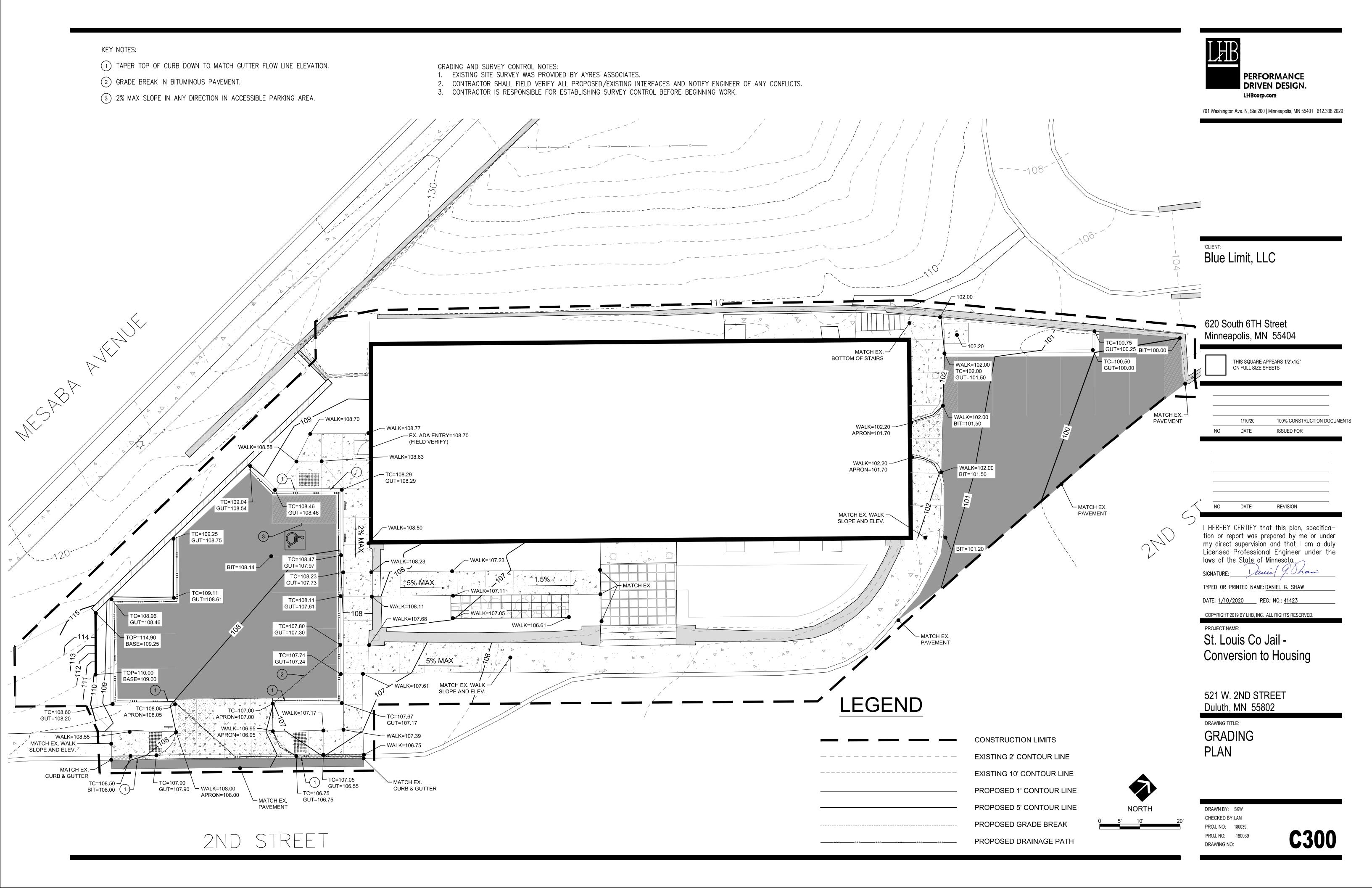


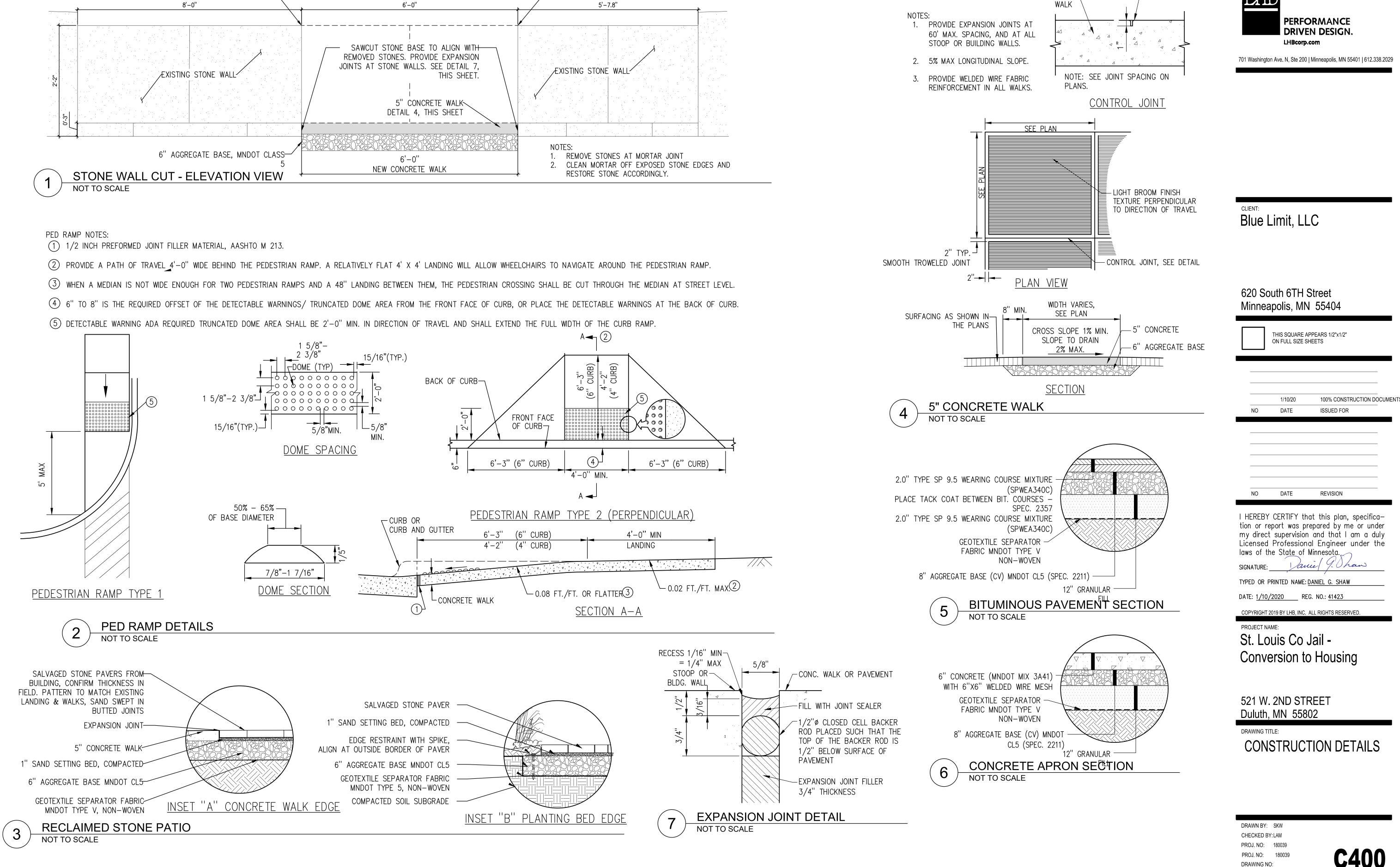
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PLAN NOTES:

1. PROVIDE EXPANSION JOINT AT ALL CONCRETE WALK/BUILDING INTERFACES. 2. REFERENCE LANDSCAPING PLANS FOR RESTORATION OF UNPAVED AREAS.



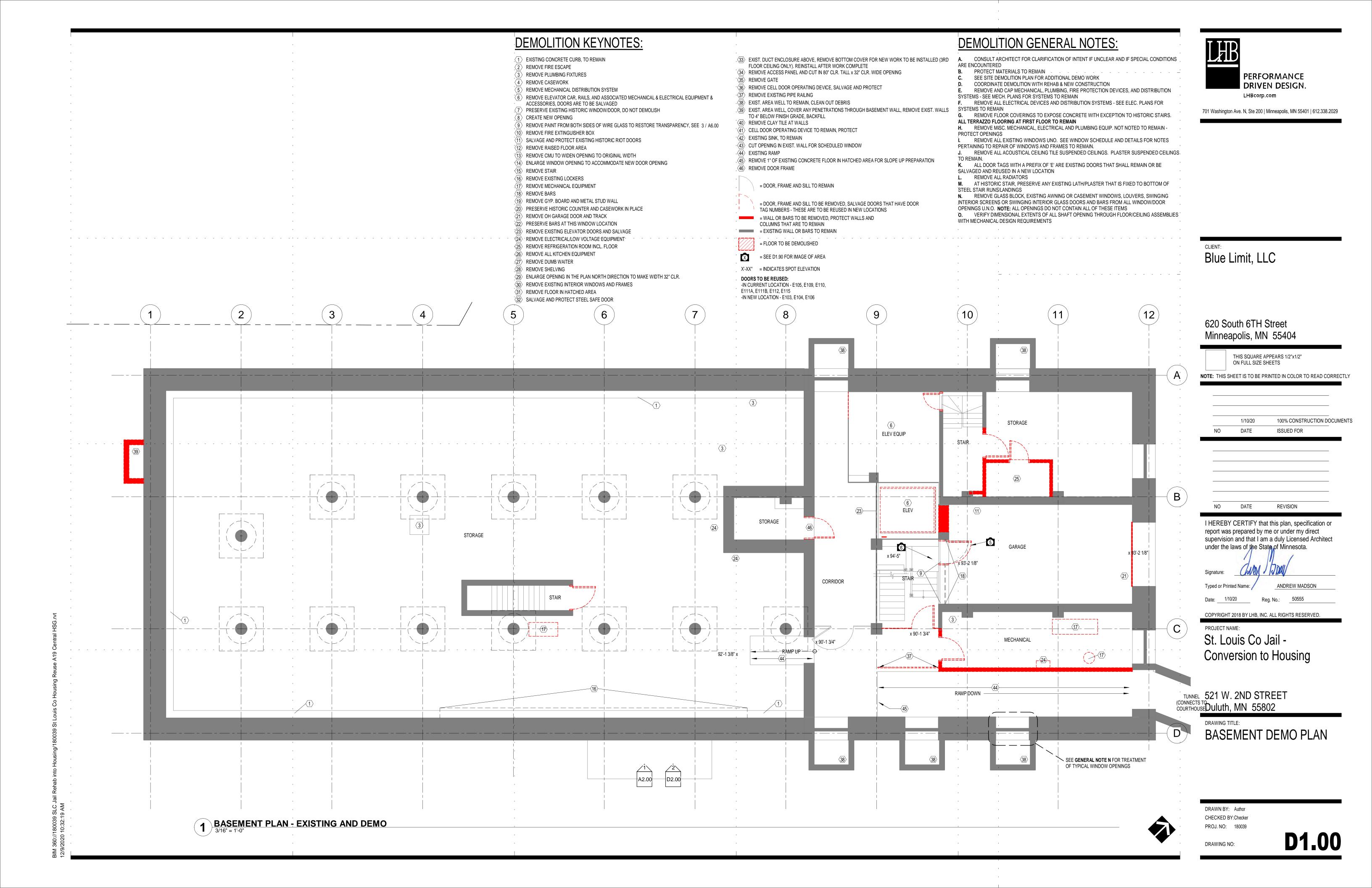


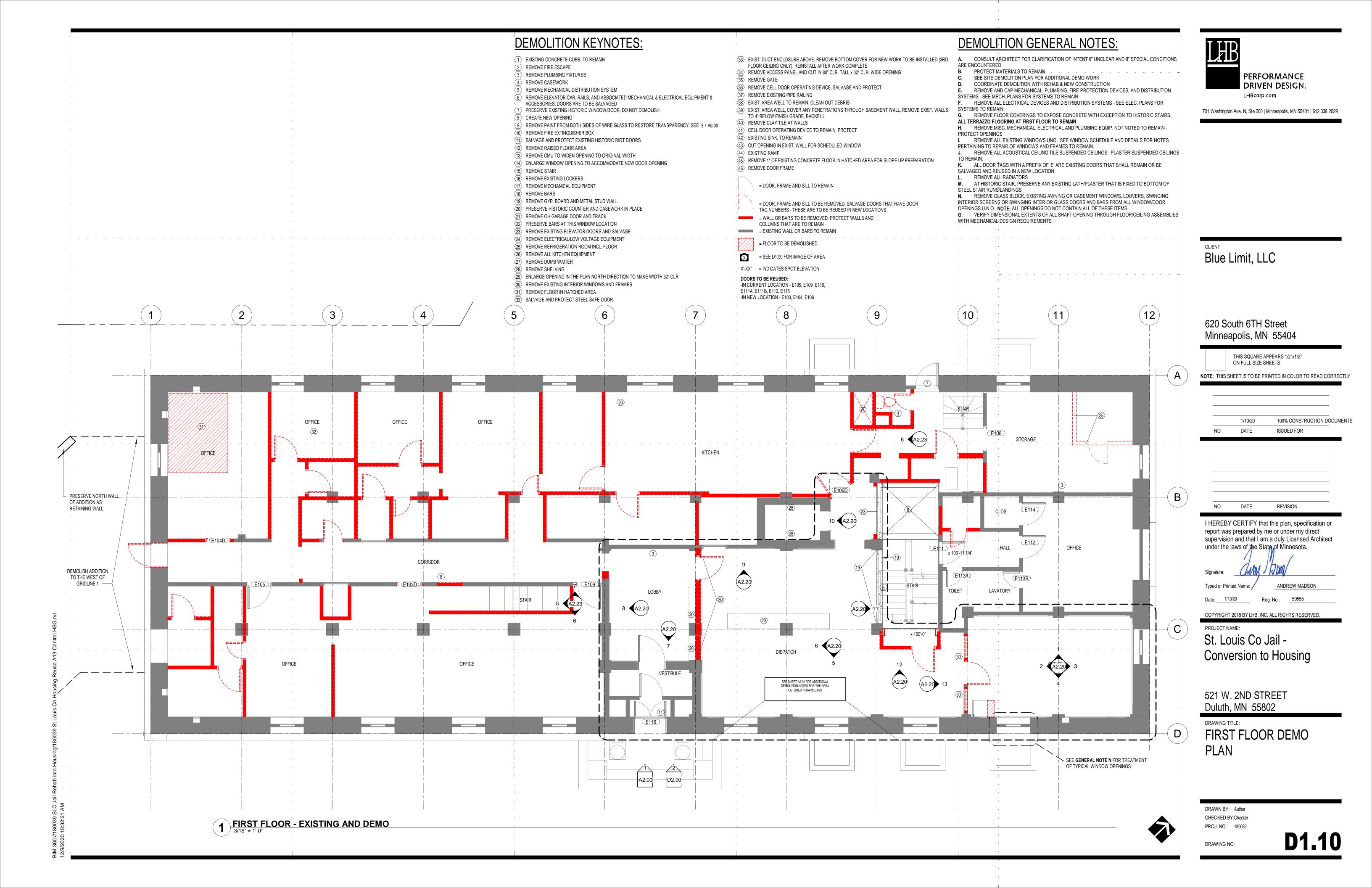


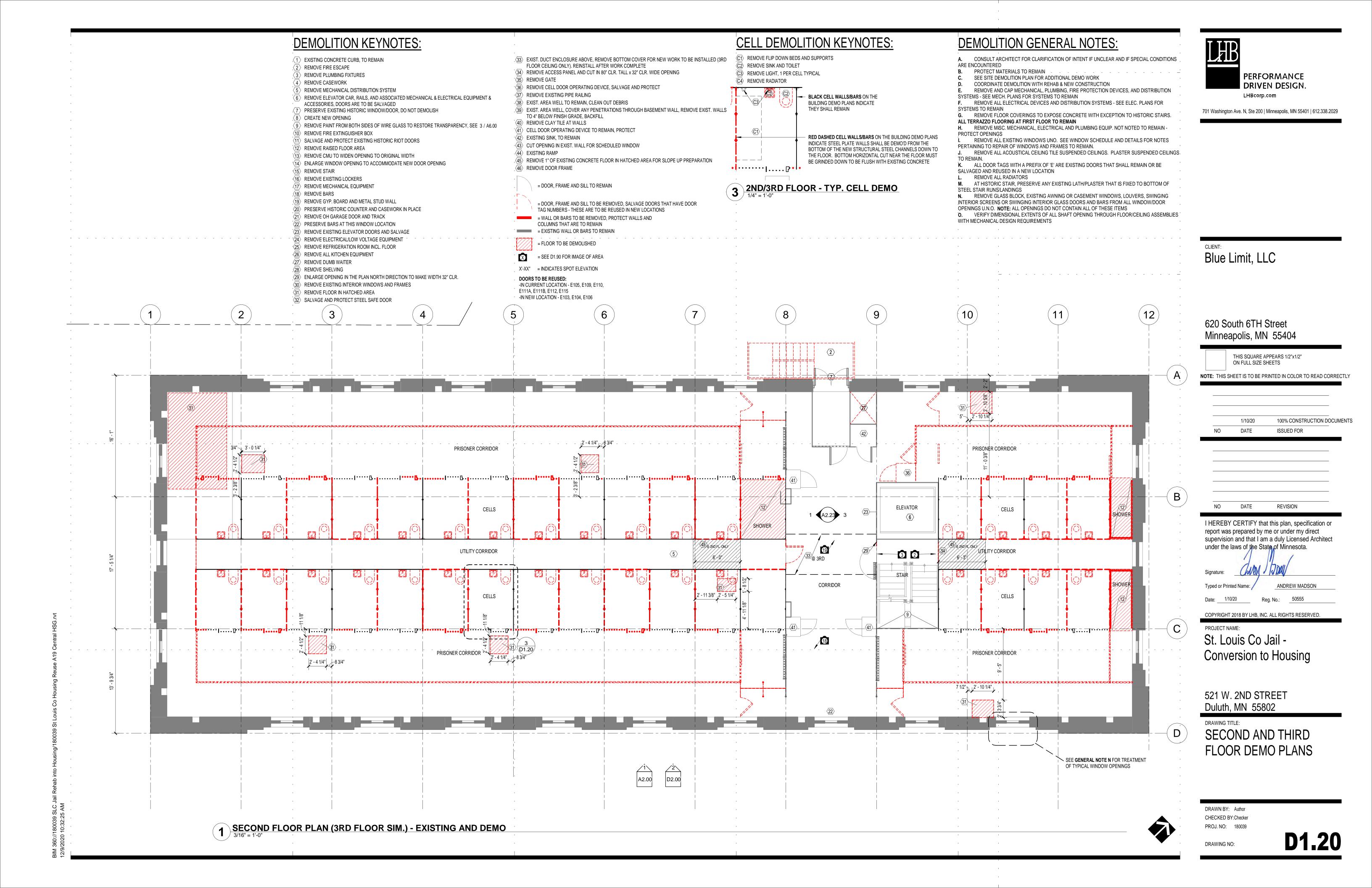
 $\overline{}$ REMOVE STONE AT NEAREST MORTAR JOINT FOR 6' WIDE OPENING $\overline{}$

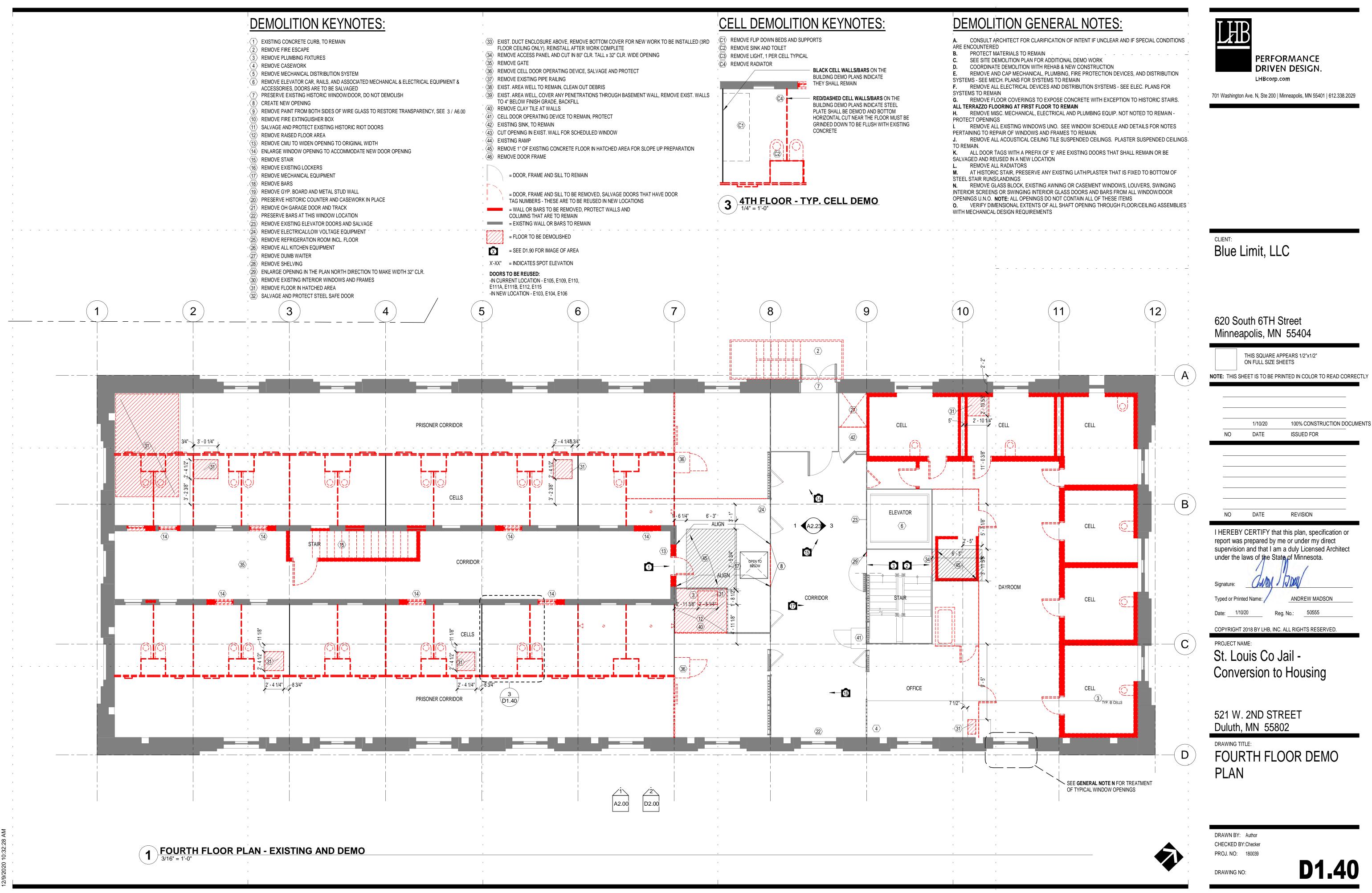
- TOOLED JT.

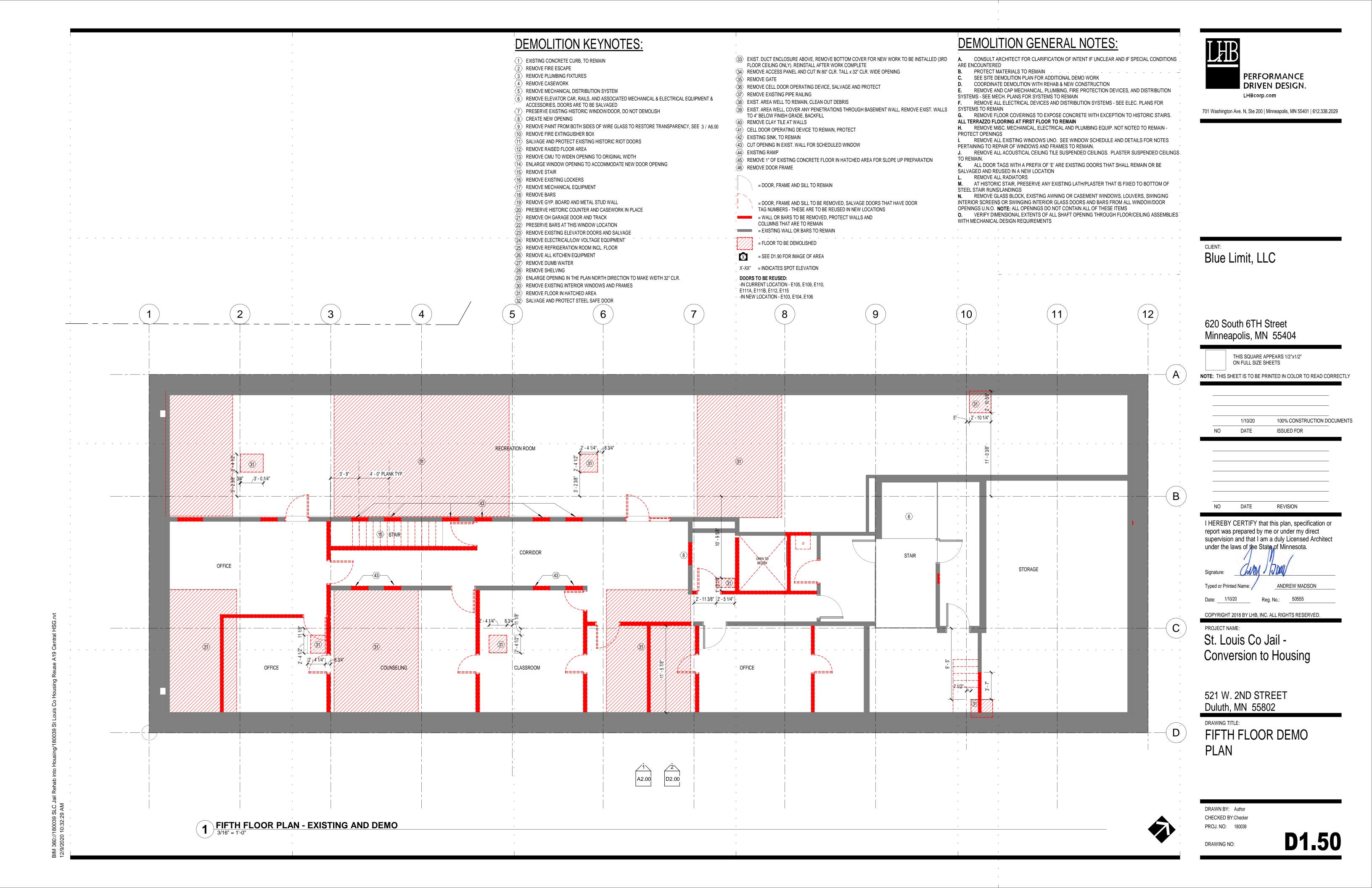
5" CONC.

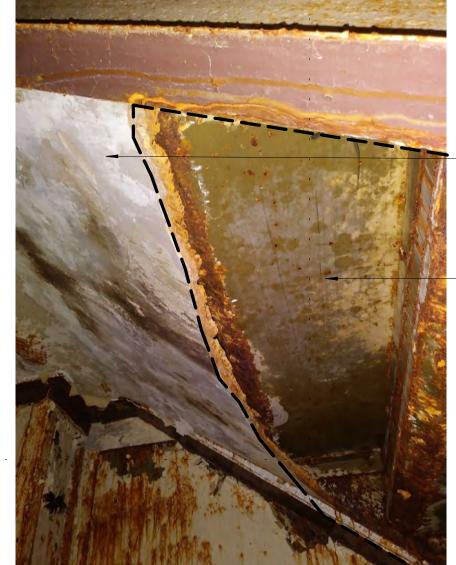












AT ENTIRE HISTORIC STAIR, PRESERVE EXISTING LATH/PLASTER THAT HAS BEEN APPLIED TO BOTTOM OF STEEL STAIR/LANDINGS

 INSTALL NEW GYP. BOARD OVER ALL AREAS OF B.O. STEEL STAIR/LANDINGS THAT DO NOT HAVE THE EXIST. LATH/PLASTER. SKIM COAT ALL TO MATCH.



4TH FLOOR CORRIDOR ENTRY TO BE WIDENED

REMOVE CMU TO WIDEN OPENING



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NOTE: THIS SHEET IS TO BE PRINTED IN COLOR TO READ CORRECTLY

1/10/20 100% CONSTRUCTION DOCUMENTS DATE ISSUED FOR

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

ANDREW MADSON Typed or Printed Name: /

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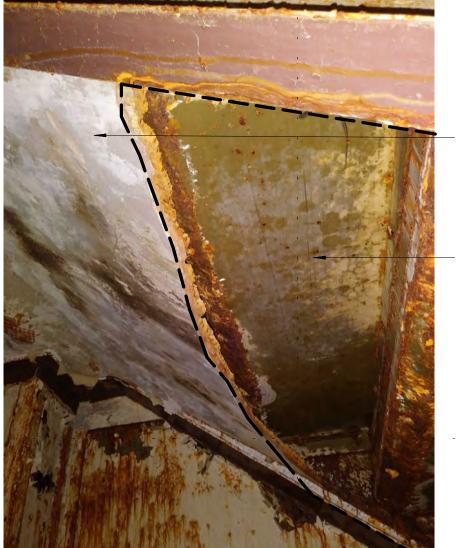
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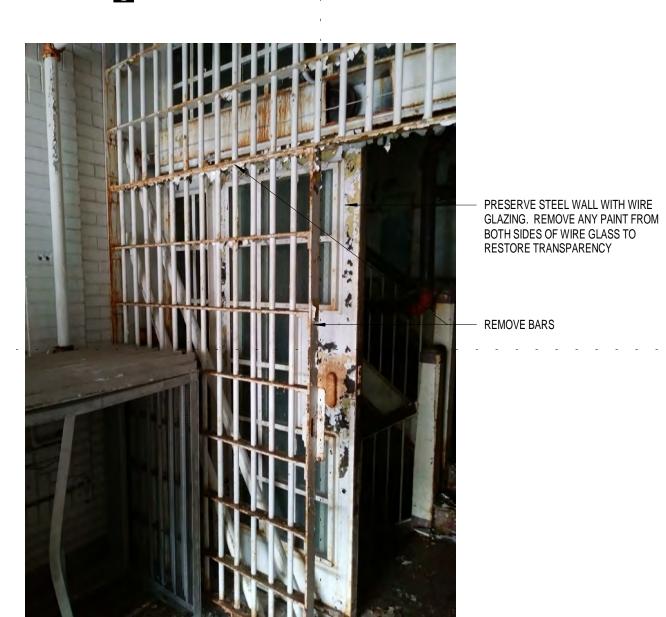
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DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

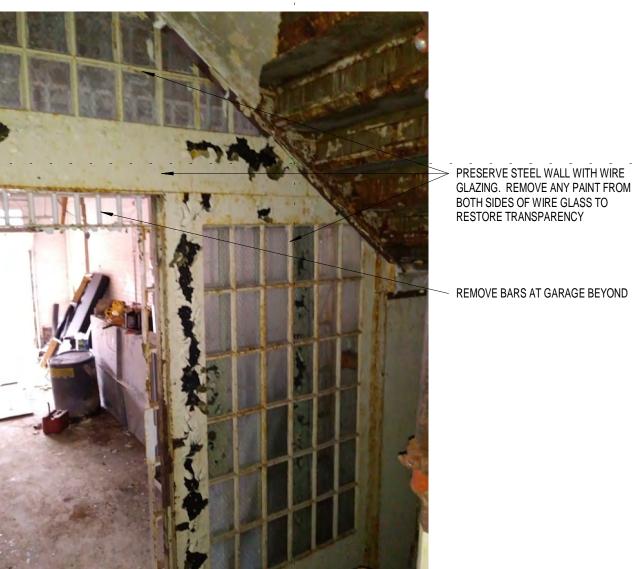
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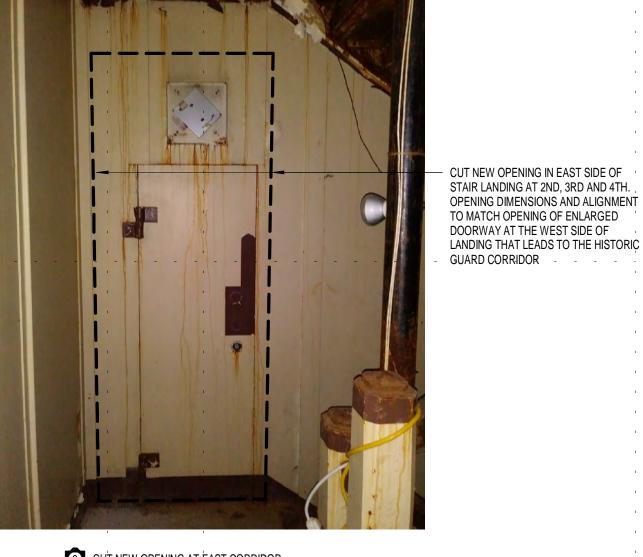
4 HISTORIC STAIR - BOTTOM OF STAIRS/LANDINGS



5 BAR REMOVAL AT GARAGE



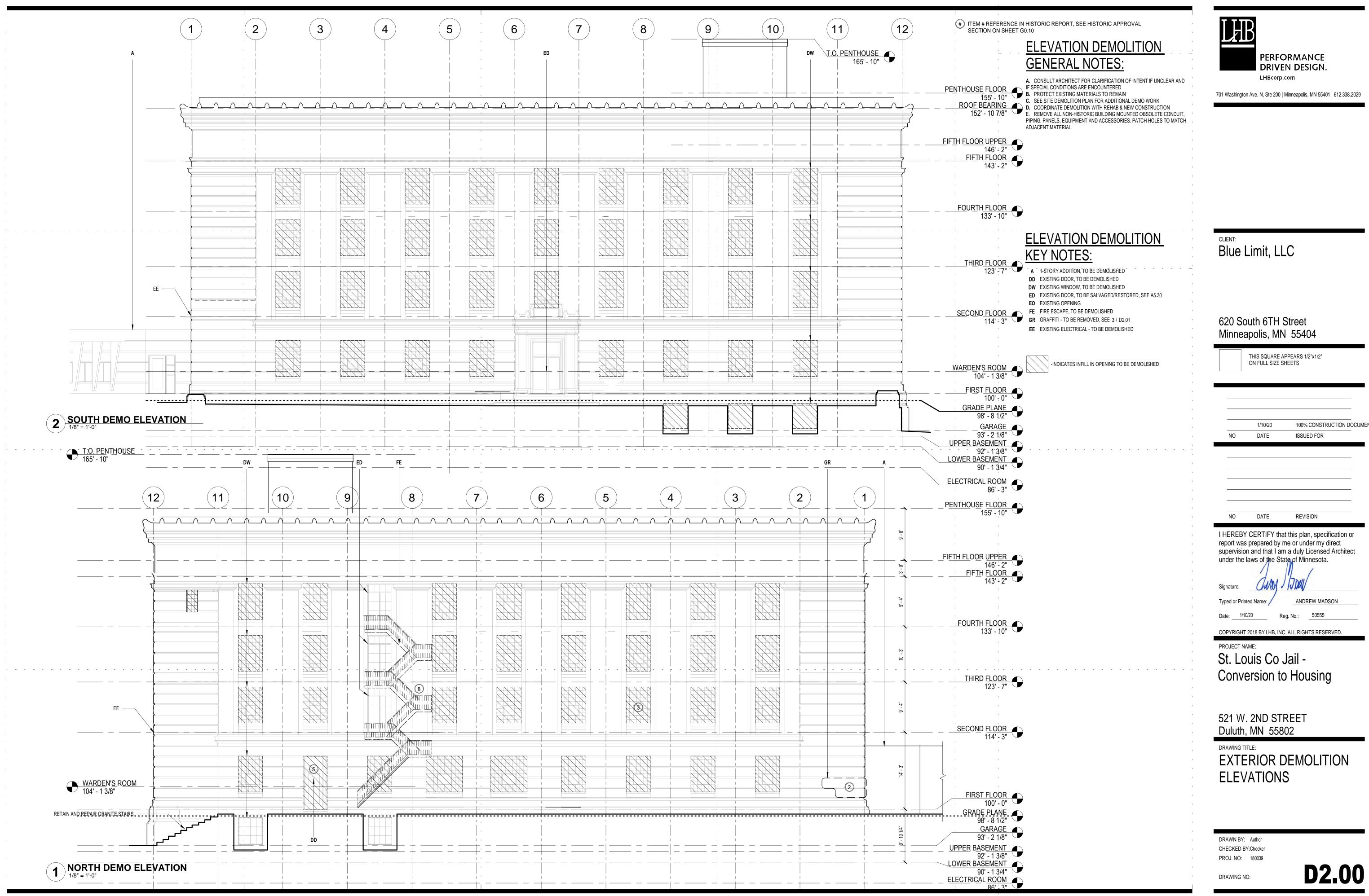
6 PRESERVE STEEL AND GLASS WALLS AT HISTORIC STAIR TYP.



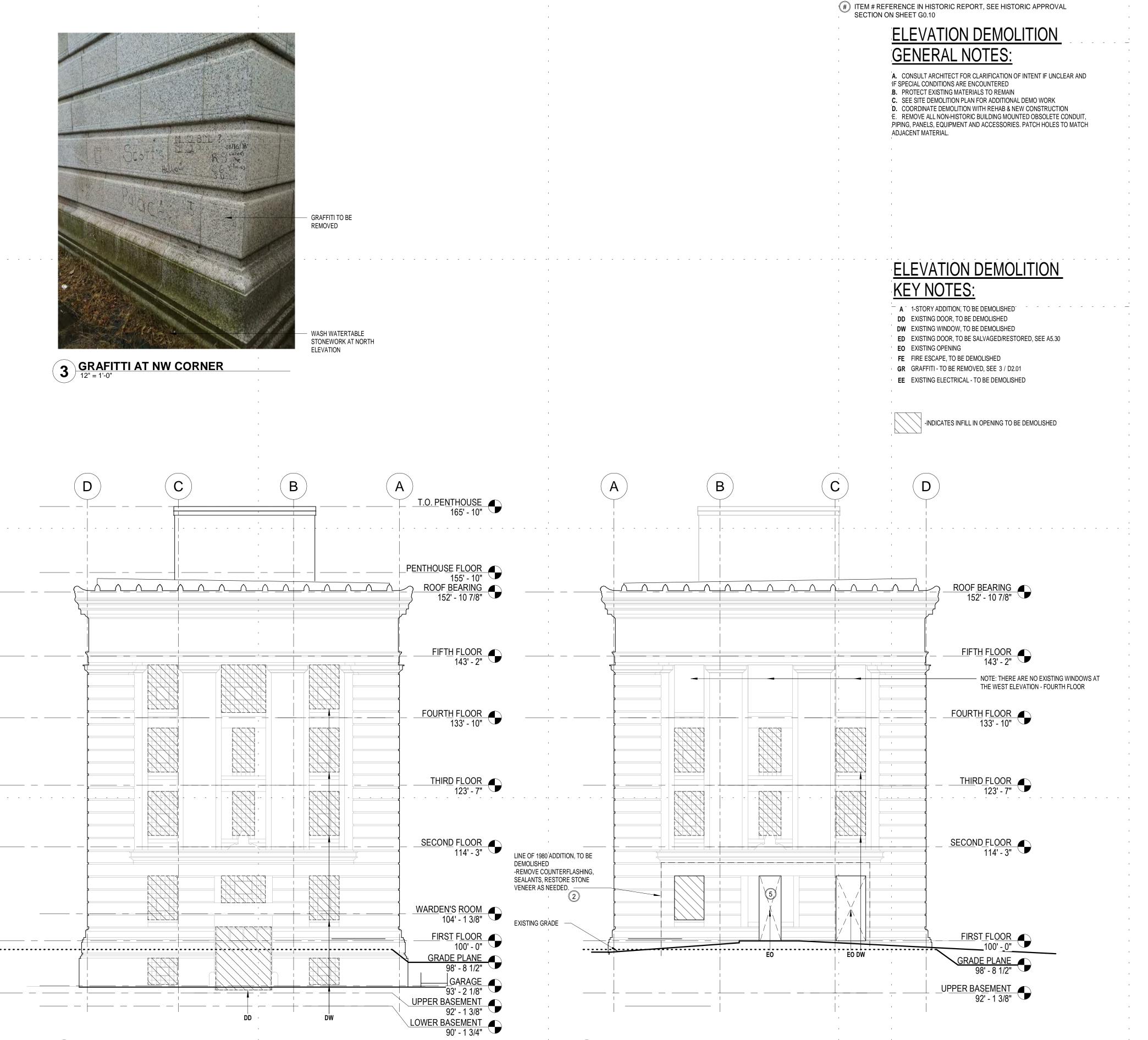
2 CUT NEW OPENING AT EAST CORRIDOR



3 STAIR DOOR OPENING TO BE ENLARGED AT FLOORS 2,3, AND 4



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1 WEST DEMO ELEVATION
1/8" = 1'-0"

2 EAST DEMO ELEVATION
1/8" = 1'-0"

PERFORMANCE DRIVEN DESIGN.
LHBcorp.com

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DATE

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ISSUED FOR

DATE REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Signature:

Typed or Printed Name: ANDREW MADSON

Date: 1/10/20 Reg. No.: 50555

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DRAWING TITLE:

EXTERIOR DEMOLITION ELEVATIONS

DRAWN BY: Author
CHECKED BY:Checker
PROJ. NO: 180039

DRAWING NO:

D2.01

ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

ZONING NOTES:

-SITE IS ZONED F-5 (MID-RISE COMMUNITY SHOPPING AND OFFICE)

-SITE AREA = 24,539SF (.56 ACRES)

OFF-STREET PARKING REQUIRED (PER UDC TABLE 50-24-1 APPLICABILITY, EXCEPTION D) -NO OFF-STREET PARKING SHALL BE REQUIRED WITHIN THE BOUNDARIES FO THE

DESIGN STANDARDS (TABLE 50-24-4) -STALL SIZE

SMALL, 8.5FT. x 15 FT. STANDARD, 9FT x 17FT.

-MIN. AISLE WIDTHS 90 DEGREE, TWO-WAY, 24FT.

-PERMITTED PERCENTAGE OF SMALL CARS 6 TO 100 SPACES = 40% MAX. % OF SMALL CARS

PROPOSED PARKING

-OFF-STREET SPACES
-12 STANDARD
-2 COMPACT
14 TOTAL SPACES

*THE AREA SET ASIDE FOR A PARKING SPACE MAY ENCROACH BEYOND THE FACE OF A CURB A MAX. OF 1.5FT. PROVIDED THAT (A) IT DOES NOT INCLUDE TREES, POSTS, OR OTHER OBSTRUCTIONS THAT WOULD PREVENT A VEHICLE FROM FULLY UTILIZING THE

SITE PLAN GENERAL NOTES:

SITE PLAN KEY NOTES:

- PEDESTRIAN RAMP
- ACCESSIBLE ENTRY
- ACCESSIBLE ENTRY DIRECTIONAL SIGN
- EXISTING STAIRS, TO BE REPAIRED AND REMAIN
- ACCESSIBLE PARKING ACCESS AISLE, AISLE TO BE STRIPED AND
- 'NO PARKING' IS TO BE PAINTED ON THE SURFACE HANDICAPPED PARKING SIGN CENTERED ON STALL
- EXISTING RETAINING WALL TO REMAIN EXISTING CURB
- EXISTING ADDITION OUTLINE, TO BE DEMOLISHED
- EXISTING FIRE ESCAPE ABOVE TRASH ROOM ACCESS
- PLAN NORTH WALL OF DEMOLISHED ADDITION SHALL REMAIN
- AND SERVE AS RETAINING WALL

 14 NEW CURB
- NEW TRANSFORMER LOCATION (5' x 6' SHOWN)
- FDC CONNECTION
- GRANITE PAVERS TO REMAIN LANDSCAPED AREA
- POLE MOUNTED 'NO PARKING' SIGN
- ADDRESS SIGN
- STOP SIGN

STANDOFFS TEXT: 521 W. 2ND STREET

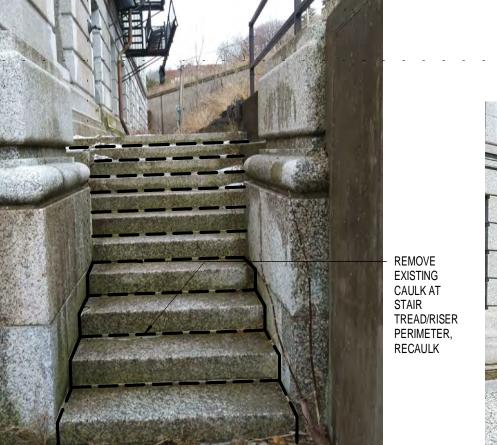
521 W. 2ND STREET

DRAWING TITLE: ARCHITECTURAL SITE

DRAWN BY: JGH CHECKED BY:KMB

DRAWING NO:

=EXISTING CONCRETE WANDRESS SIGN
-PROVIDE LASER CUT STAINLESS
STEEL 5" TALL INDIVIDUAL METAL
LETTERS, FASTEN LETTERS TO STEEL
BACKER PLATE WHICH IS TO BE
FASTENED TO THE STONE AT MORTAR
JOINTS ONLY. LETTERS TO HAVE 3/4"
STANDOESS -PROVIDE LED BACKLIGHTING



8 EXTERIOR STAIR AT NE CORNER

NOTES: 1. ASSESS

CONCRETE FOUNDATION BELOW FOR

ADDITIONAL REHABILITATION IF NECESSARY

2. COORDINATE

CONDUCTING THE

3. PROTECT ALL

STONE PIECES TO

WITH A/E REPRESENTATIVE PRIOR TO

REMAIN

REMOVE VEGETATION -RE-CAULK VEGETATION AND EXISTING CAULK - RE-REMOVE EXISTING CAULK CAREFULLY REMOVE AND

RESET (4)

NUMBERED STONE STAIR COMPONENTS TO DRAIN AWAY FROM

BUILDING FOUNDATION —

9 ENTRY STAIR - UPPER



10 ENTRY STAIR - LOWER

7 ADDRESS SIGN

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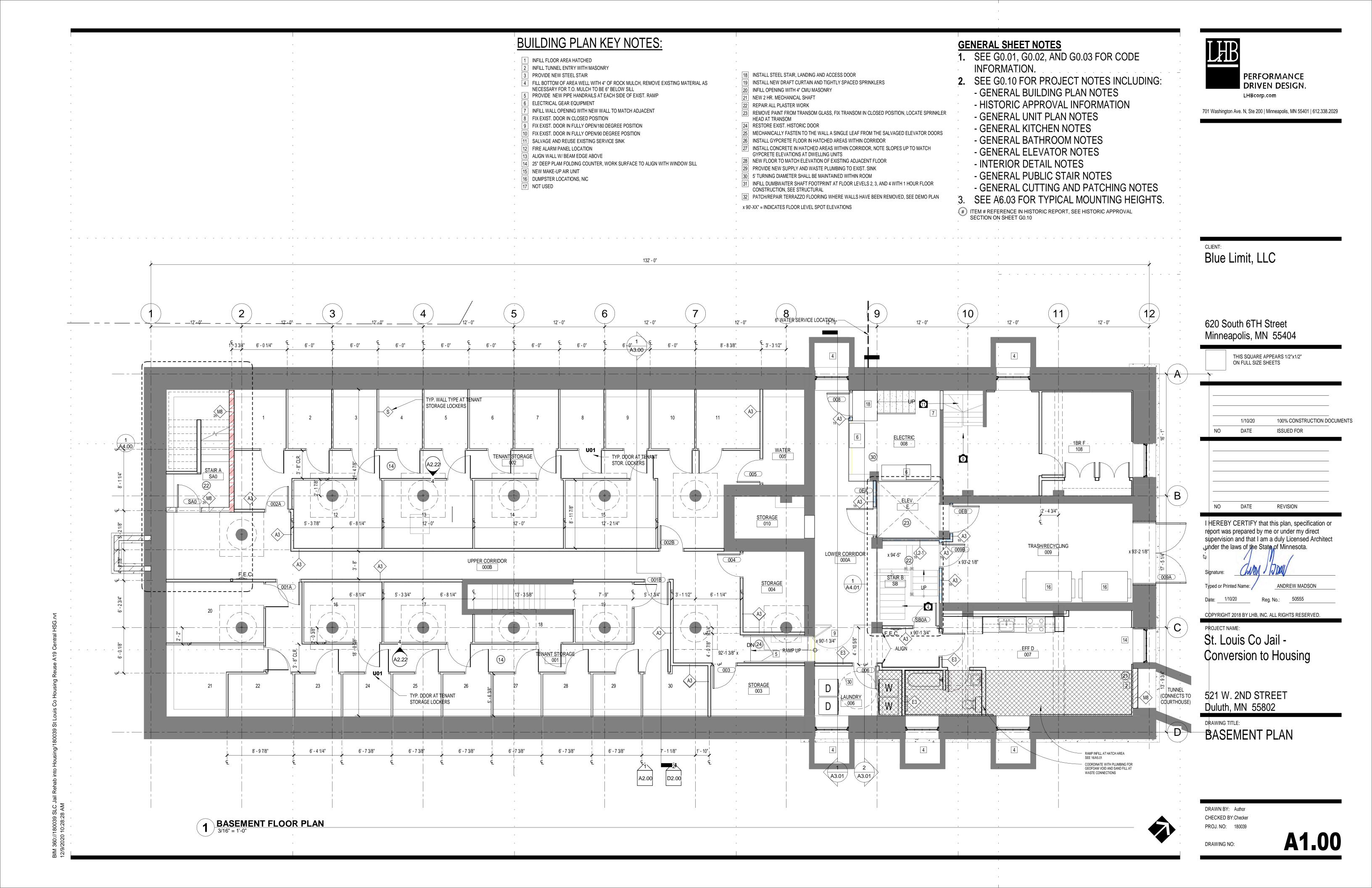
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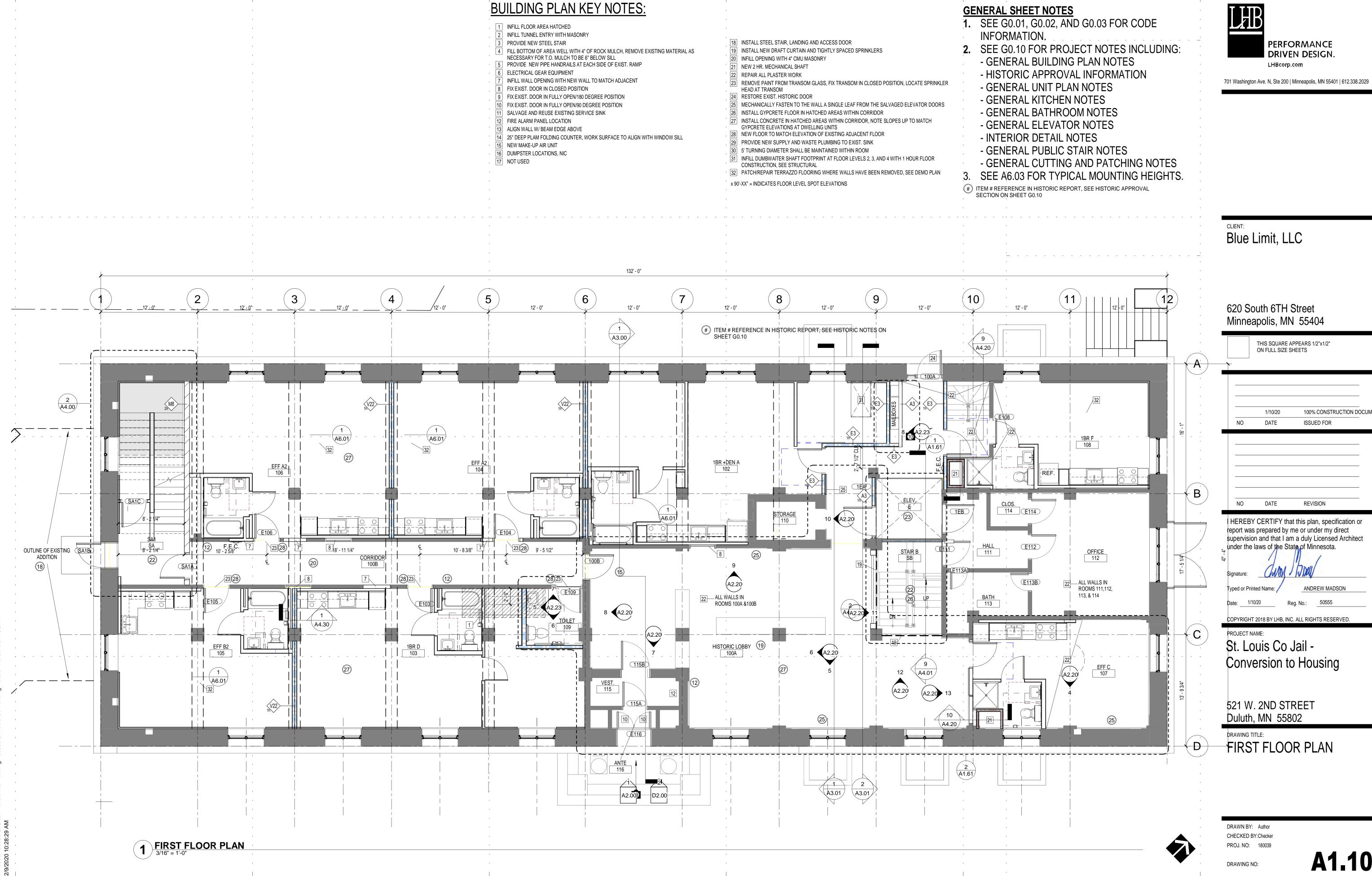
St. Louis Co Jail -Conversion to Housing

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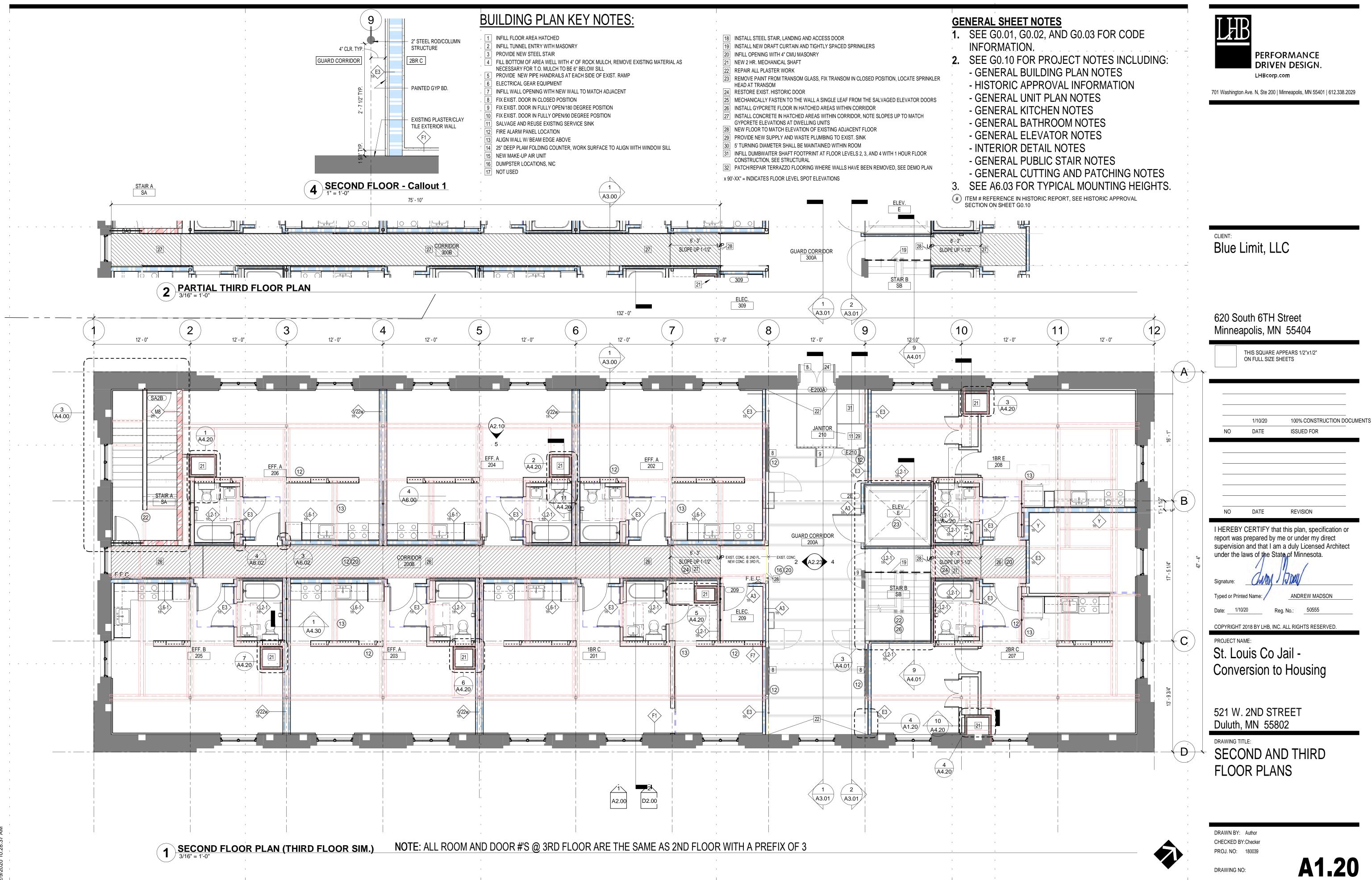
PLAN

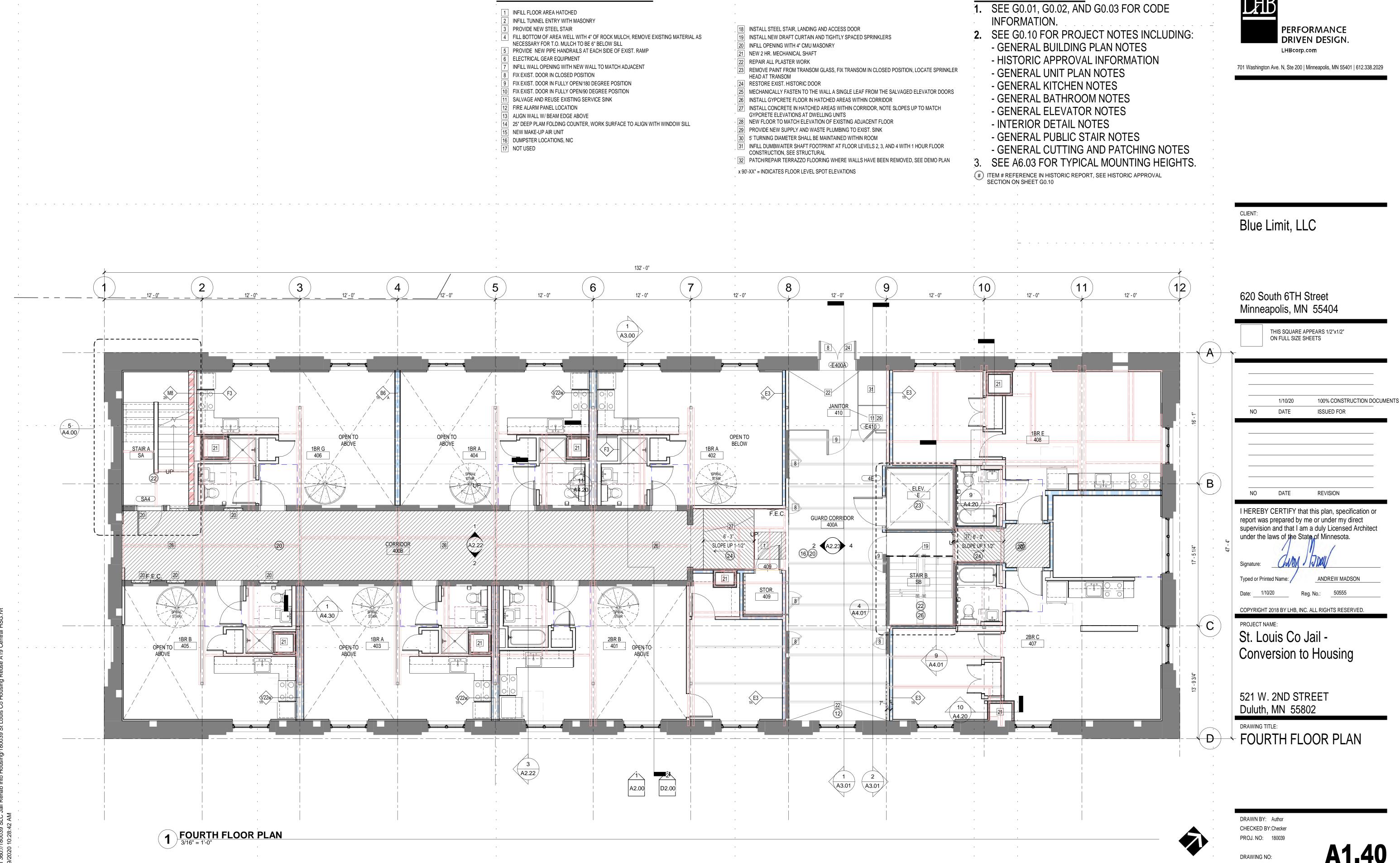
PROJ. NO: 180039





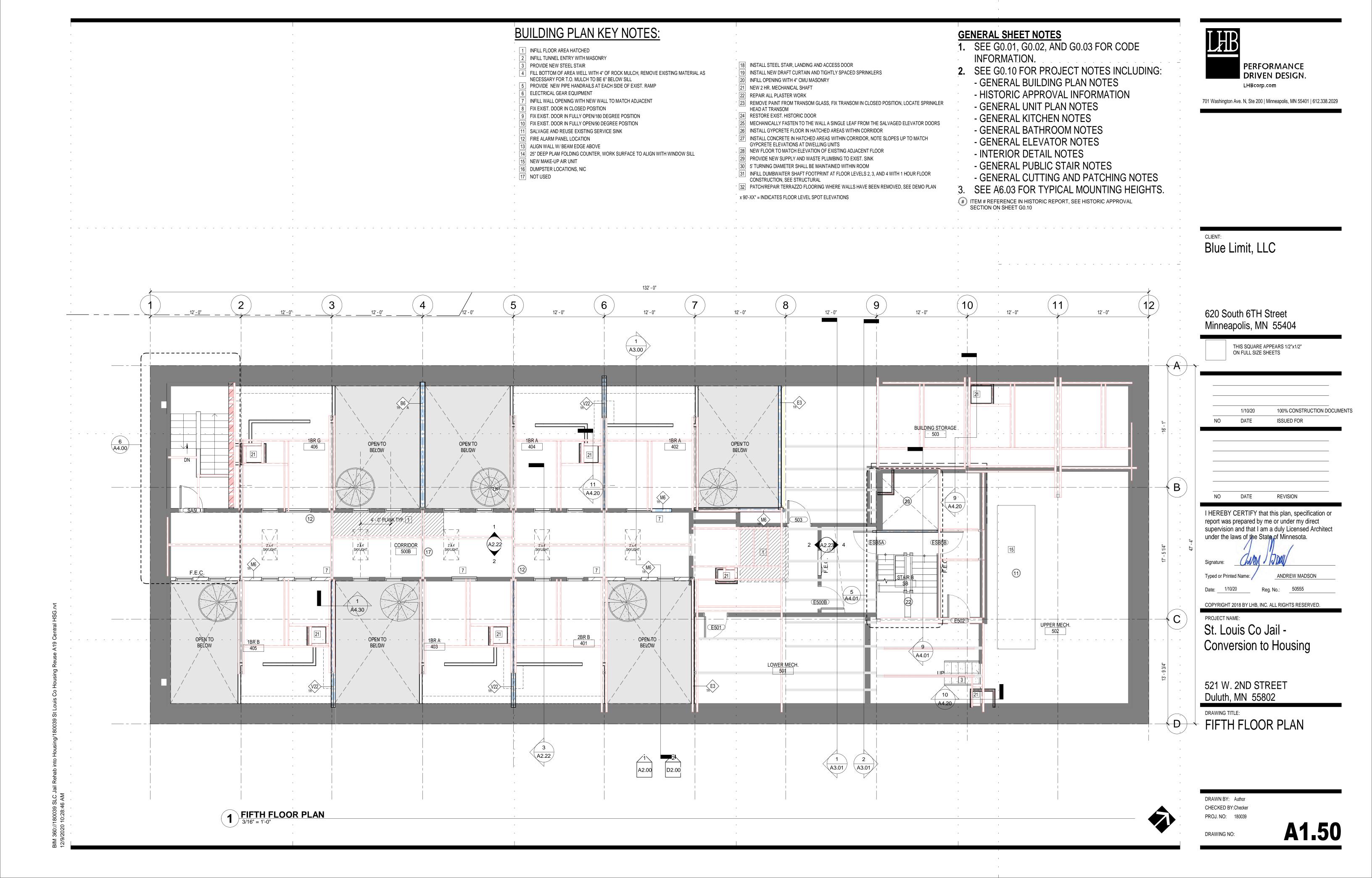
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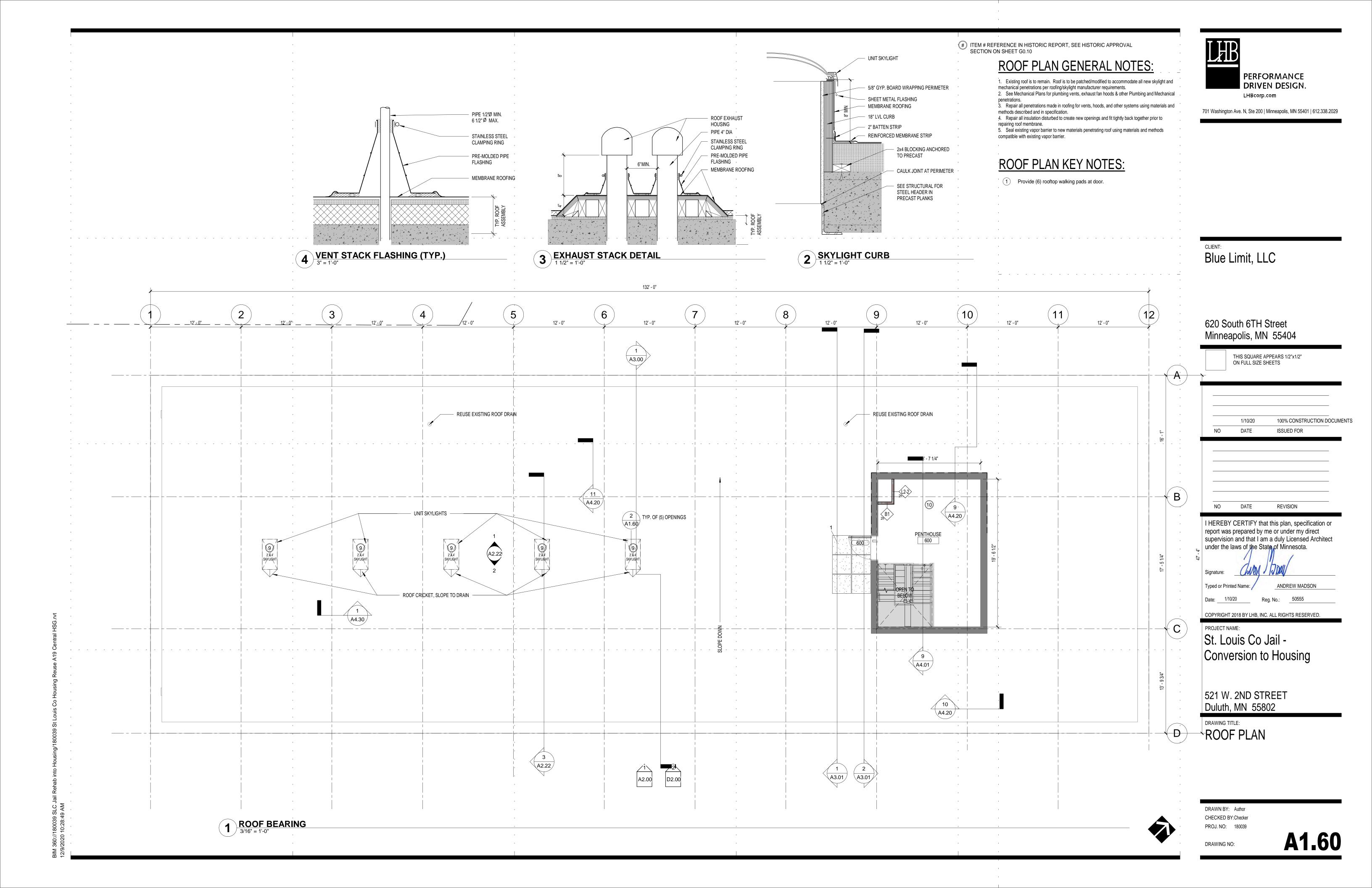


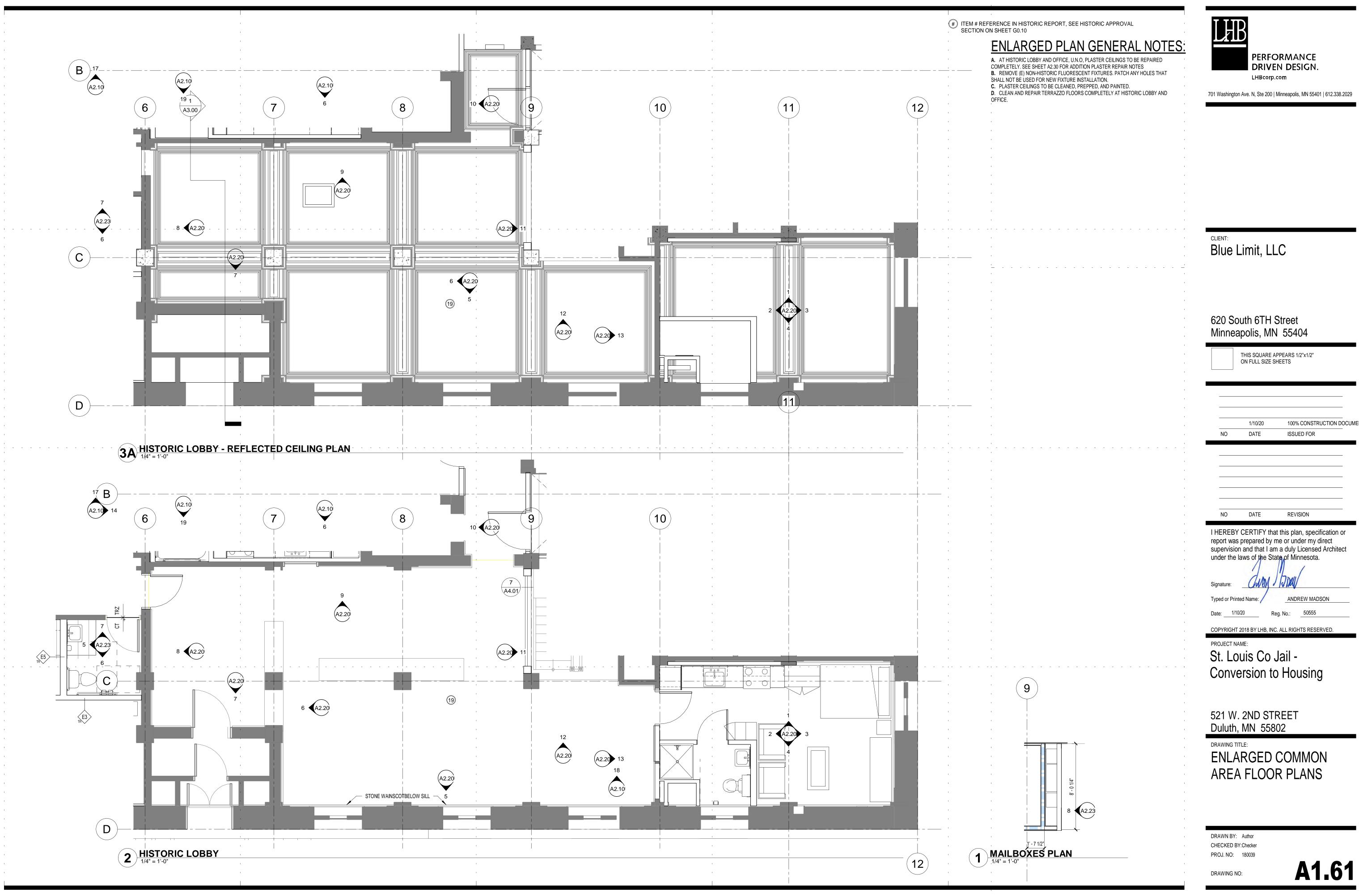


BUILDING PLAN KEY NOTES:

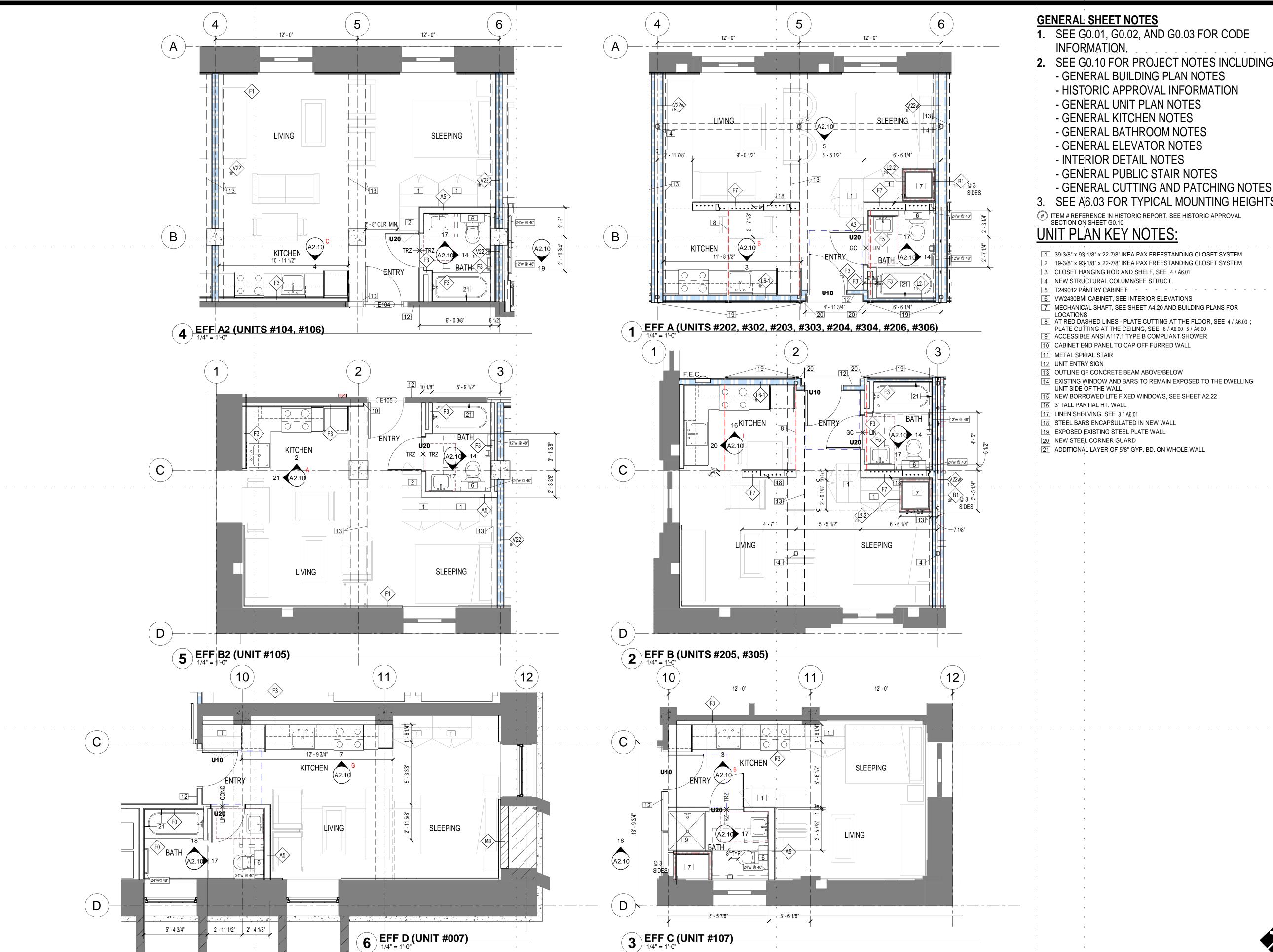
GENERAL SHEET NOTES







100% CONSTRUCTION DOCUMENTS



- 2. SEE G0.10 FOR PROJECT NOTES INCLUDING:

- 3. SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.
- 1 39-3/8" x 93-1/8" x 22-7/8" IKEA PAX FREESTANDING CLOSET SYSTEM

- 14 EXISTING WINDOW AND BARS TO REMAIN EXPOSED TO THE DWELLING



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PROJECT NAME: St. Louis Co Jail -Conversion to Housing

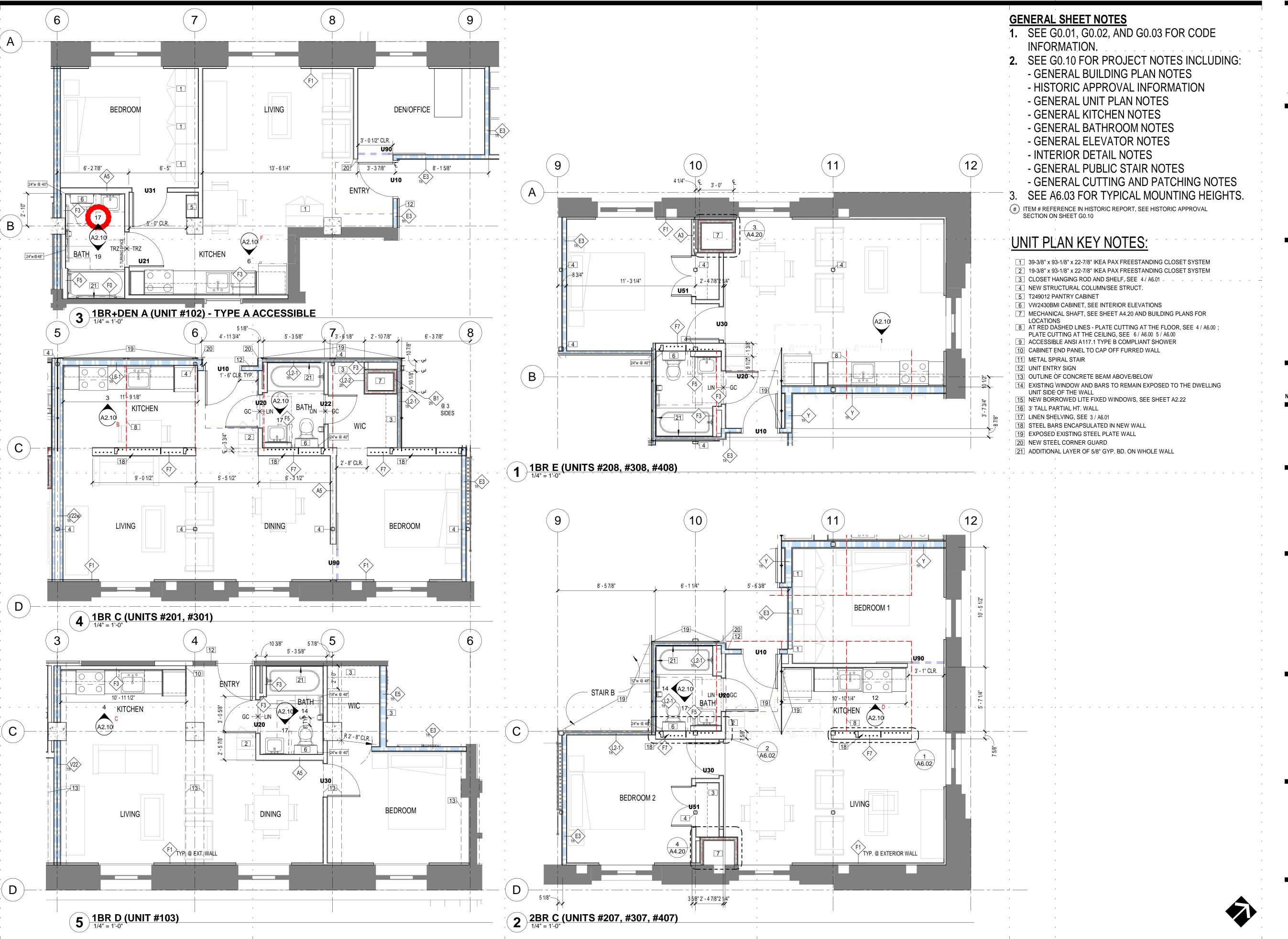
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DRAWING TITLE: **UNIT PLANS**

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:

A1.70





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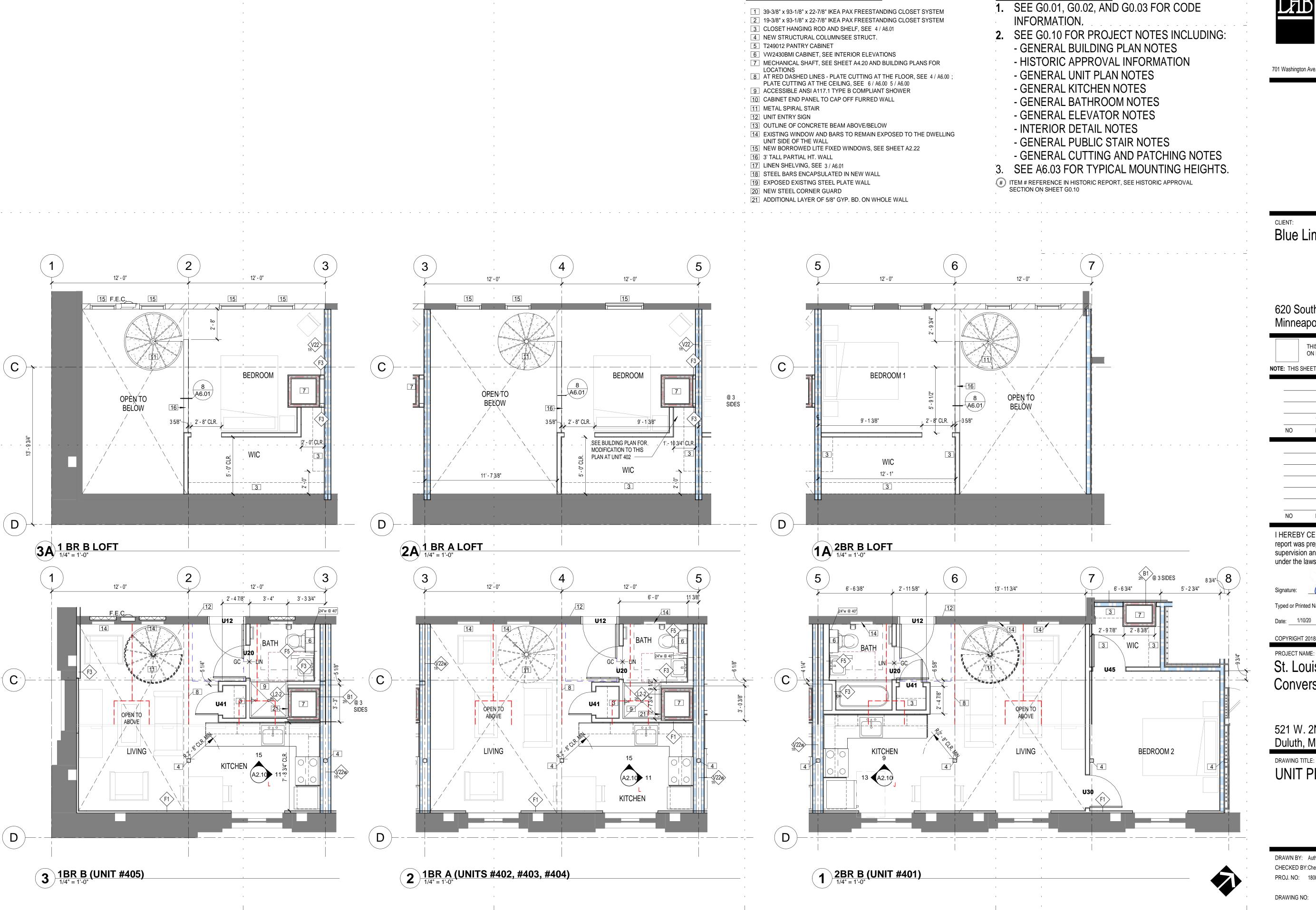
Conversion to Housing

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DRAWING NO:



UNIT PLAN KEY NOTES:

GENERAL SHEET NOTES



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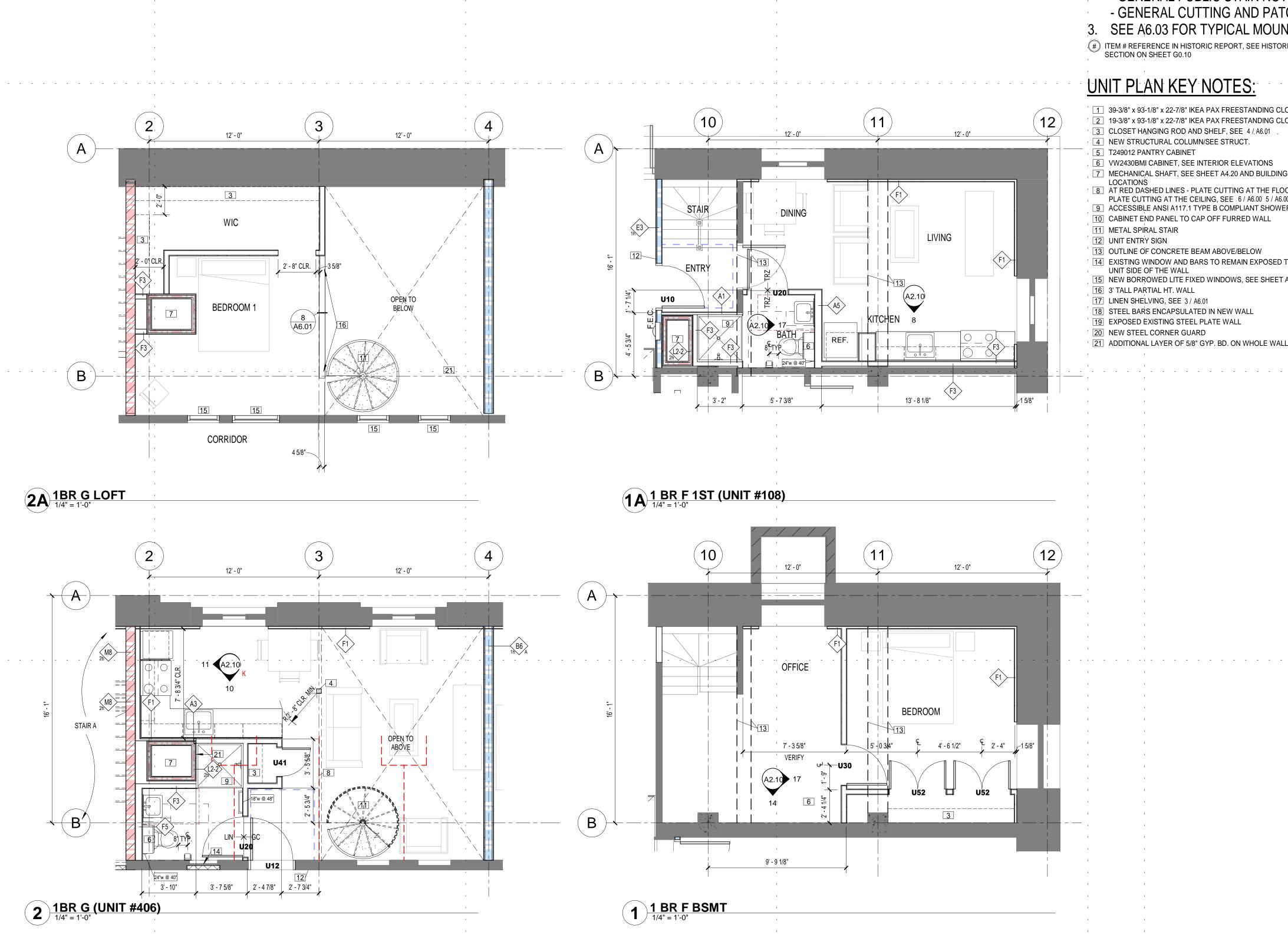
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DRAWING TITLE: **UNIT PLANS**

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:

A1.72



GENERAL SHEET NOTES

- 1. SEE G0.01, G0.02, AND G0.03 FOR CODE INFORMATION.
- 2. SEE G0.10 FOR PROJECT NOTES INCLUDING:
 - GENERAL BUILDING PLAN NOTES
 - HISTORIC APPROVAL INFORMATION
 - GENERAL UNIT PLAN NOTES - GENERAL KITCHEN NOTES
 - GENERAL BATHROOM NOTES

 - GENERAL ELEVATOR NOTES - INTERIOR DETAIL NOTES
 - GENERAL PUBLIC STAIR NOTES
 - GENERAL CUTTING AND PATCHING NOTES
- 3. SEE A6.03 FOR TYPICAL MOUNTING HEIGHTS.
- # ITEM # REFERENCE IN HISTORIC REPORT, SEE HISTORIC APPROVAL SECTION ON SHEET G0.10

- 1 39-3/8" x 93-1/8" x 22-7/8" IKEA PAX FREESTANDING CLOSET SYSTEM
- 2 19-3/8" x 93-1/8" x 22-7/8" IKEA PAX FREESTANDING CLOSET SYSTEM

- 6 VW2430BMI CABINET, SEE INTERIOR ELEVATIONS
- 7 MECHANICAL SHAFT, SEE SHEET A4.20 AND BUILDING PLANS FOR
- PLATE CUTTING AT THE CEILING, SEE 6 / A6.00 5 / A6.00
- 9 ACCESSIBLE ANSI A117.1 TYPE B COMPLIANT SHOWER
- 10 CABINET END PANEL TO CAP OFF FURRED WALL
- 13 OUTLINE OF CONCRETE BEAM ABOVE/BELOW
- 14 EXISTING WINDOW AND BARS TO REMAIN EXPOSED TO THE DWELLING
- 15 NEW BORROWED LITE FIXED WINDOWS, SEE SHEET A2.22

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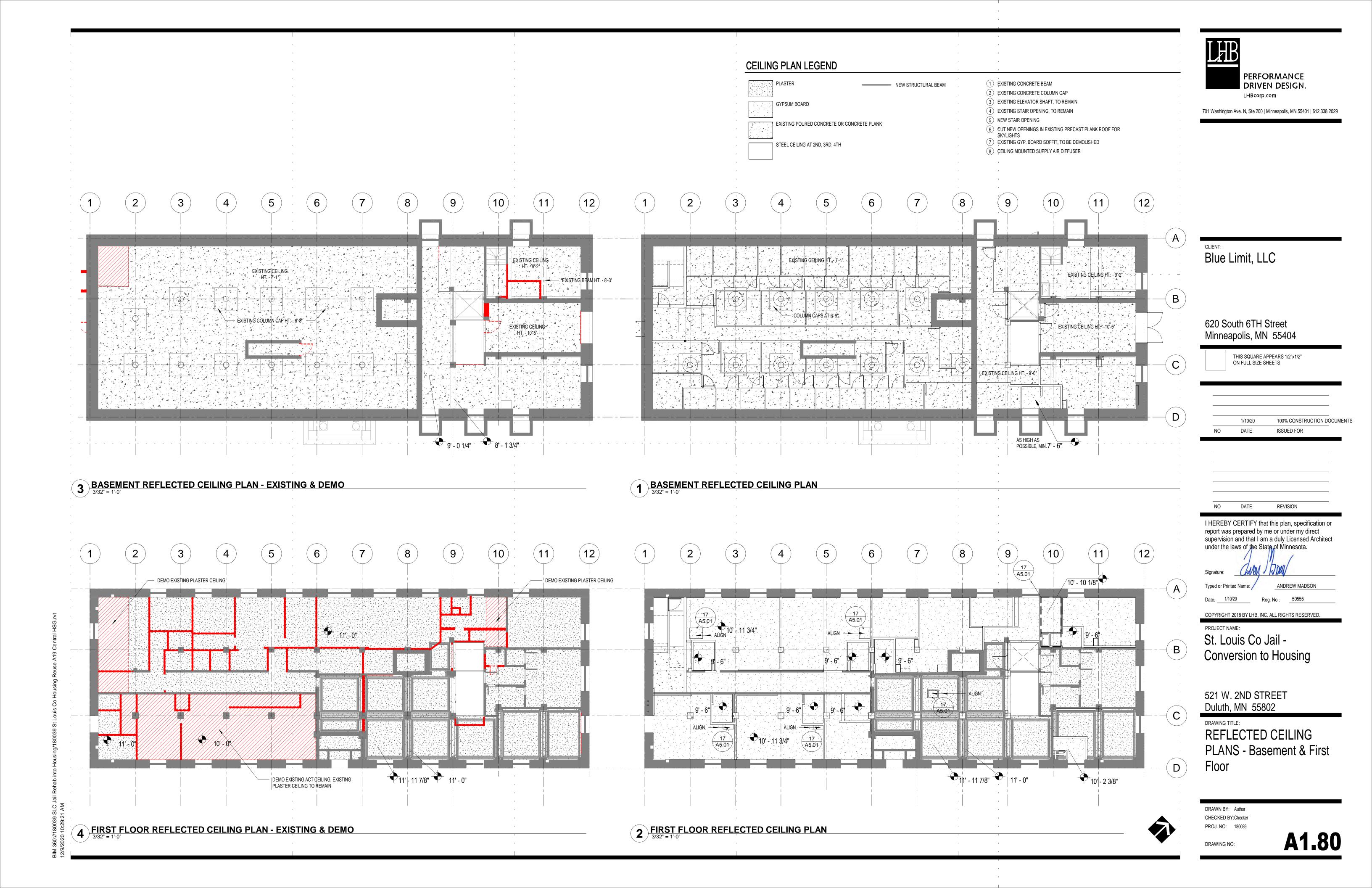
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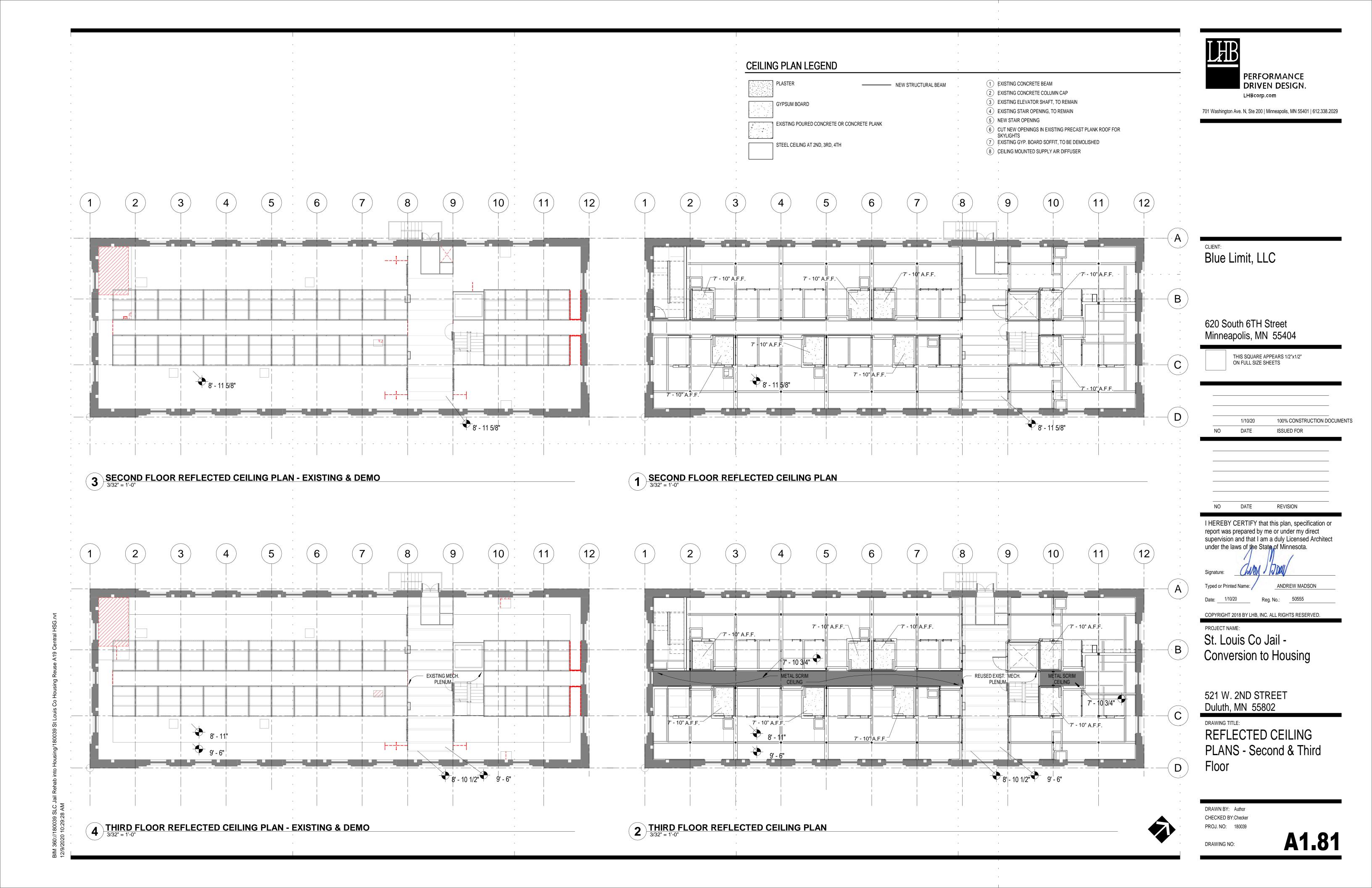
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DRAWING NO:

A1.73







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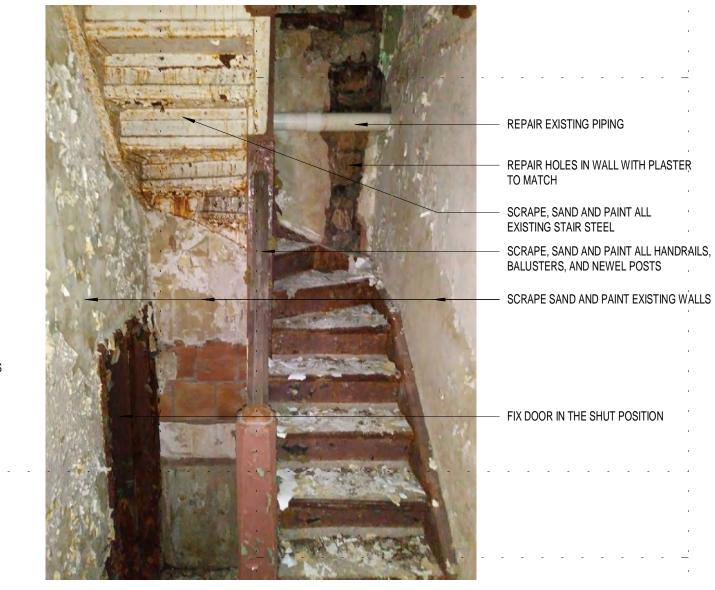
PATCH PLASTER TO MATCH ADJACENT PLANE AND TEXTURE OF ADJACENT WALLS

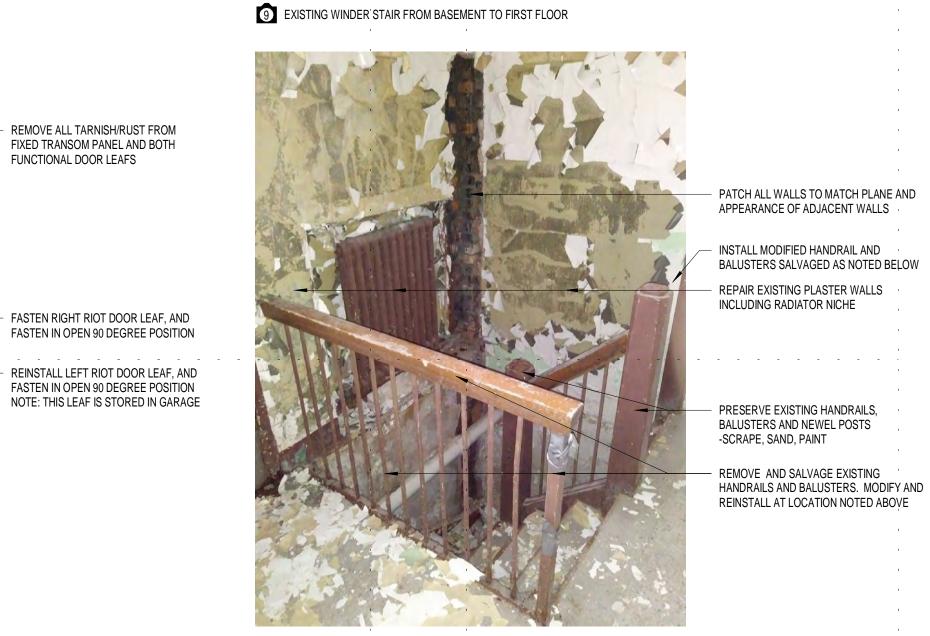
REMOVE ALL TARNISH/RUST FROM FIXED TRANSOM PANEL AND BOTH FUNCTIONAL DOOR LEAFS

FASTEN RIGHT RIOT DOOR LEAF, AND

FASTEN IN OPEN 90 DEGREE POSITION

FASTEN IN OPEN 90 DEGREE POSITION





10 EXISTING WINDER STAIR FROM BASEMENT TO FIRST





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SCRAPE, SAND AND PAINT ALL STAIR STRUCTURE STEEL

PATCH PLASTER TO MATCH ADJACENT PLANE AND TEXTURE OF ADJACENT WALLS

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DRAWING TITLE: NEW CONSTRUCTION **DETAILS**

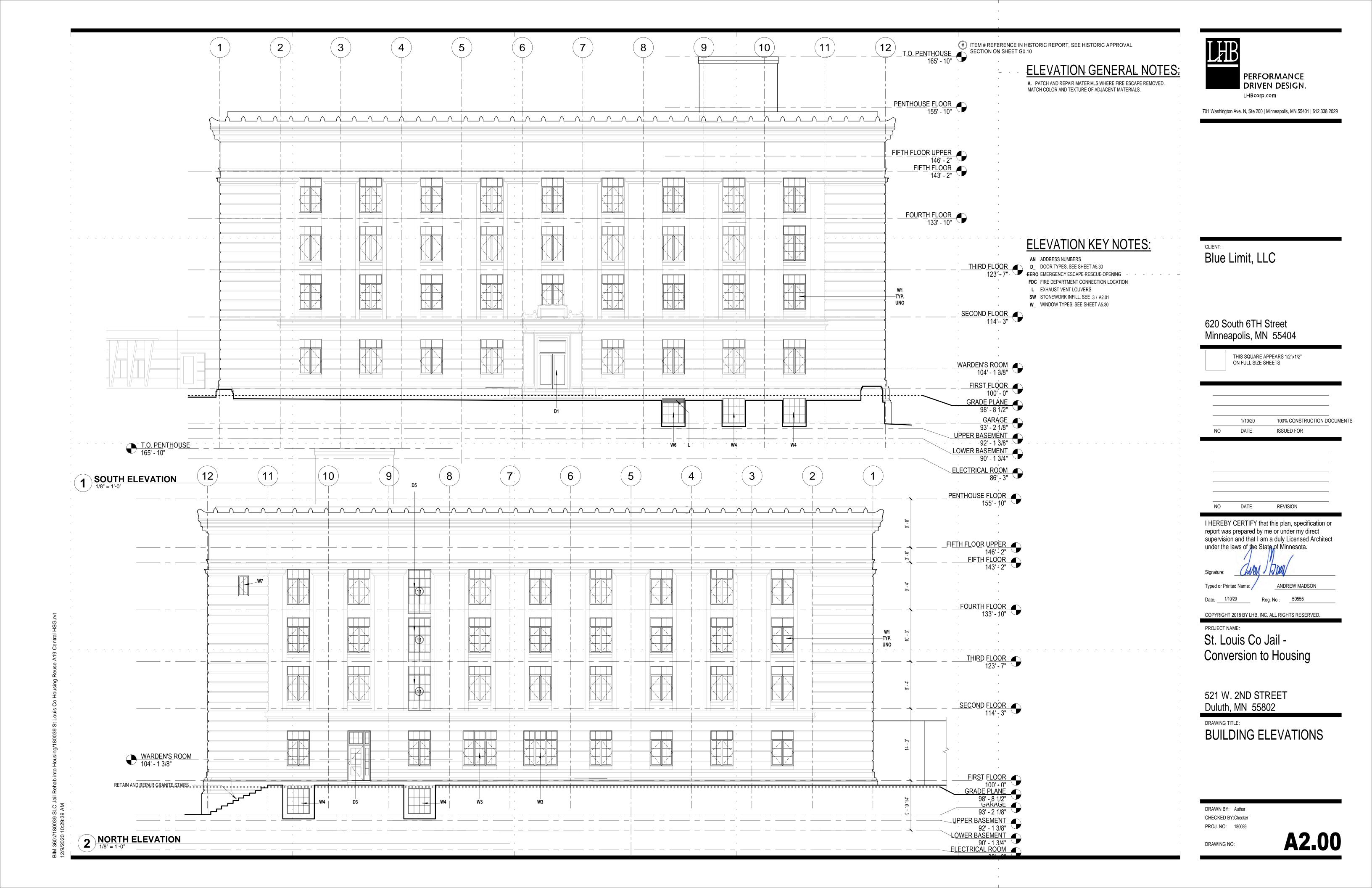
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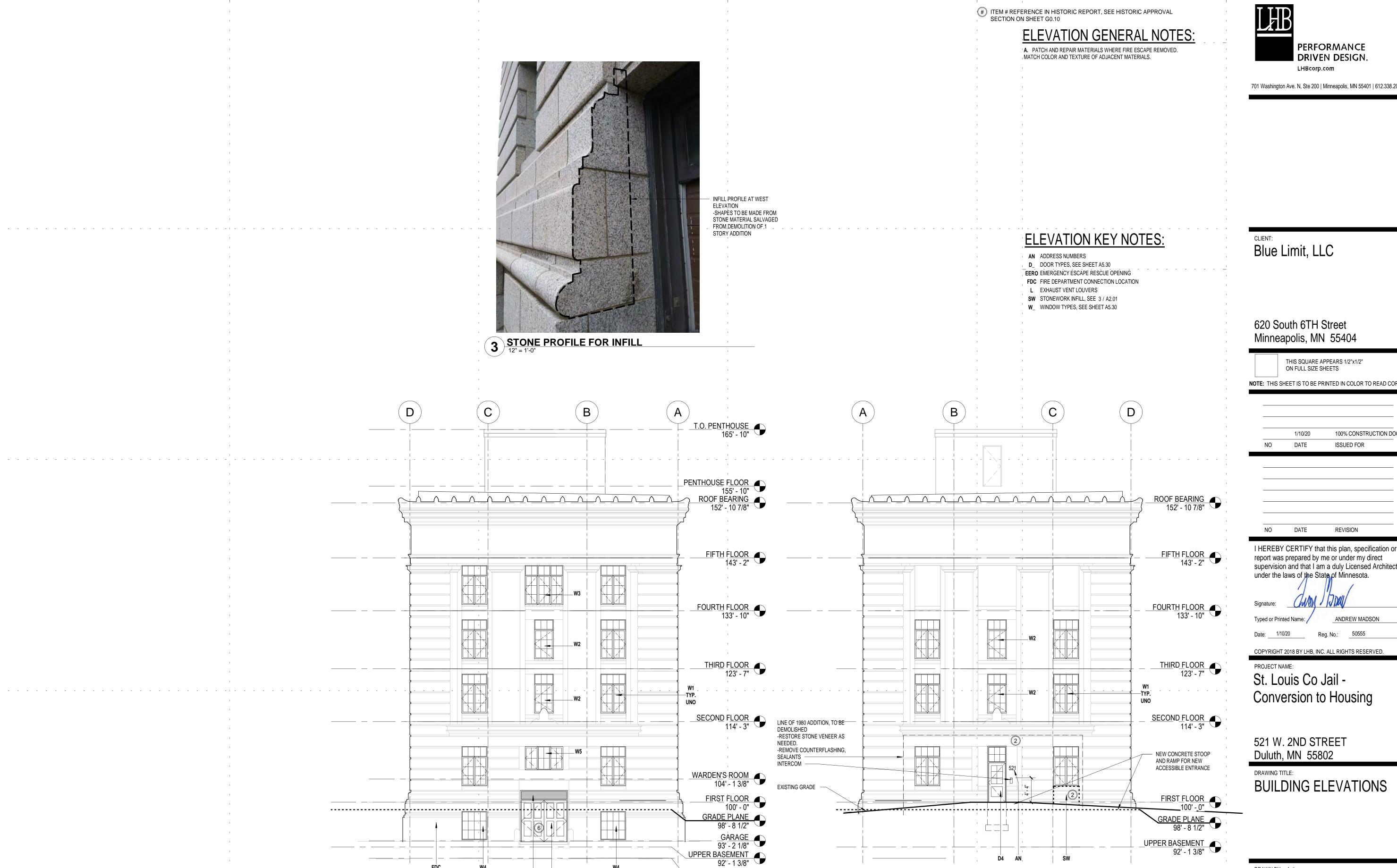
DRAWING NO:

13 EXISTING RIOT DOORS

PLASTER PATCHING AT EXISTING WINDER STAIR

11 PLASTER PATCHING AT EXISTING WINDER STAIR





LOWER BASEMENT 90' - 1 3/4"

1 WEST ELEVATION
1/8" = 1'-0"

2 EAST ELEVATION
1/8" = 1'-0"

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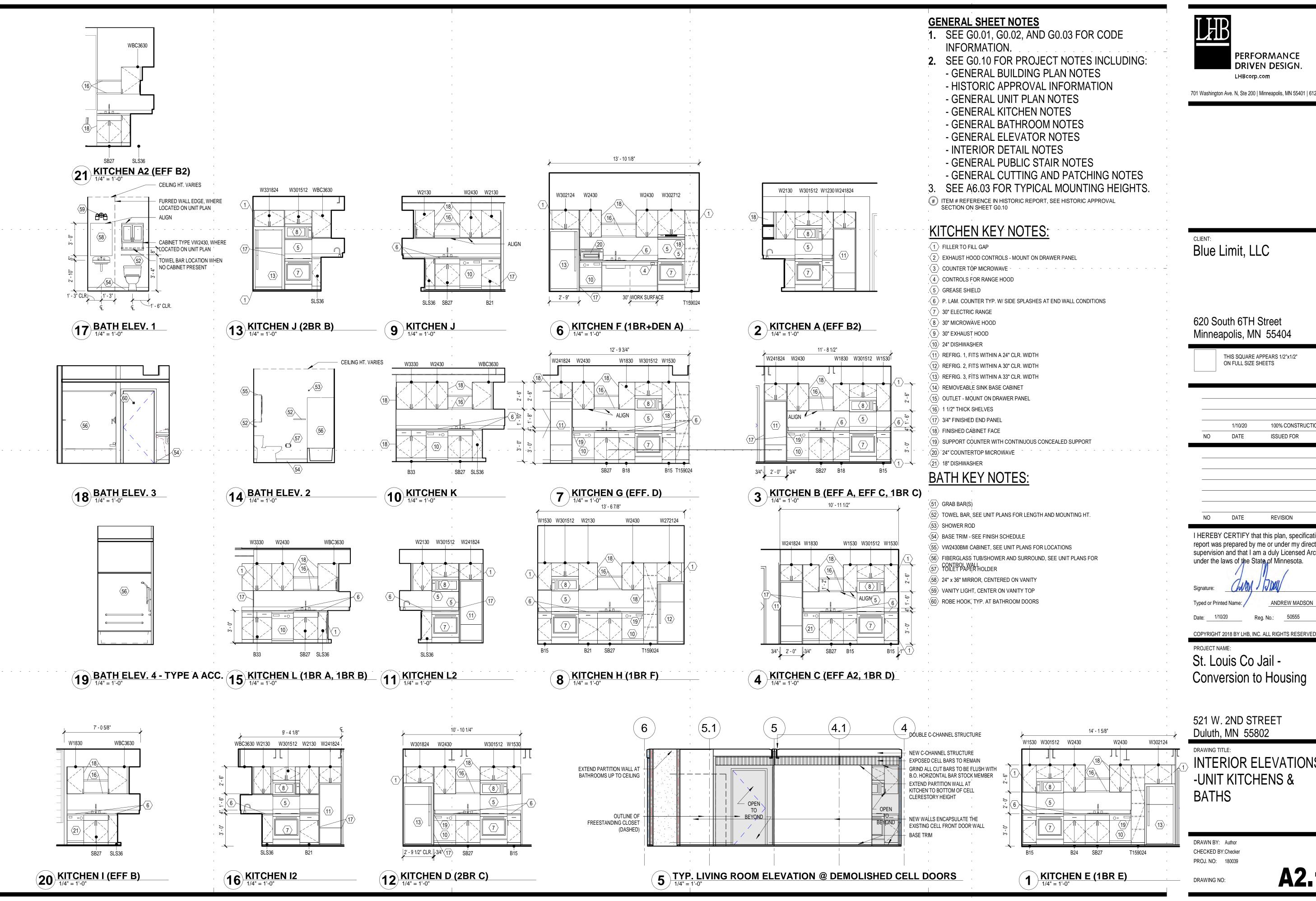
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DRAWING NO:

A2.01



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Signature:

Typed or Printed Name: /

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PROJECT NAME:

St. Louis Co Jail -

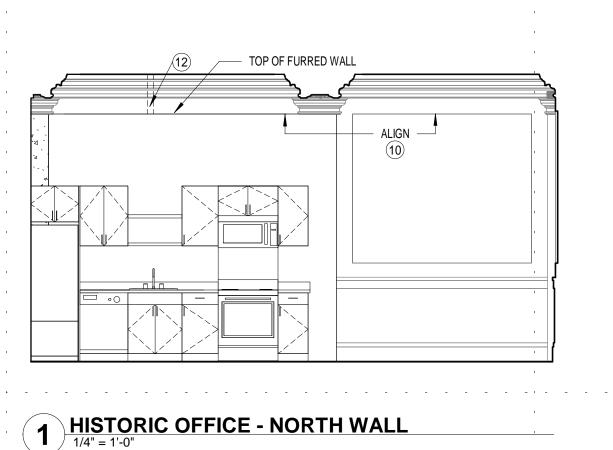
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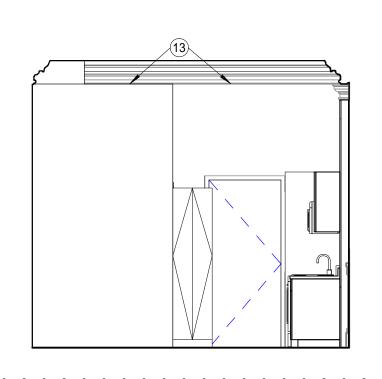
DRAWING TITLE:

INTERIOR ELEVATIONS -UNIT KITCHENS & BATHS

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

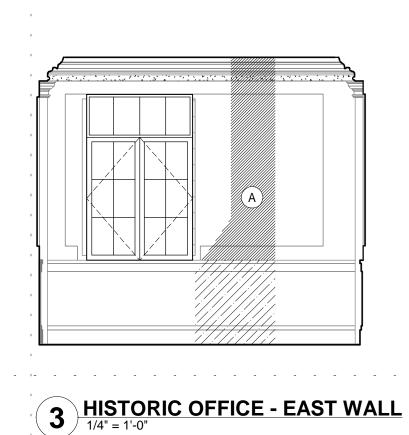
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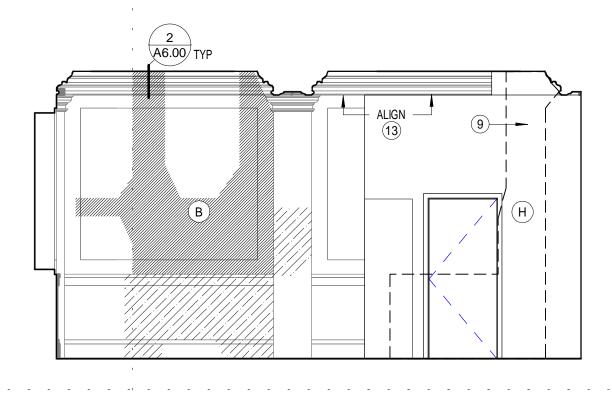




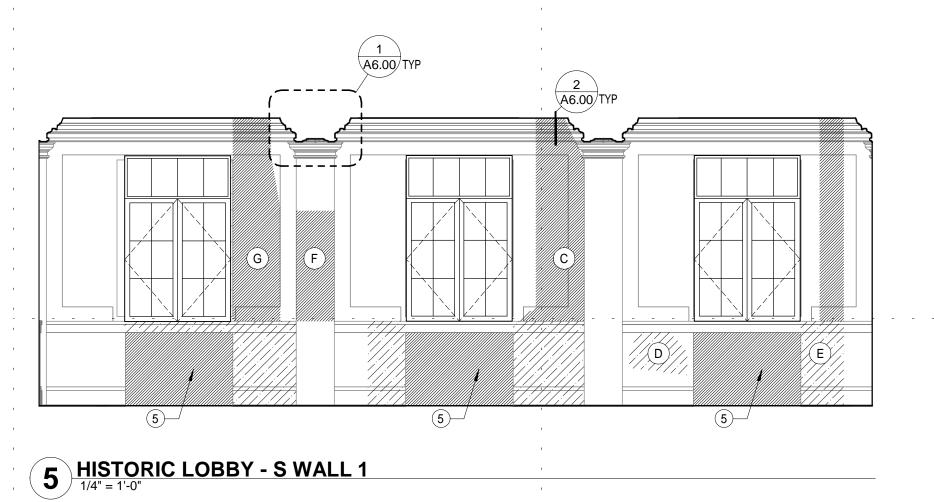
2 HISTORIC OFFICE - WEST WALL

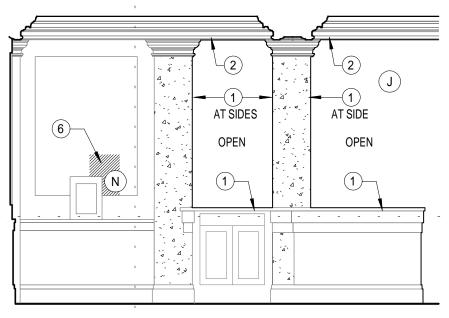
1/4" = 1'-0"

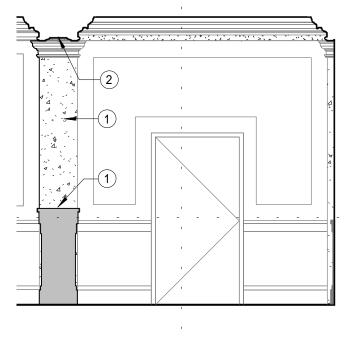


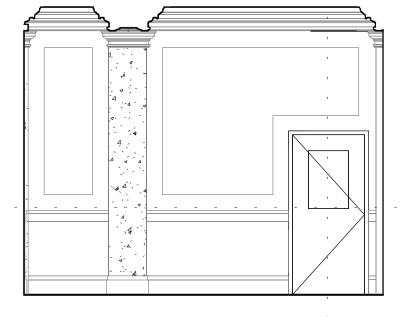


4 HISTORIC OFFICE - SOUTH WALL



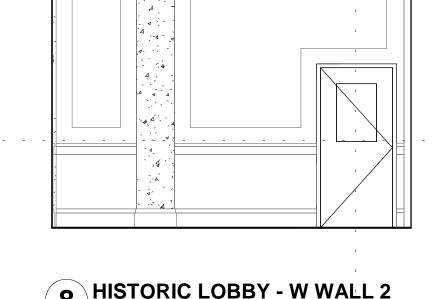


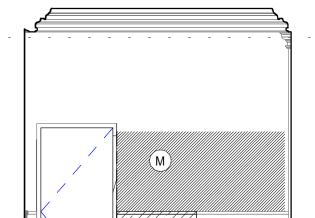




7 HISTORIC LOBBY - S WALL 2 6 HISTORIC LOBBY - W WALL 1







13 HISTORIC LOBBY - E WALL 2

INTERIOR ELEV. GENERAL NOTES:

Z LETTER KEY NOTE CORRESPONDS TO AREA SHOWN IN PHOTOGRAPH ON A2.31

A. PROTECT IN PLACE EXISTING MATERIALS AND FINISHES TO REMAIN. B. AT HISTORIC LOBBY, REMOVE EXISTING OBSOLETE LIGHTING, EQUIPMENT, PANELS, CONDUIT, PIPING, SIGNAGE, SWITCHES, AND OUTLETS, U.N.O. PATCH HOLES TO MATCH

ADJACENT MATERIALS. D. REUSE EXISTING HOLES/PENETRATIONS WHENEVER POSSIBLE FOR NEW DEVICES F. RESTORE (E) CASEWORK. CLEAN AND REPAIR (E) HARDWARE TO FUNCTIONAL CONDITION. REPLACE MISSING HARDWARE TO MATCH (E). PAINT WOOD SURFACES. G. AT HISTORIC LOBBY AND OFFICE, ALL CURRENTLY PAINTED SURFACES TO BE CLEANED, PREPPED, AND PAINTED.

PLASTER REPAIR GENERAL NOTES

AREAS OF PLASTER REPAIR AND/OR INFILL

P1. AT HISTORIC LOBBY AND OFFICE, U.N.O, PLASTER TO BE REPAIRED COMPLETELY PHOTOGRAPHS INDICATE GENERAL LEVEL OF REPAIR REQUIRED. DRAWINGS INDICATE AREAS OF MOST SIGNIFICANT WORK, CONTRACTOR TO V.I.F. FULL EXTENT OF REPAIRS. P2. AT HAIRLINE CRACKS AND SMALL HOLES, REPAIR WITH A TWO-COAT APPLICATION

P3. AT LARGER HOLES, CAREFULLY REMOVE REMAINING PLASTER BY HAND. ATTACH A DIAMOND MESH LATH TO THE HISTORIC LATH. APPLY NEW PLASTER AND LAP IT OVER EXTANT HISTORIC PLASTER TO CREATE AND STRONG AND SEAMLESS PATCH. P4. APPLY A SKIM COAT TO MATCH THE EXISTING ADJACENT SURFACE FOR SPALLING

P5. AT LARGE EXPANSES OF DAMAGED OR MISSING PLASTER, INSTALL GYPSUM BOÄRD ON METAL LATH. FINISH WITH PLASTER SKIM COAT TO MATCH ADJACENT PLASTER

STONE VENEER REPAIR GENERAL NOTES

AREAS OF STONE VENEER REPAIR OR NEW INSTALLATION.

\$1. STONE WAINSCOTING AND BASES TO BE CLEANED, PATCHED, AND REPAIRED COMPLETELY. PHOTOGRAPHS INDICATE GENERAL LEVEL OF REPAIR REQUIRED. DRAWINGS INDICATE AREAS OF MOST SIGNIFICANT WORK, CONTRACTOR TO V.I.F. FULL

S2. SALVAGE FOR REUSE ALL STONE BASE AND WAINSCOTING VENEER ON WALLS TO BE DEMOLISHED. SALVAGED STONE FROM DEMOLISHED WALLS SHALL BE USED FOR STONE REPAIR TO GREATEST EXTENT POSSIBLE.

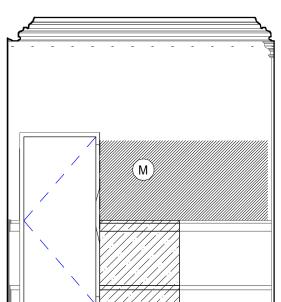
\$3. IN AREAS WHERE STONE IS BROKEN BUT PRESENT (I.E. NEAR LETTER D IN THE PHOTOGRAPHS) REMOVE AND SALVAGE PIECES FOR USE IN PATCHING. **\$4.** STONE WAINSCOTING AND BASES TO BE CLEANED, PATCHED, AND REPAIRED COMPLETELY. PHOTOGRAPHS INDICATE GENERAL LEVEL OF REPAIR REQUIRED. DRAWINGS INDICATE AREAS OF MOST SIGNIFICANT WORK, CONTRACTOR TO V.I.F. FULL

S5. FOR AREAS SMALLER THAN 9 SQ INCHES, A MASONRY PATCHING SYSTEM MAY BE USED. PATCHES TO MATCH COLOR, PATTERN, AND TEXTURE OF HISTORIC STONE. S6. WHEN NEW STONE IS REQUIRED, NEW STONE TO MATCH EXISTING IN APPEARANCE TEXTURE AND COLOR.

INTERIOR ELEVATION KEY NOTES:

- (1) CLEAN/REPAIR STONE WHERE WALL REMOVED.
- REPAIR PLASTER WHERE WALL REMOVED.
- REMOVE (E) FIRE HOSE CASE. REPAIR PLASTER AS REQUIRED
- REMOVE DRINKING FOUNTAIN. PATCH STONE WAINSCOT TO MATCH ADJACENT SURFACES.
- REPAIR PLASTER AT REAR WALL OF RADIATOR NICHE.
- REMOVE AND INFILL (N) ACCESS CABINET
- REPAIR PLASTER CORNICE AND PROVIDE BULKHEAD BACKING.
- CONTINUE PLASTER REVEAL DETAIL AT NEW WALL.
- EXISTING DAMAGE TO PLASTER AND STONE ENCAPSULATED BEHIND FURRING. PROVIDE FURRING AT DAMAGED CORNICE ABOVE TOP OF RESTROOM WALLS.
- (10) ALIGN TOP OF FURRING WITH PLASTER REVEAL.
- PRESERVE (E) STONE BASE. PROVIDE (N) STONE CAP WHERE
- (12) PLUMBING PIPING SHALL NOT PENETRATE ORNAMENTAL
- CORNICE

13) TOP OF FALSE CEILING ABOVE BATHROOM TO ALIGN WITH BOTTOM OF CORNICE



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DATE

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Typed or Printed Name:

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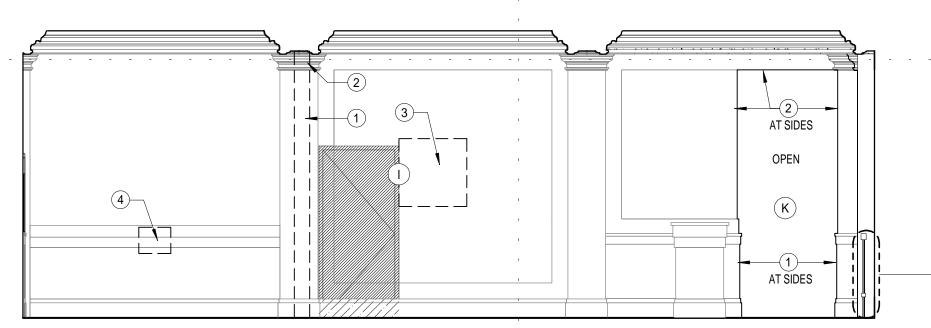
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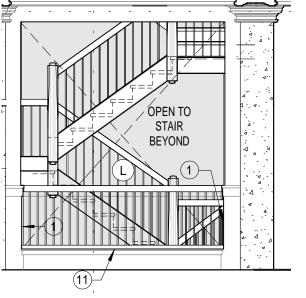
DRAWING TITLE: INTERIOR ELEVATIONS -COMMON AREAS

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:

A2.20





OPEN TO STAIR 1

7 A4.01

10 HISTORIC LOBBY - W WALL 3

11 HISTORIC LOBBY - E WALL 1

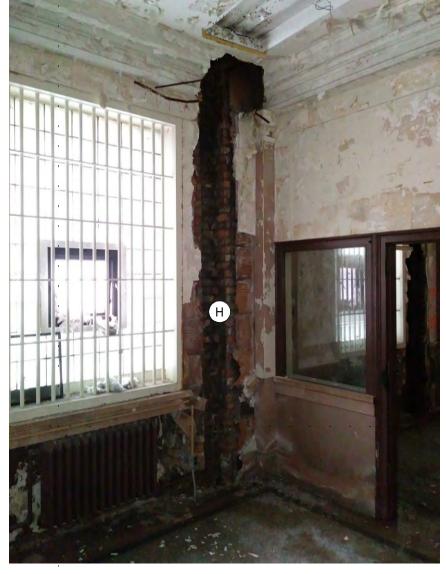
OPEN

12 HISTORIC LOBBY - N WALL 2

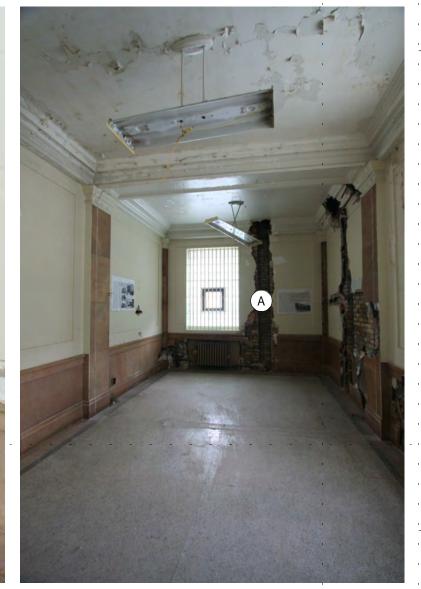
9 HISTORIC LOBBY - N WALL 1



HISTORIC OFFICE EXISTING CONDITION PHOTOS







SEE SHEET A1.60/A2.30 FOR SCOPE NOTES



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DRAWING TITLE: INTERIOR ELEVATIONS -

COMMON AREAS -**EXISTING CONDITION PHOTOS**

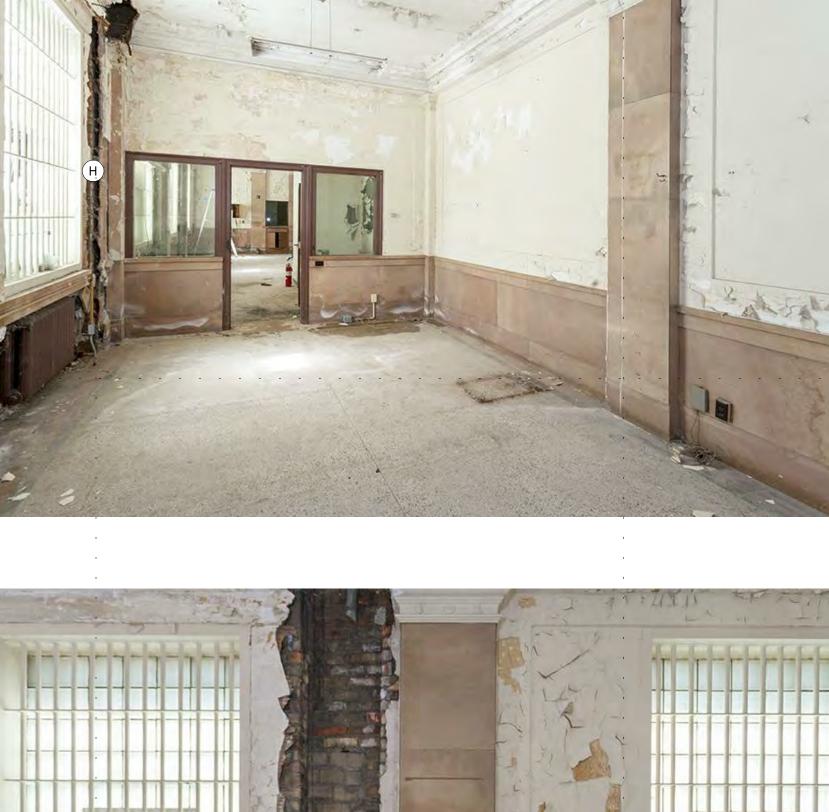
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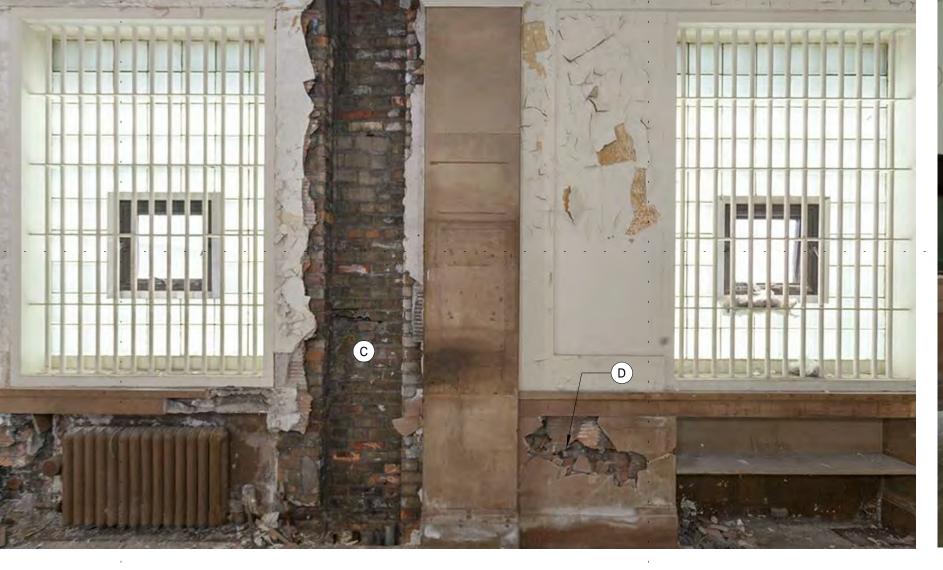
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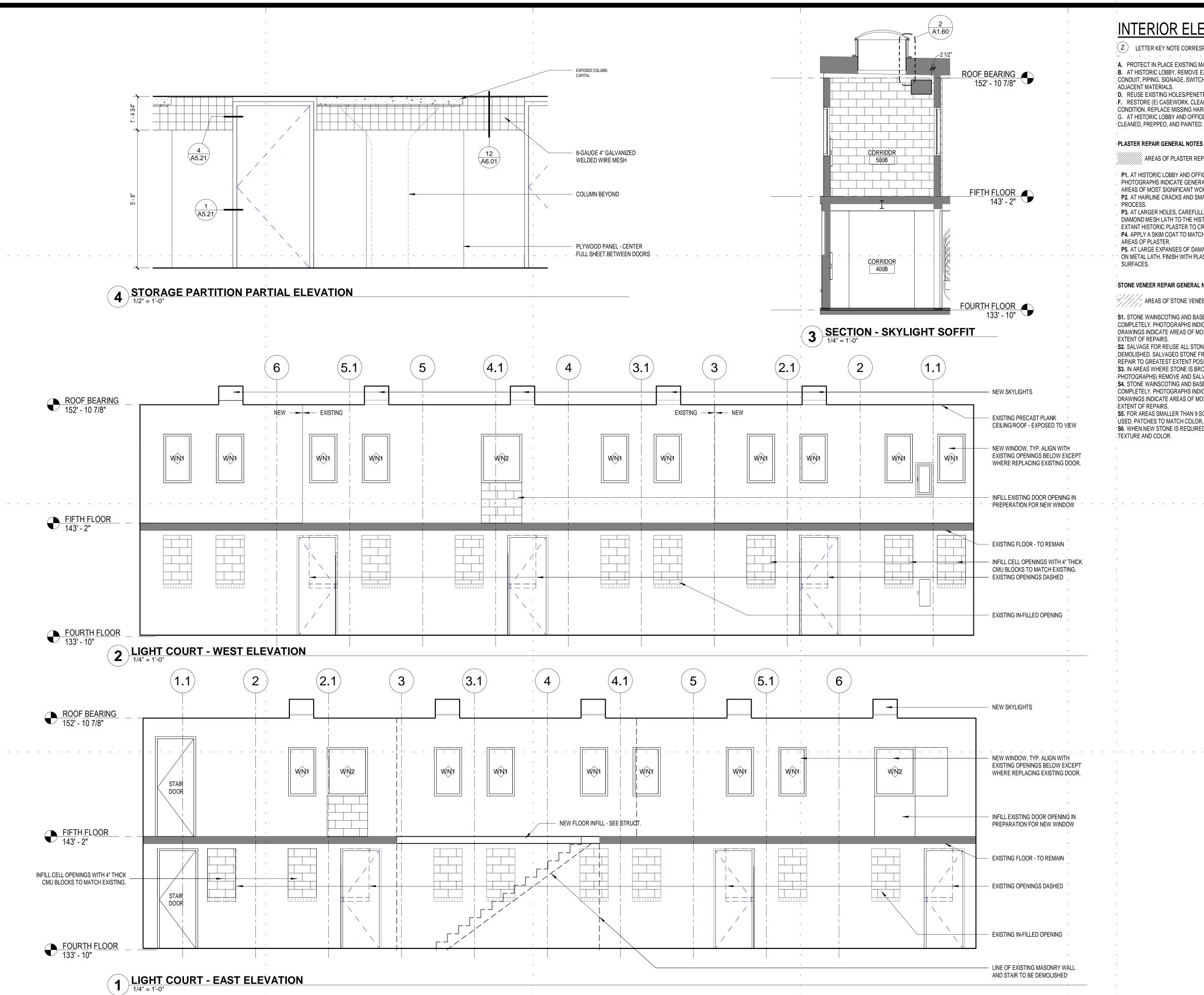








HISTORIC LOBBY EXISTING CONDITION PHOTOS



INTERIOR ELEV. GENERAL NOTES:

Z LETTER KEY NOTE CORRESPONDS TO AREA SHOWN IN PHOTOGRAPH ON A2.31

A. PROTECT IN PLACE EXISTING MATERIALS AND FINISHES TO REMAIN. B. AT HISTORIC LOBBY, REMOVE EXISTING OBSOLETE LIGHTING, EQUIPMENT, PANELS, CONDUIT, PIPING, SIGNAGE, SWITCHES, AND OUTLETS, U.N.O. PATCH HOLES TO MATCH

D. REUSE EXISTING HOLES/PENETRATIONS WHENEVER POSSIBLE FOR NEW DEVICES. F. RESTORE (E) CASEWORK. CLEAN AND REPAIR (E) HARDWARE TO FUNCTIONAL CONDITION. REPLACE MISSING HARDWARE TO MATCH (E). PAINT WOOD SURFACES. G. AT HISTORIC LOBBY AND OFFICE, ALL CURRENTLY PAINTED SURFACES TO BE

PLASTER REPAIR GENERAL NOTES

AREAS OF PLASTER REPAIR AND/OR INFILL

P1. AT HISTORIC LOBBY AND OFFICE, U.N.O, PLASTER TO BE REPAIRED COMPLETELY PHOTOGRAPHS INDICATE GENERAL LEVEL OF REPAIR REQUIRED. DRAWINGS INDICATE AREAS OF MOST SIGNIFICANT WORK, CONTRACTOR TO V.I.F. FULL EXTENT OF REPAIRS

P3. AT LARGER HOLES, CAREFULLY REMOVE REMAINING PLASTER BY HAND. ATTACH A DIAMOND MESH LATH TO THE HISTORIC LATH. APPLY NEW PLASTER AND LAP IT OVER EXTANT HISTORIC PLASTER TO CREATE AND STRONG AND SEAMLESS PATCH. P4. APPLY A SKIM COAT TO MATCH THE EXISTING ADJACENT SURFACE FOR SPALLING AREAS OF PLASTER.

P5. AT LARGE EXPANSES OF DAMAGED OR MISSING PLASTER, INSTALL GYPSUM BOARD ON METAL LATH. FINISH WITH PLASTER SKIM COAT TO MATCH ADJACENT PLASTER SURFACES.

STONE VENEER REPAIR GENERAL NOTES

AREAS OF STONE VENEER REPAIR OR NEW INSTALLATION. '\$1. STONE WAINSCOTING AND BASES TO BE CLEANED, PATCHED, AND REPAIRED

COMPLETELY. PHOTOGRAPHS INDICATE GENERAL LEVEL OF REPAIR REQUIRED. DRAWINGS INDICATE AREAS OF MOST SIGNIFICANT WORK, CONTRACTOR TO V.I.F. FULL EXTENT OF REPAIRS. **S2.** SALVAGE FOR REUSE ALL STONE BASE AND WAINSCOTING VENEER ON WALLS TO BE DEMOLISHED. SALVAGED STONE FROM DEMOLISHED WALLS SHALL BE USED FOR STONE

REPAIR TO GREATEST EXTENT POSSIBLE. 'S3. IN AREAS WHERE STONE IS BROKEN BUT PRESENT (I.E. NEAR LETTER D IN THE PHOTOGRAPHS) REMOVE AND SALVAGE PIECES FOR USE IN PATCHING. S4. STONE WAINSCOTING AND BASES TO BE CLEANED, PATCHED, AND REPAIRED COMPLETELY. PHOTOGRAPHS INDICATE GENERAL LEVEL OF REPAIR REQUIRED. 'DRAWINGS INDICATE AREAS OF MOST SIGNIFICANT WORK, CONTRACTOR TO V.I.F. FULL

EXTENT OF REPAIRS. **S5.** FOR AREAS SMALLER THAN 9 SQ INCHES, A MASONRY PATCHING SYSTEM MAY BE USED. PATCHES TO MATCH COLOR, PATTERN, AND TEXTURE OF HISTORIC STONE. 'S6. WHEN NEW STONE IS REQUIRED, NEW STONE TO MATCH EXISTING IN APPEARANCE, TEXTURE AND COLOR.

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Blue Limit, LLC

620 South 6TH Street Minneapolis, MN 55404

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Signature:

ANDREW MADSON Typed or Printed Name: /

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PROJECT NAME:

St. Louis Co Jail -Conversion to Housing

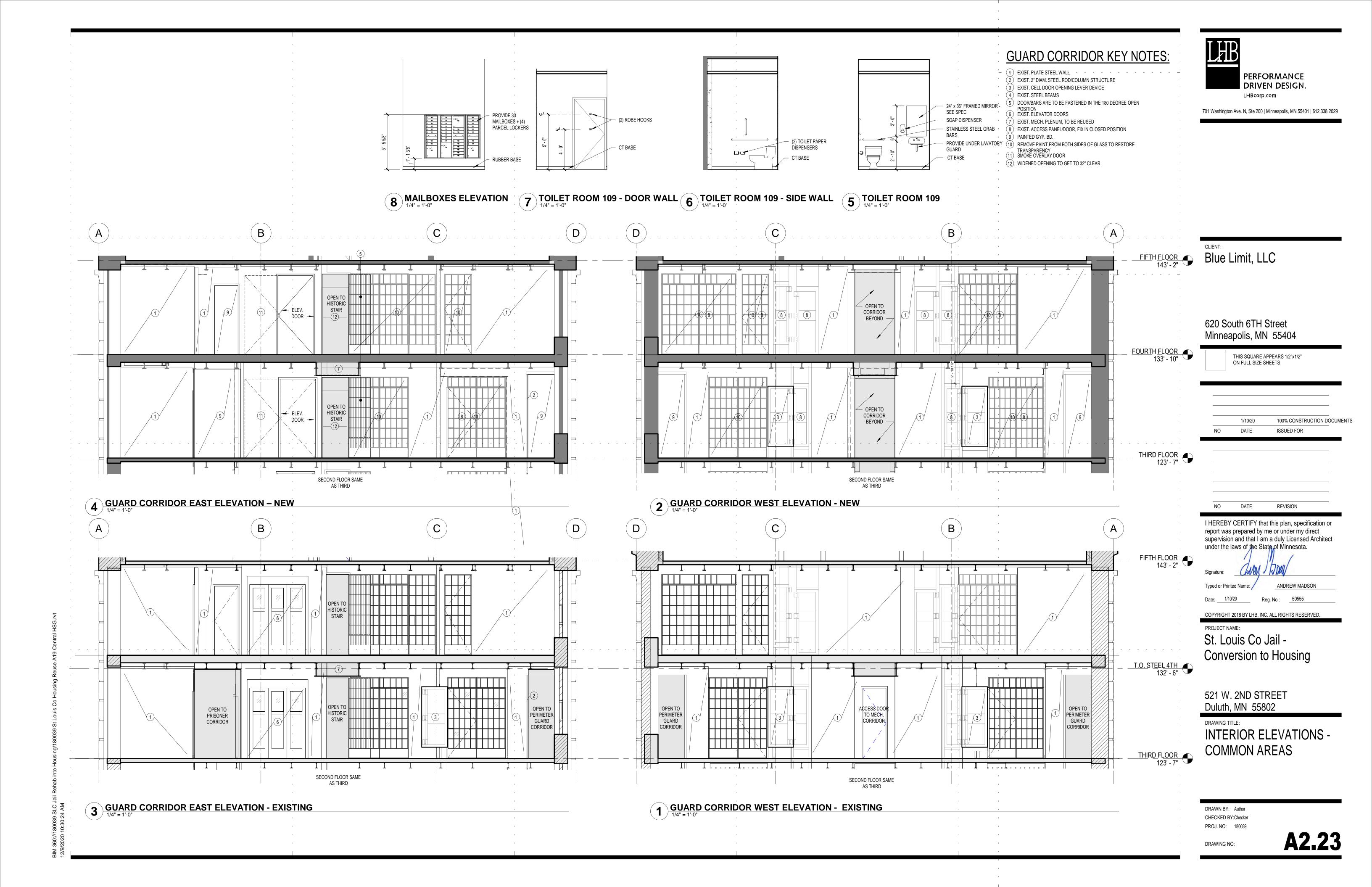
521 W. 2ND STREET Duluth, MN 55802

DRAWING TITLE: INTERIOR ELEVATIONS -COMMON AREAS

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:

A2.22





GUARD CORRIDOR - 4TH FLOOR D



GUARD CORRIDOR - 4TH FLOOR A









GUARD CORRIDOR - 2ND AND 3RD FLOOR B

(18) GUARD CORRIDOR - 2ND AND 3RD FLOOR A



GUARD CORRIDOR'- 4TH FLOOR C



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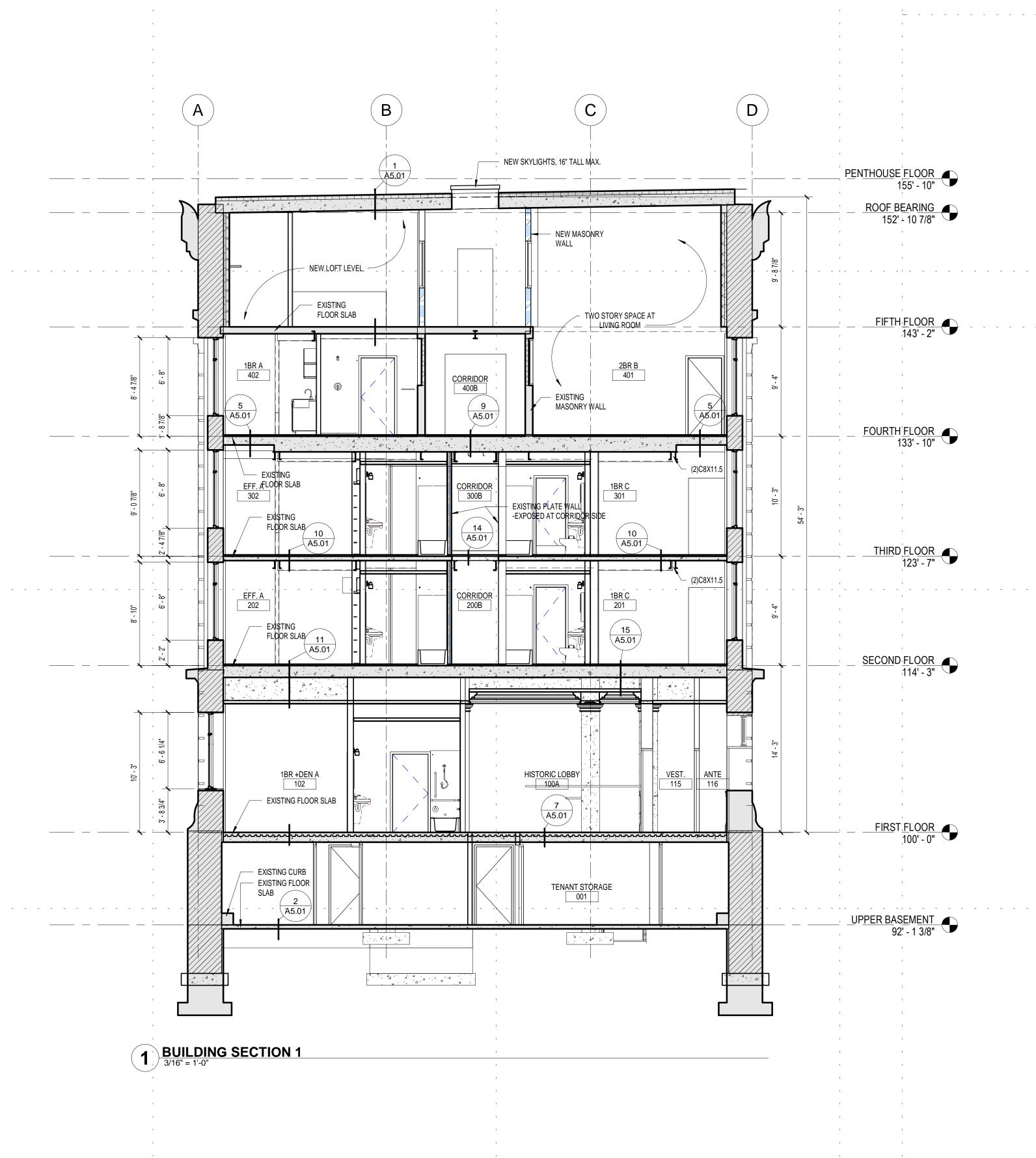
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DRAWING TITLE: INTERIOR ELEVATIONS -COMMON AREAS -EXISTING CONDITION PHOTOS

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

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Date: 1/10/20 Reg. No.: 50555

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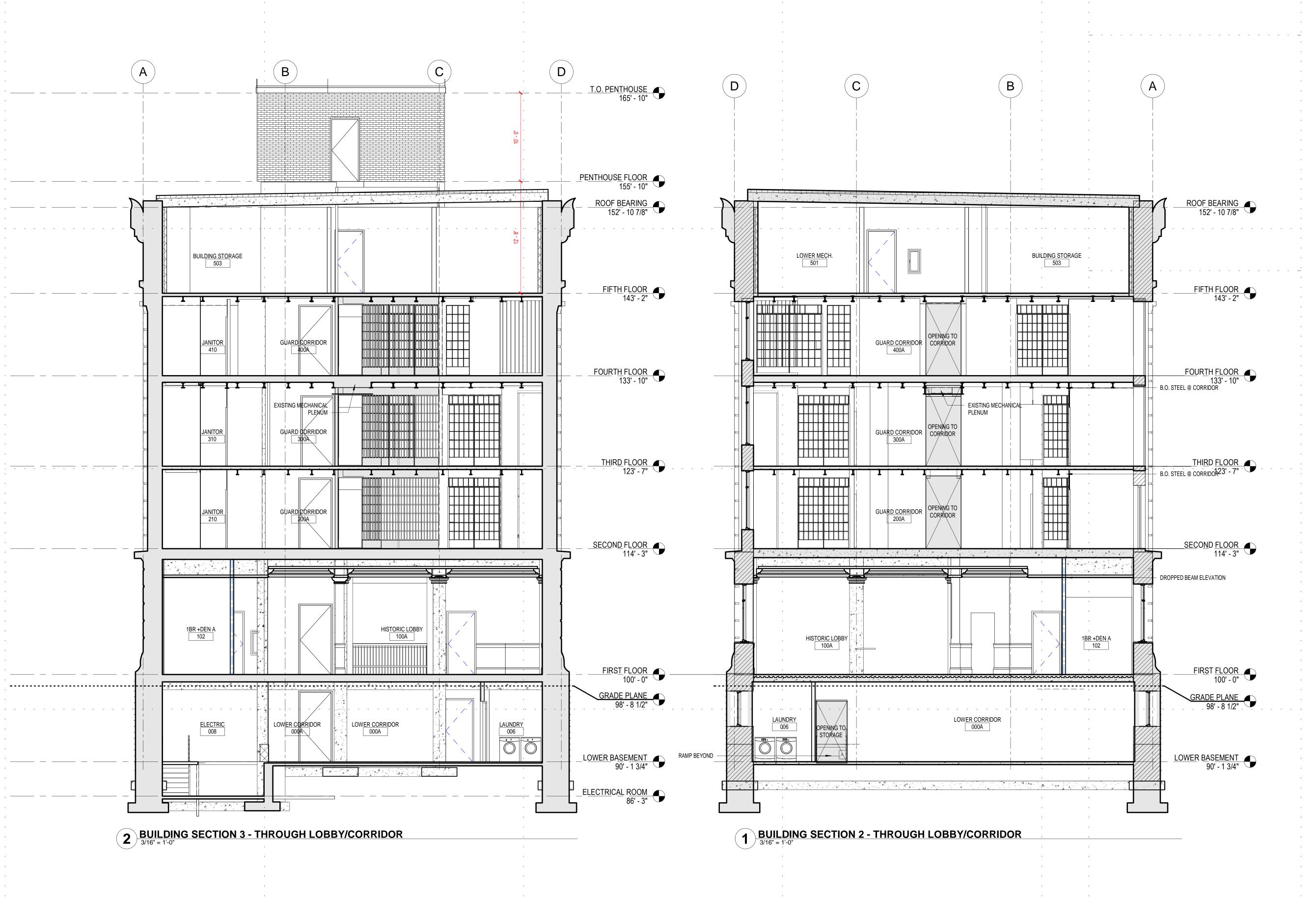
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DRAWING TITLE:
BUILDING SECTIONS

DRAWN BY: Author
CHECKED BY:Checker
PROJ. NO: 180039

DRAWING NO:

A3.00





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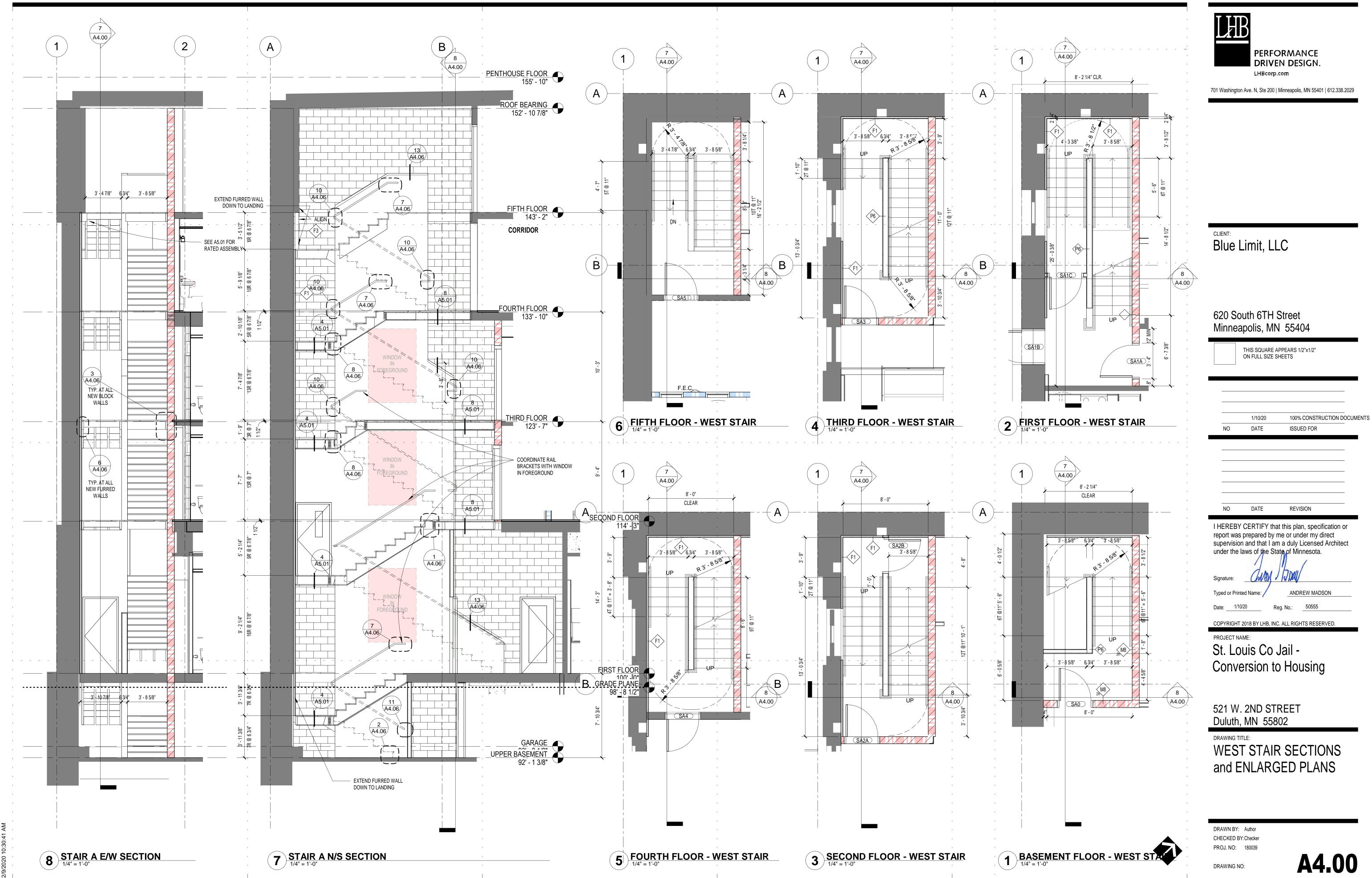
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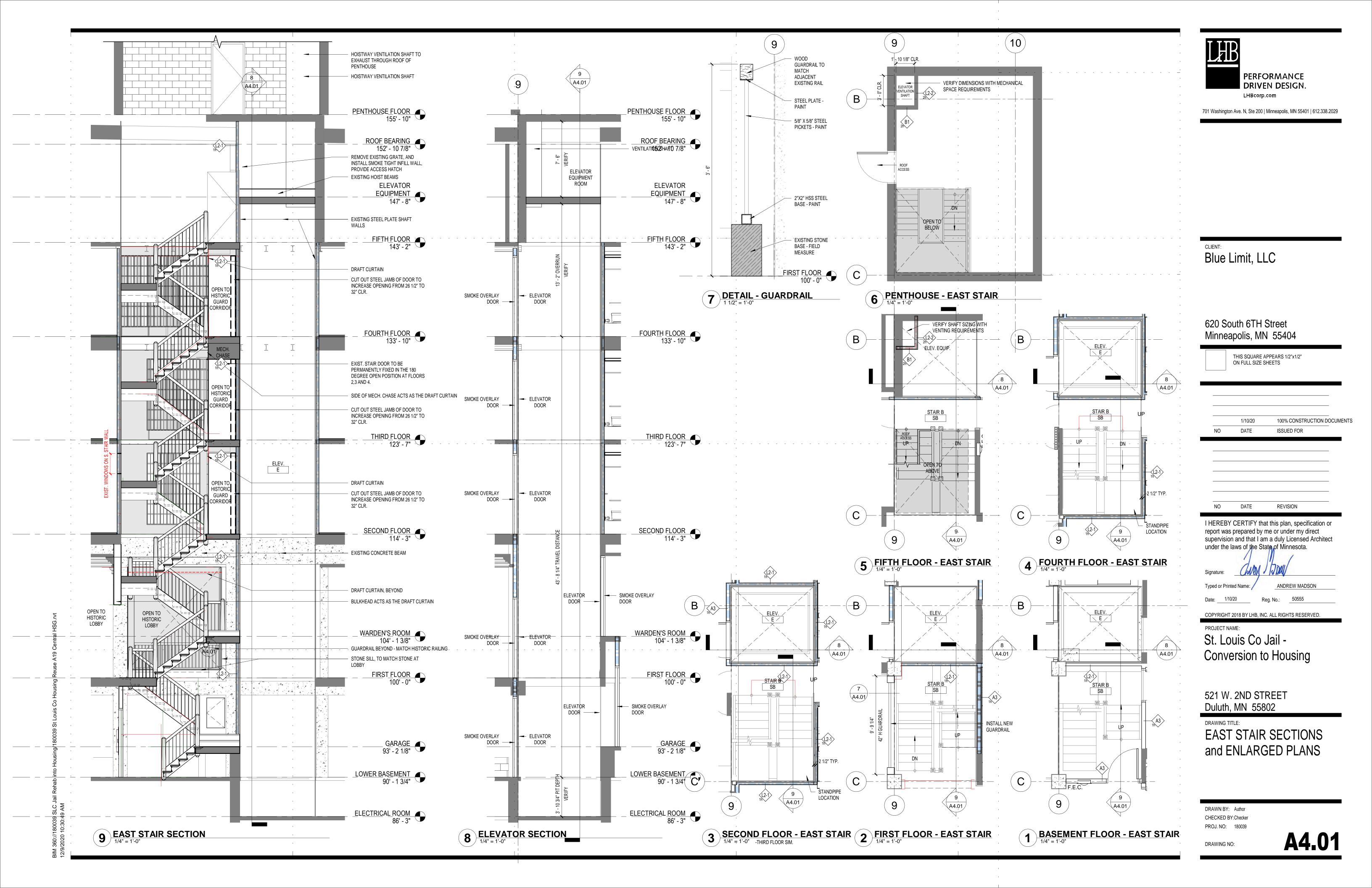
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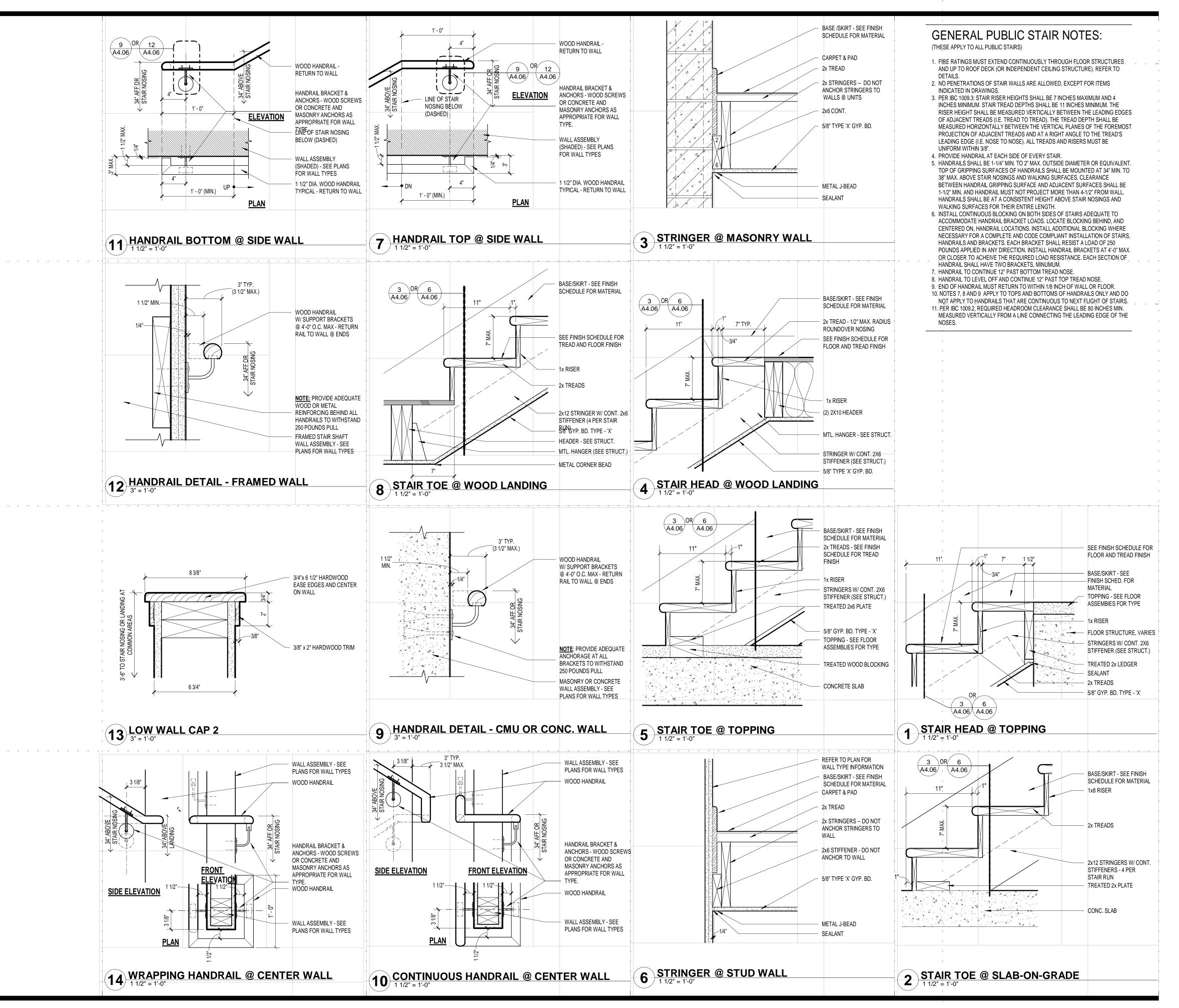
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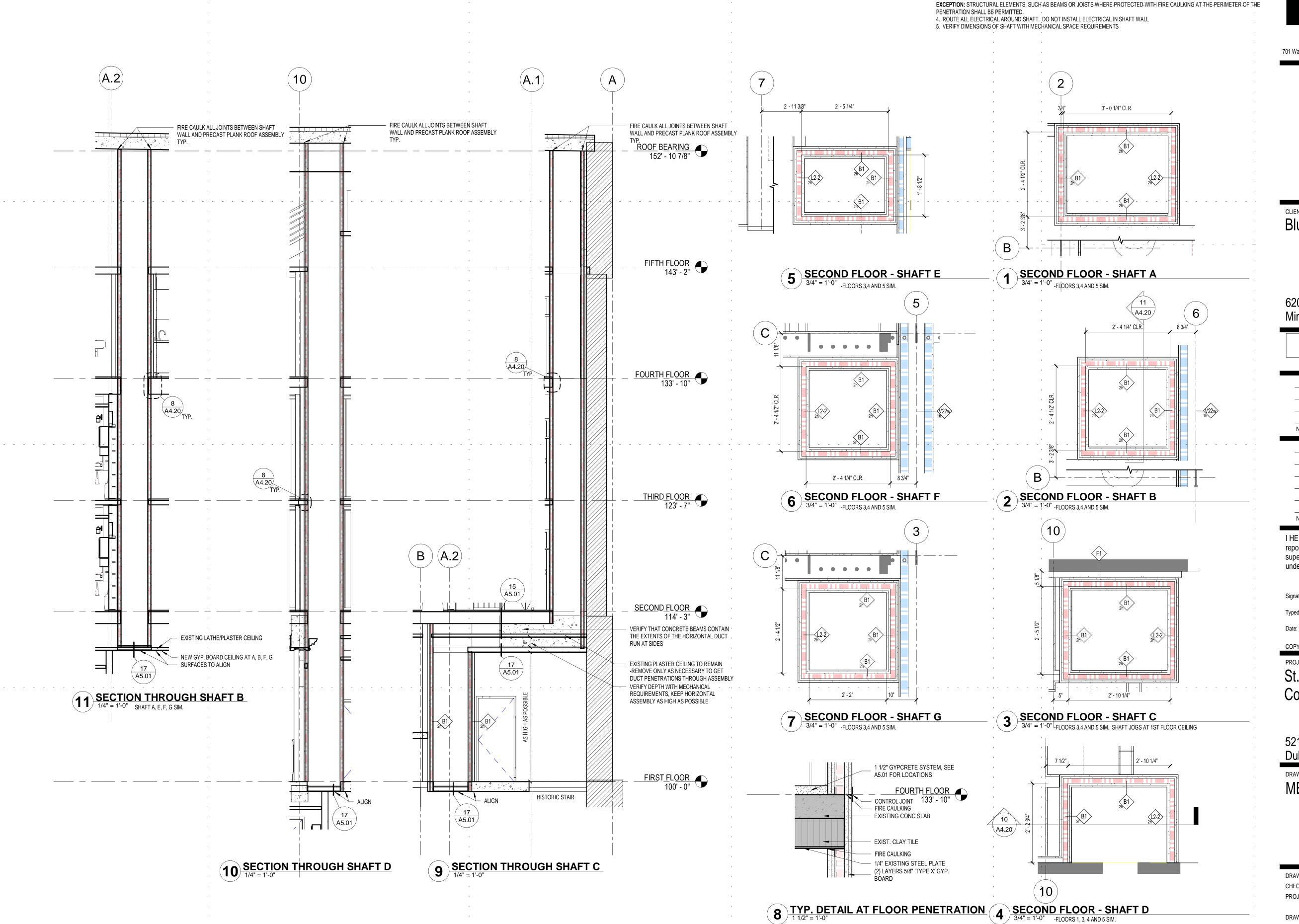
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STAIR DETAILS

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PROJ. NO: 180039

DRAWING NO:

A4.06



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MECHANICAL SHAFT GENERAL NOTES:

1. MECHANICAL SHAFT WALLS IN THIS PROJECT ARE TO BE CONSTRUCTED AS 2 HOUR FIRE BARRIERS AND 2 HOUR HORIZONTAL

ASSEMBLIES (ONLY AT SHAFT C)

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Typed or Printed Name: ANDREW MADSON

Date: _____1/10/20 Reg. No.: ____50555

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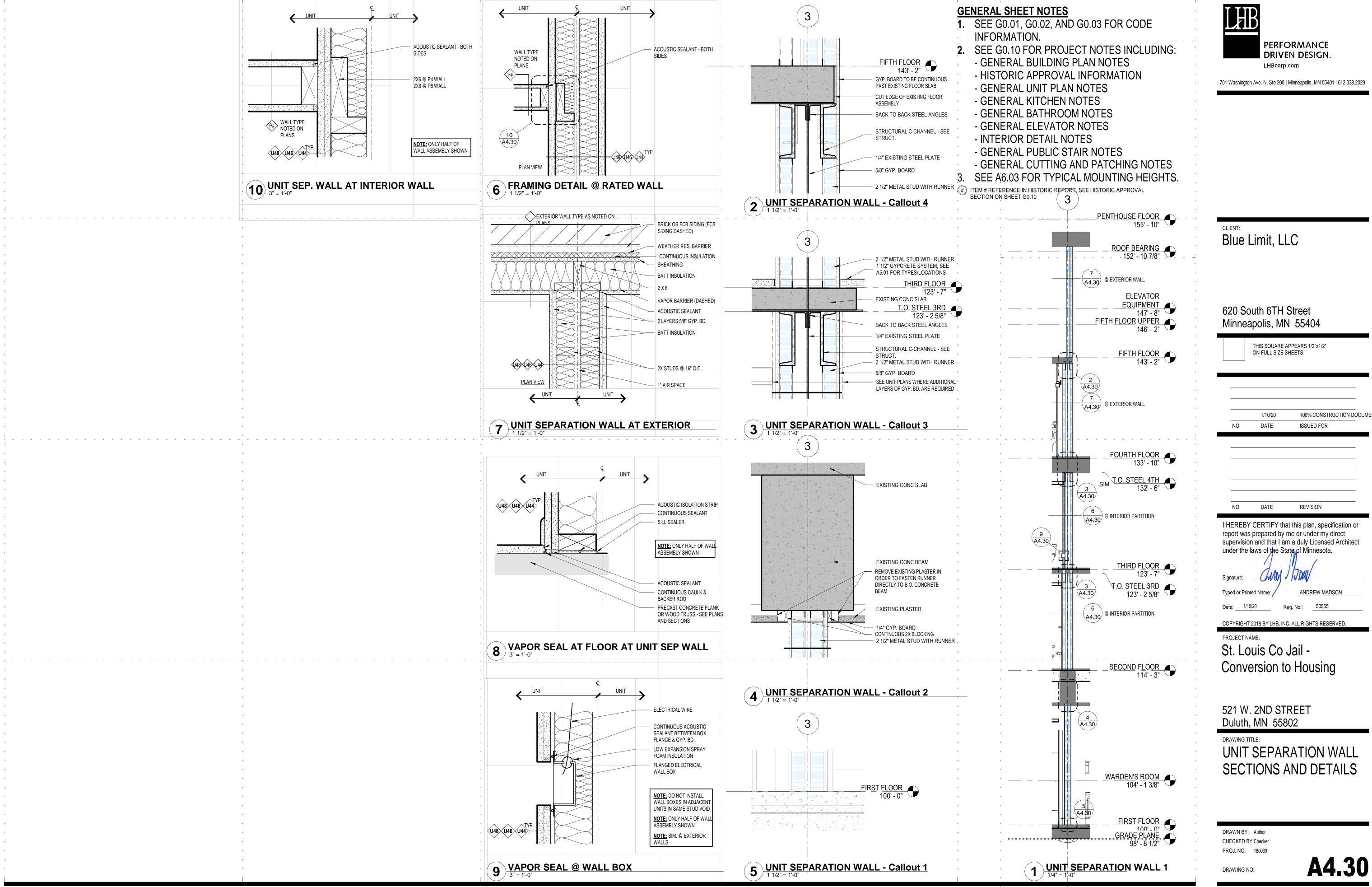
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MECHANICAL SHAFTS

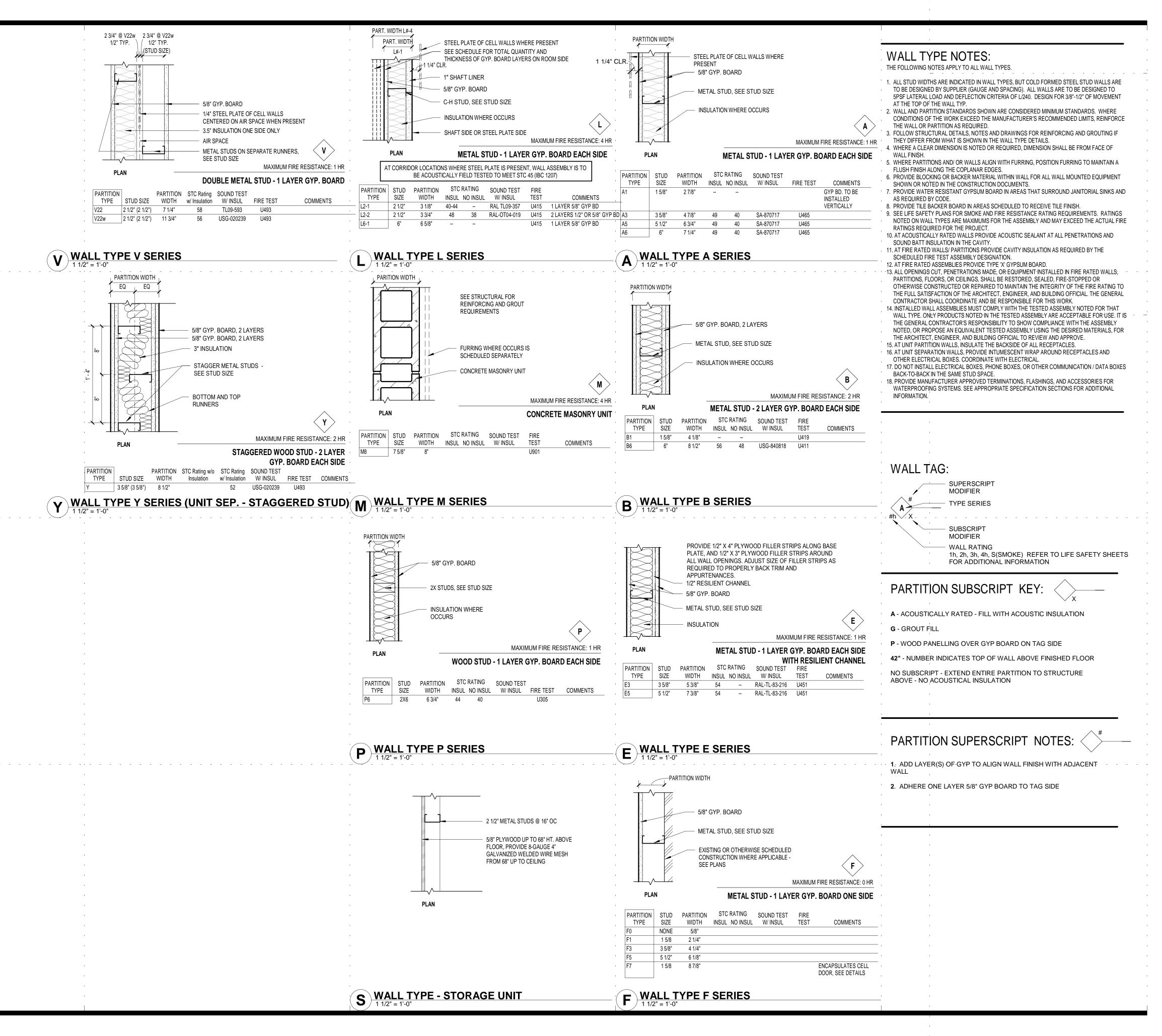
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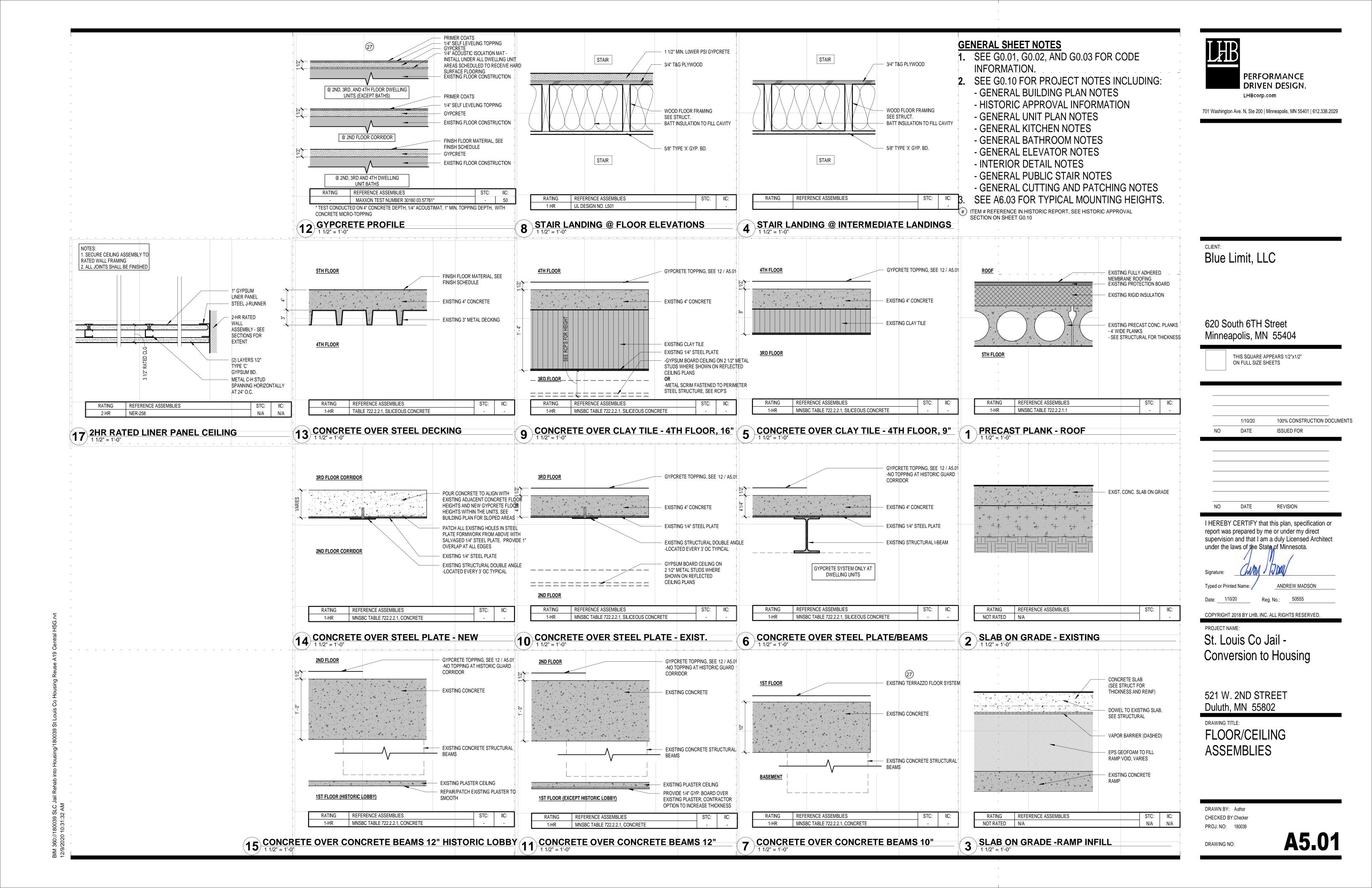
Conversion to Housing

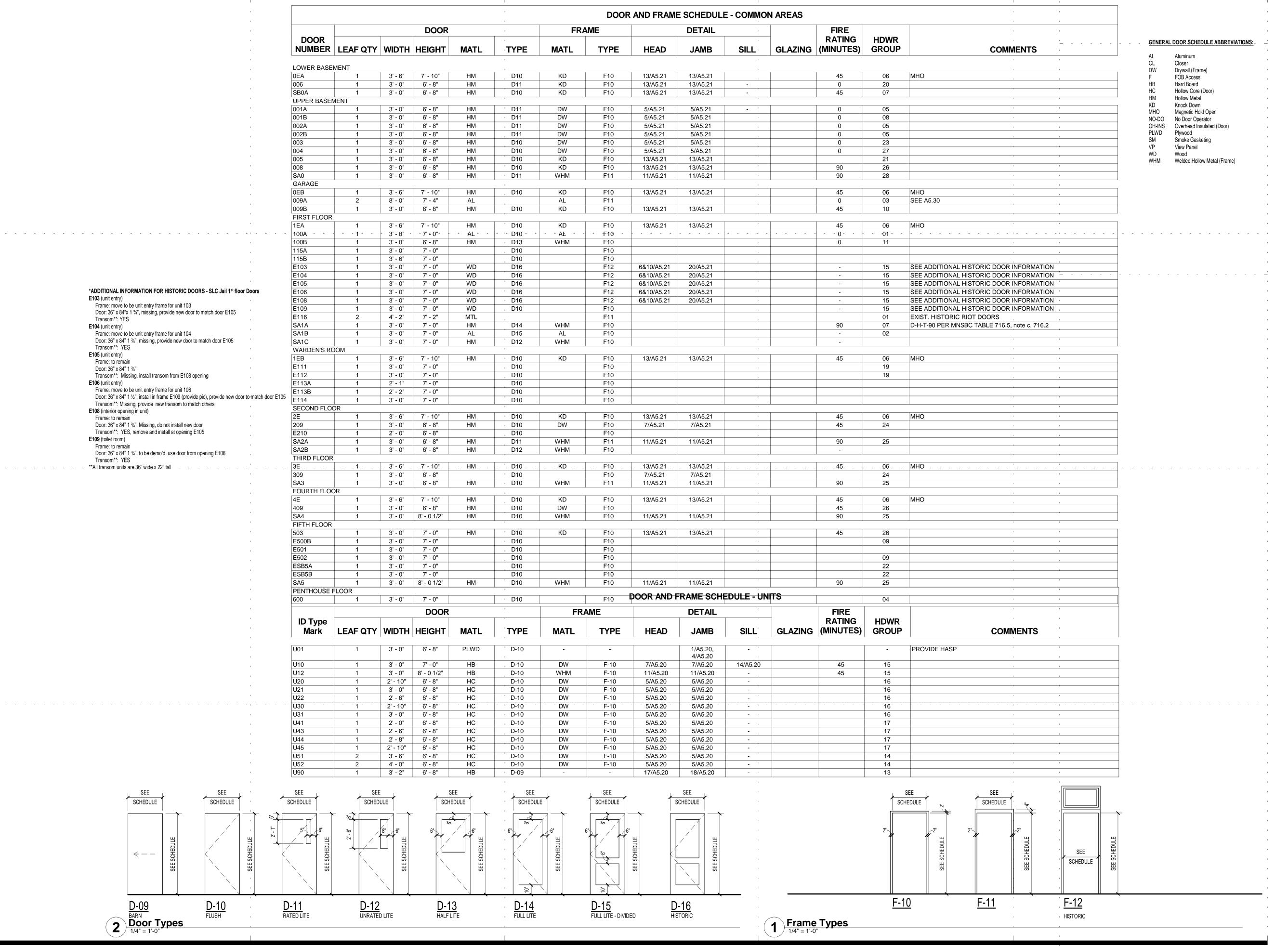
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DRAWING TITLE:
WALL TYPES

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Typed or Printed Name:

DATE

: ANDREW MADSON

Reg. No.: 50555

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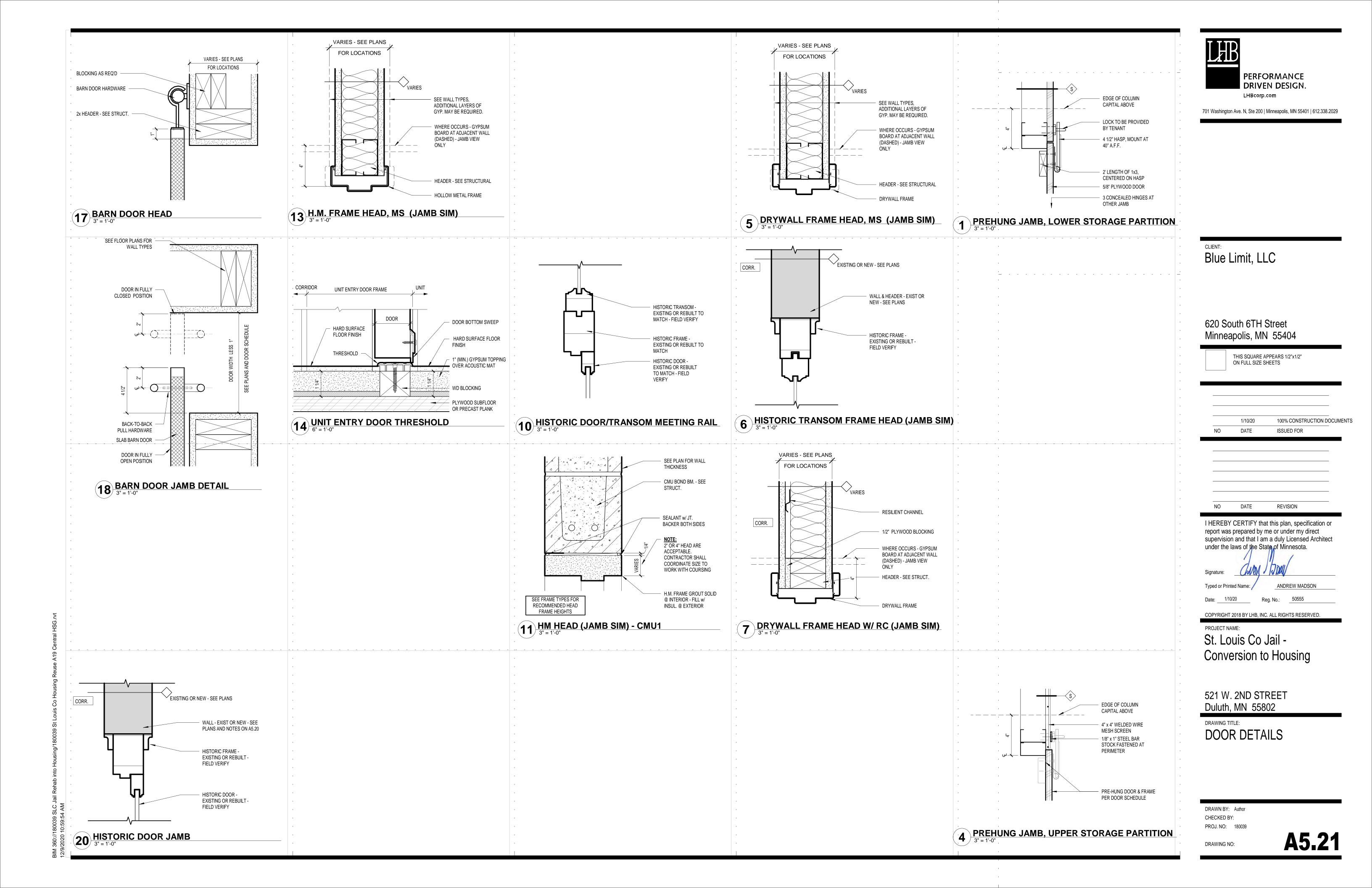
Conversion to Housing

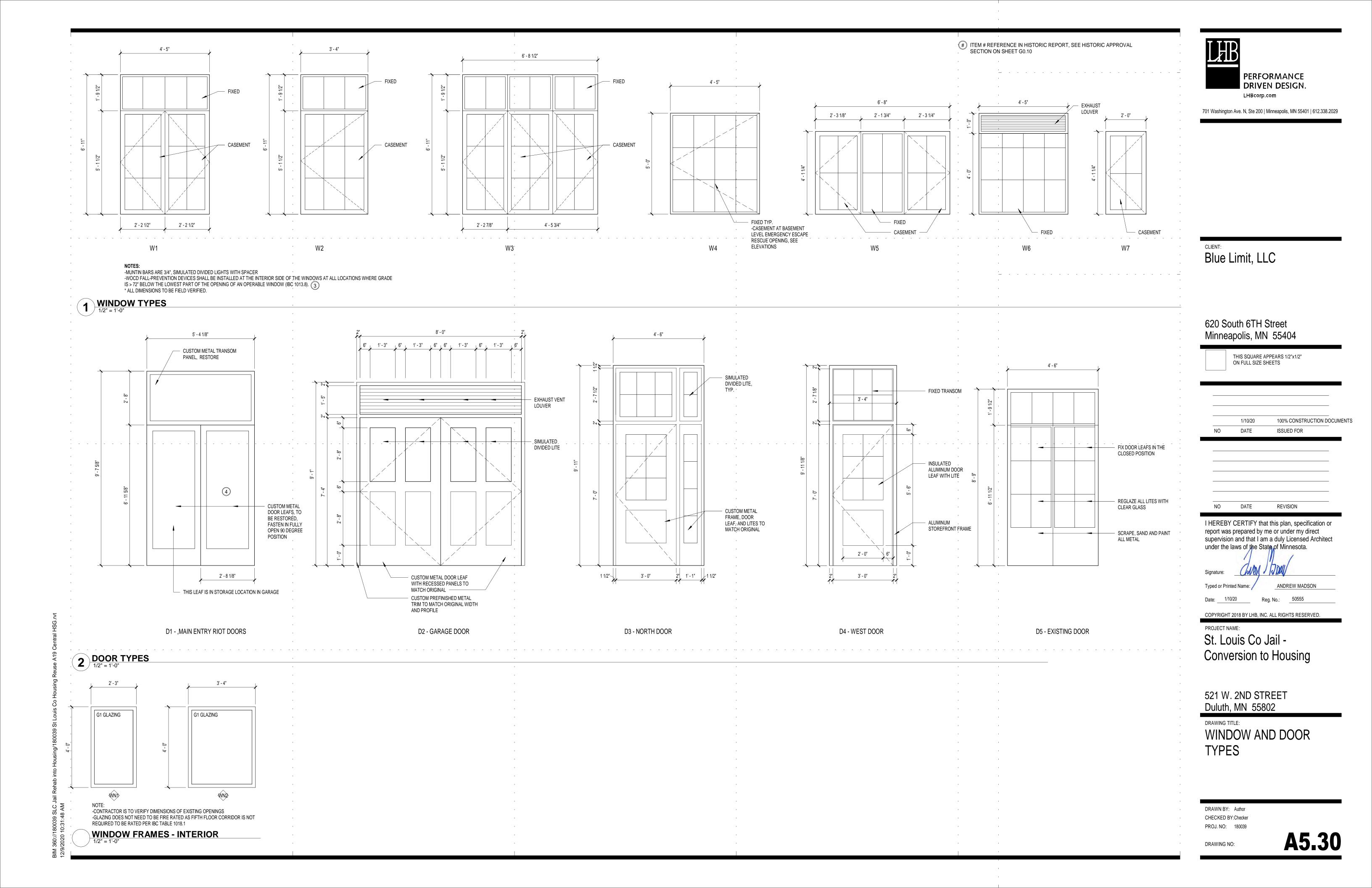
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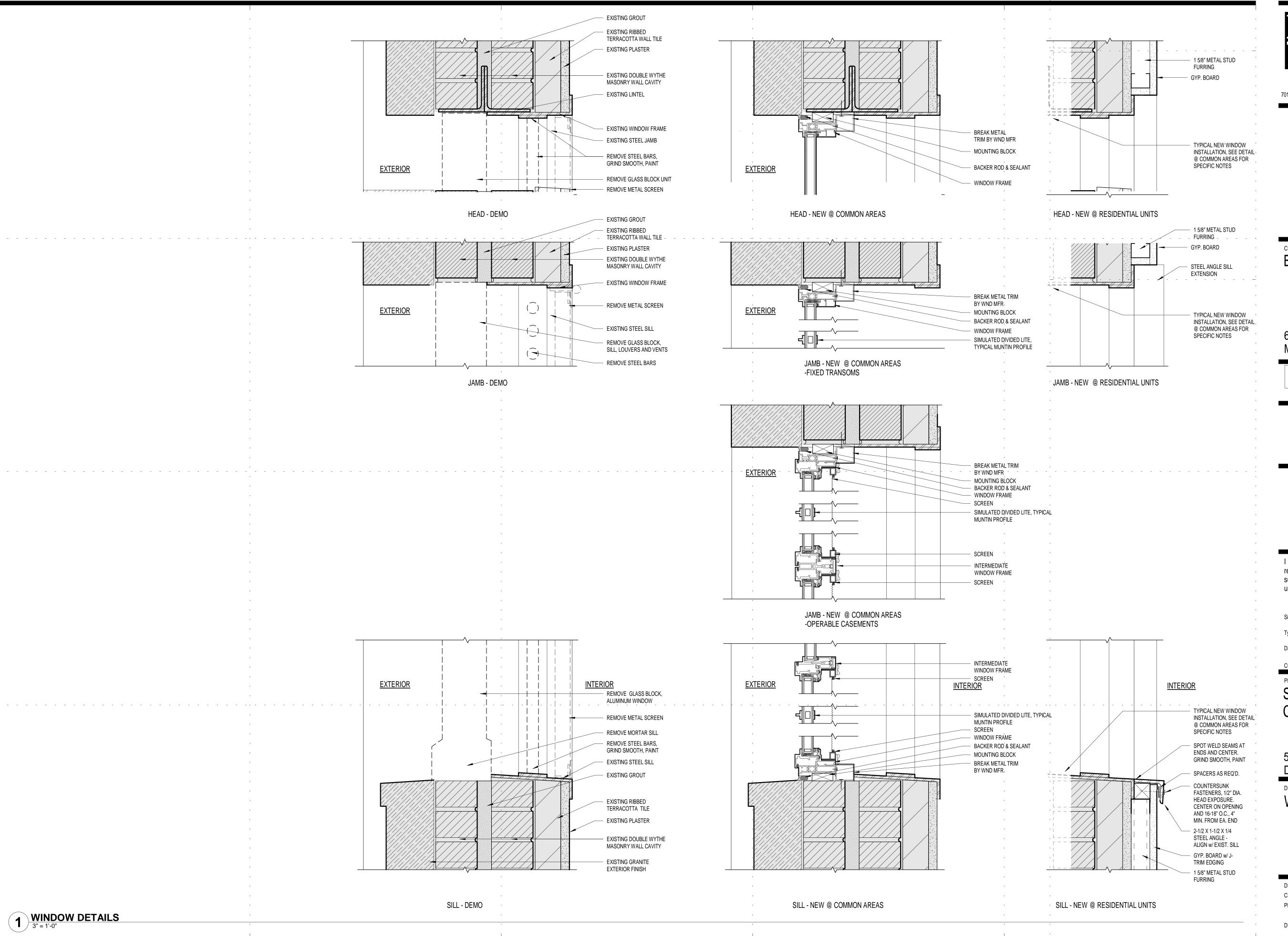
DOOR SCHEDULE and FRAME TYPES

DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:









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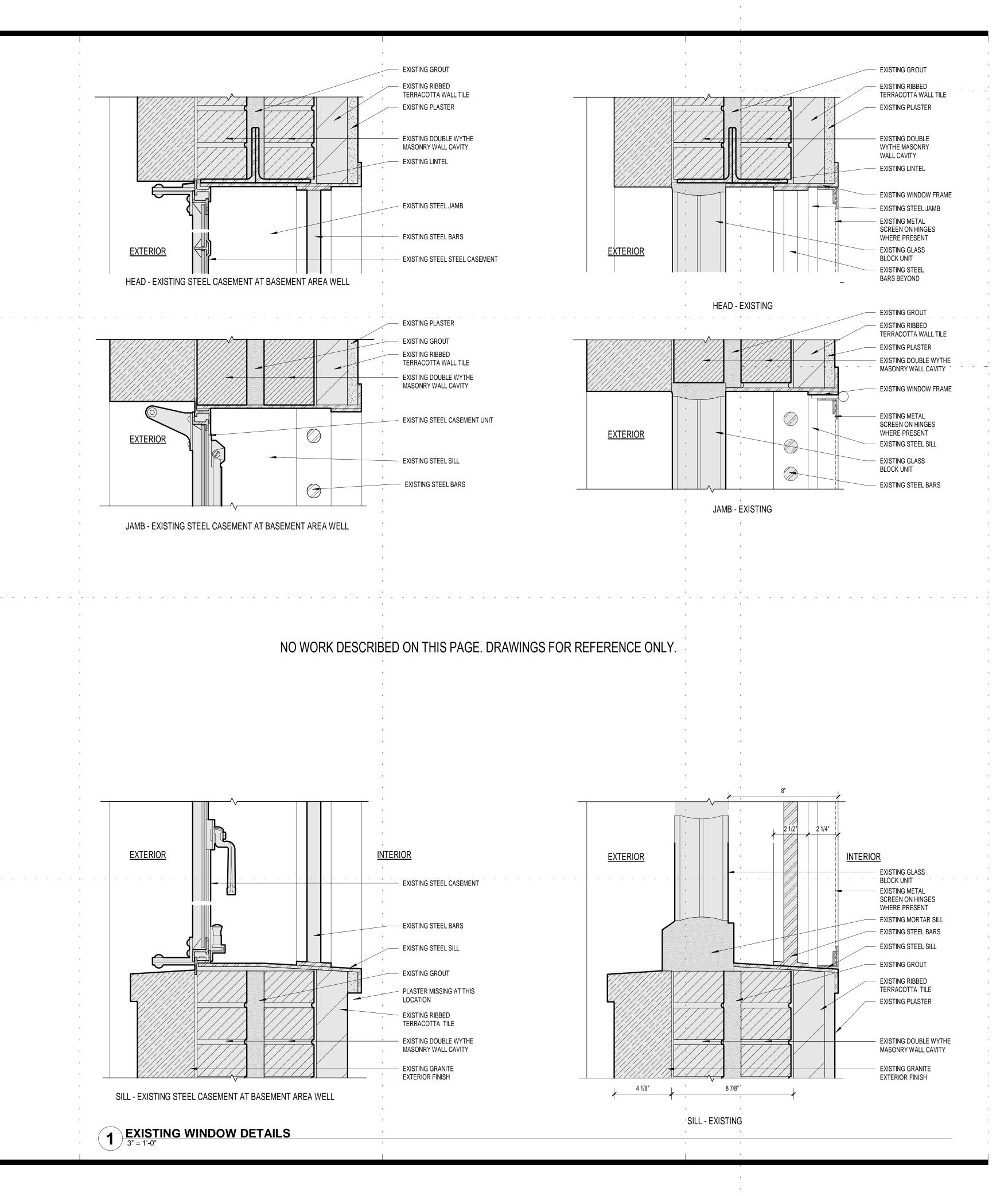
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WINDOW DETAILS

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DRAWING NO:





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Conversion to Housing

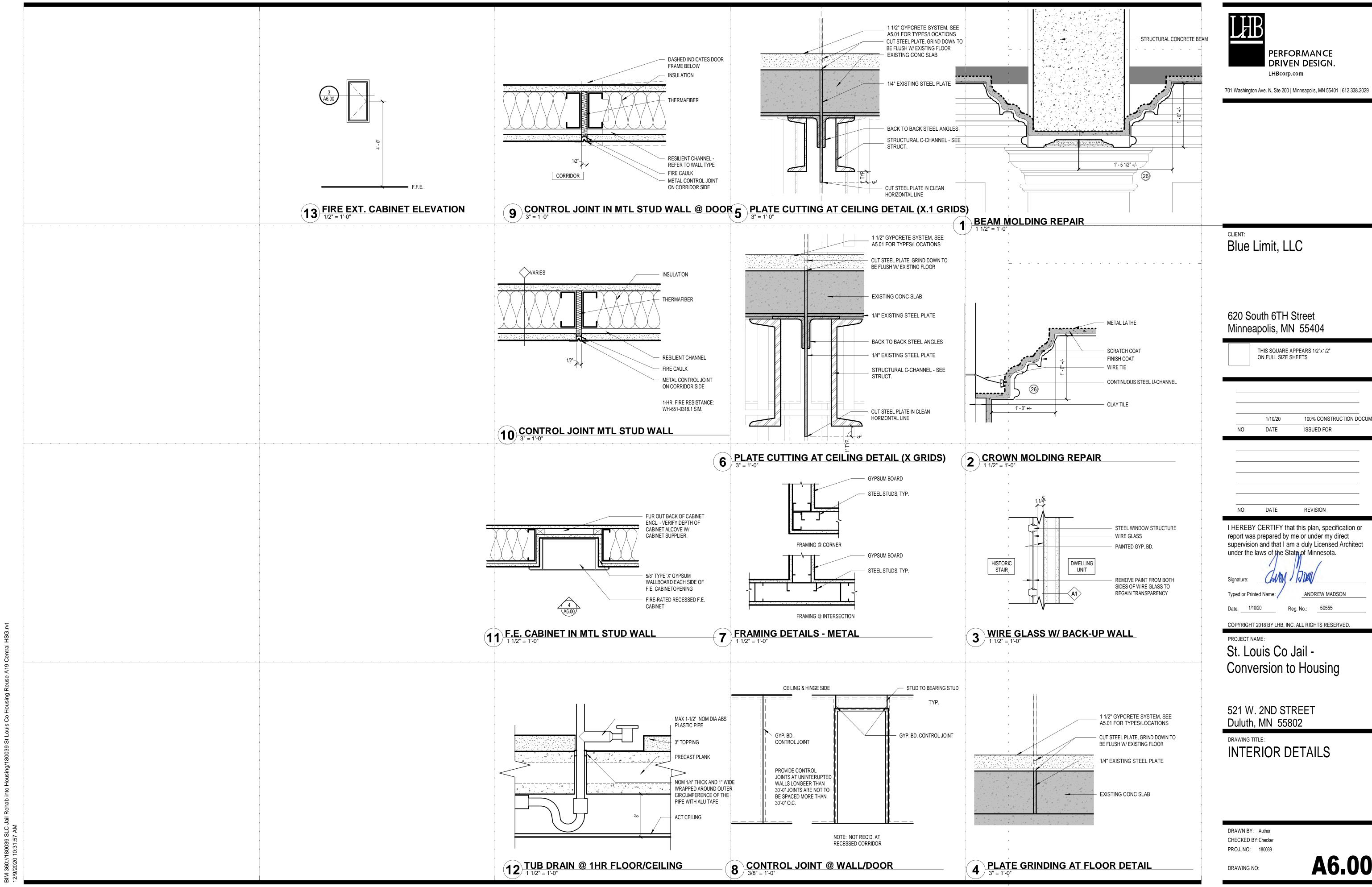
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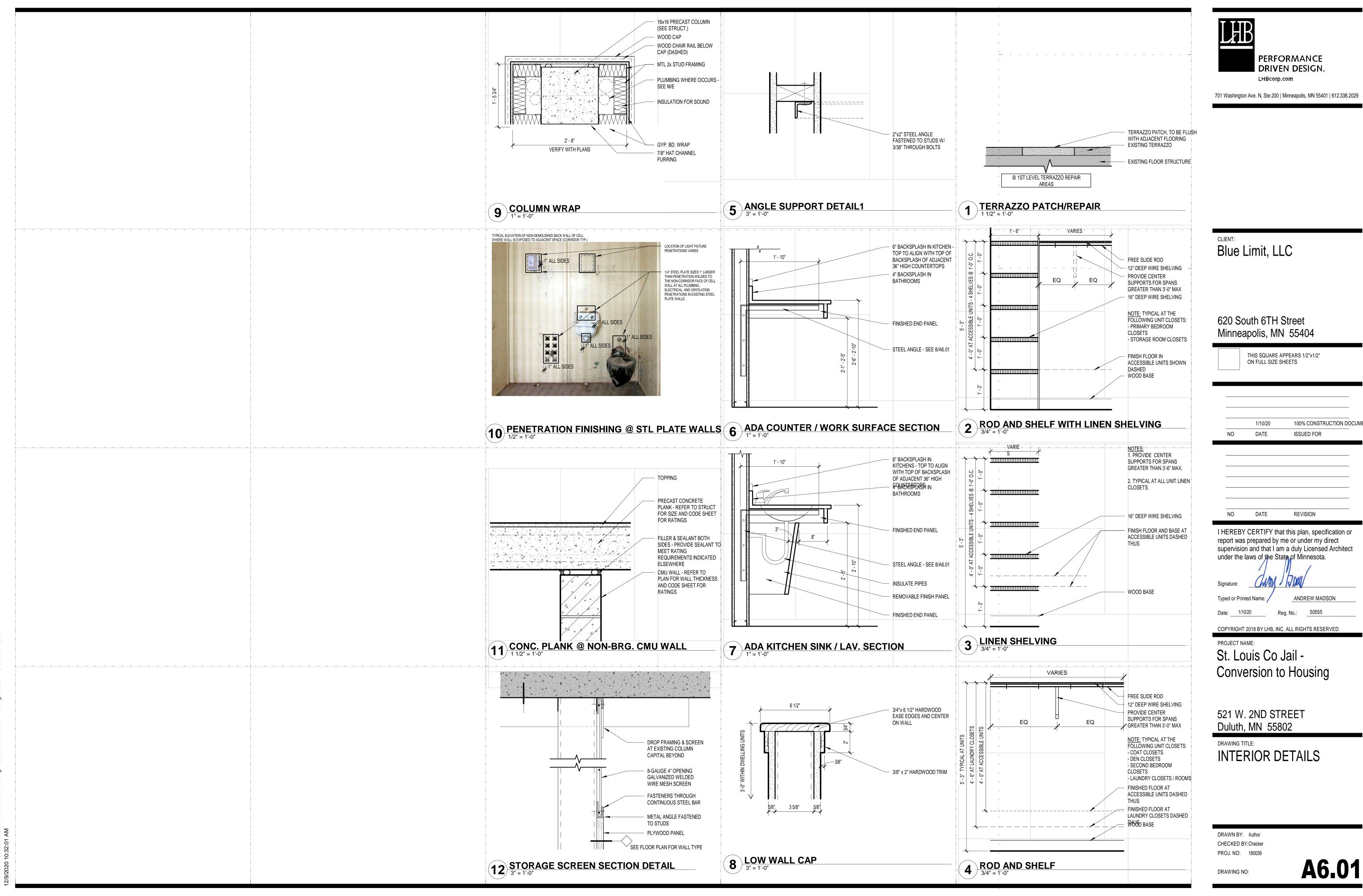
EXISTING WINDOW DETAILS

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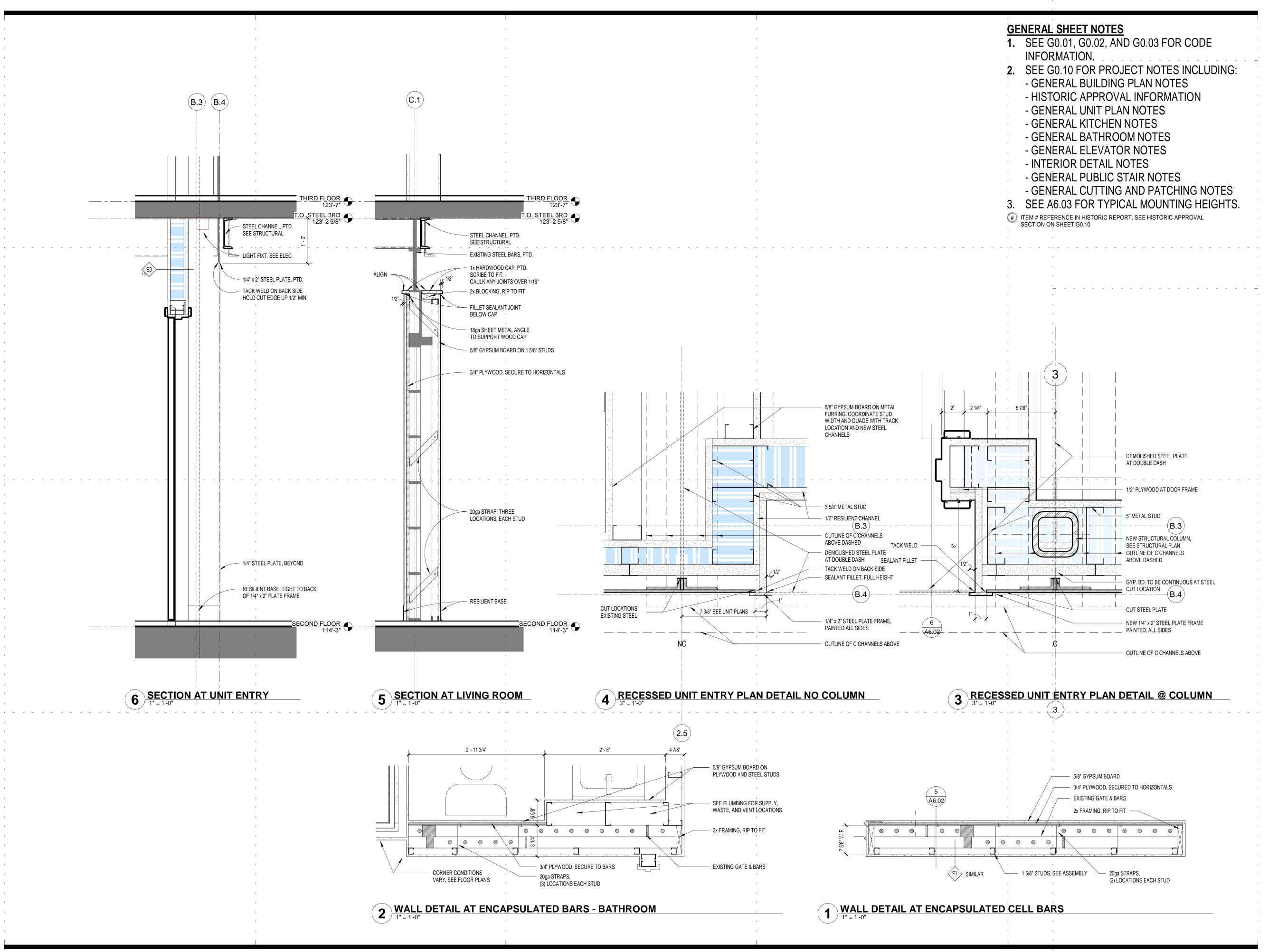
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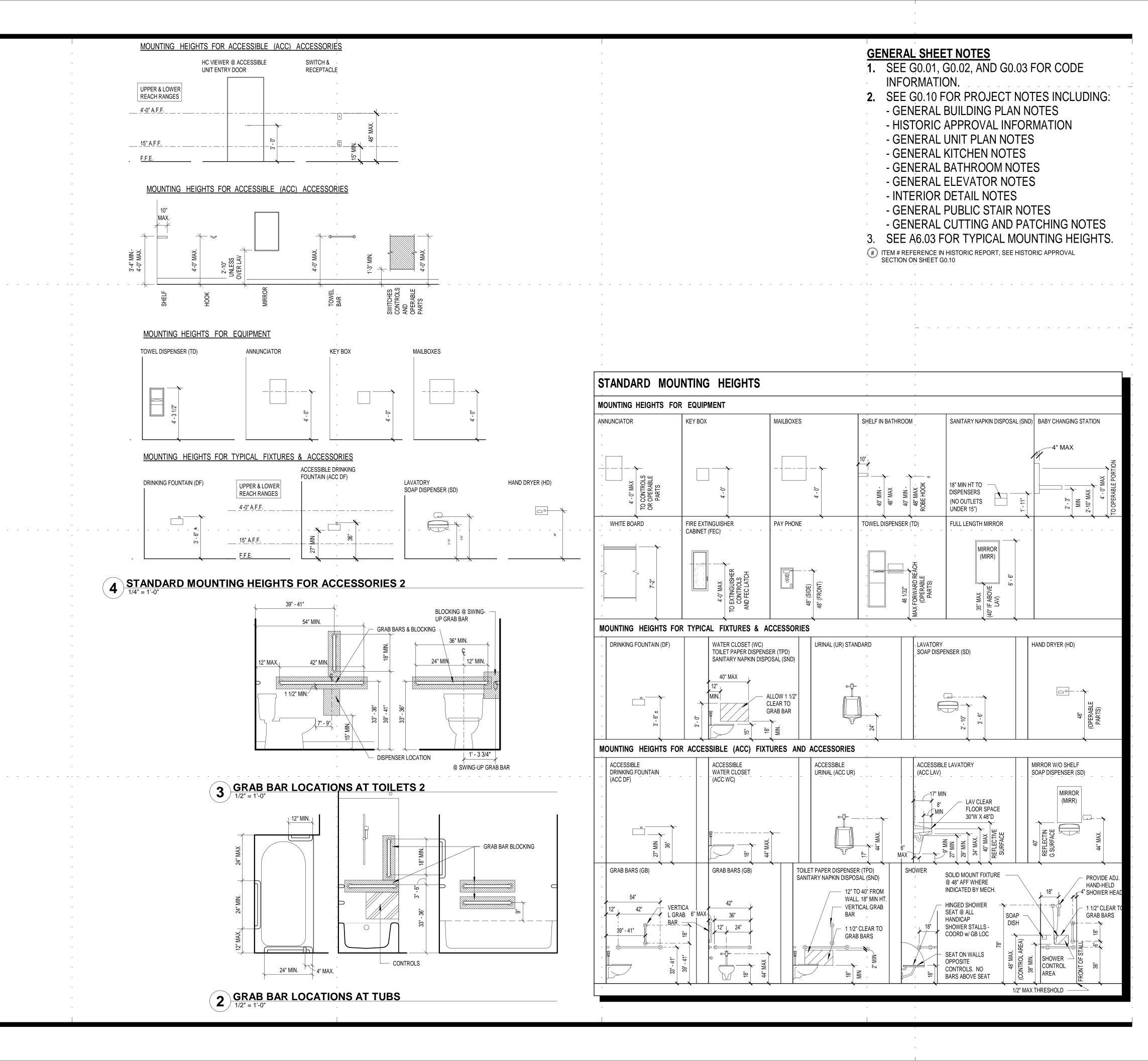
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INTERIOR DETAILS

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DRAWING NO:

A6.02



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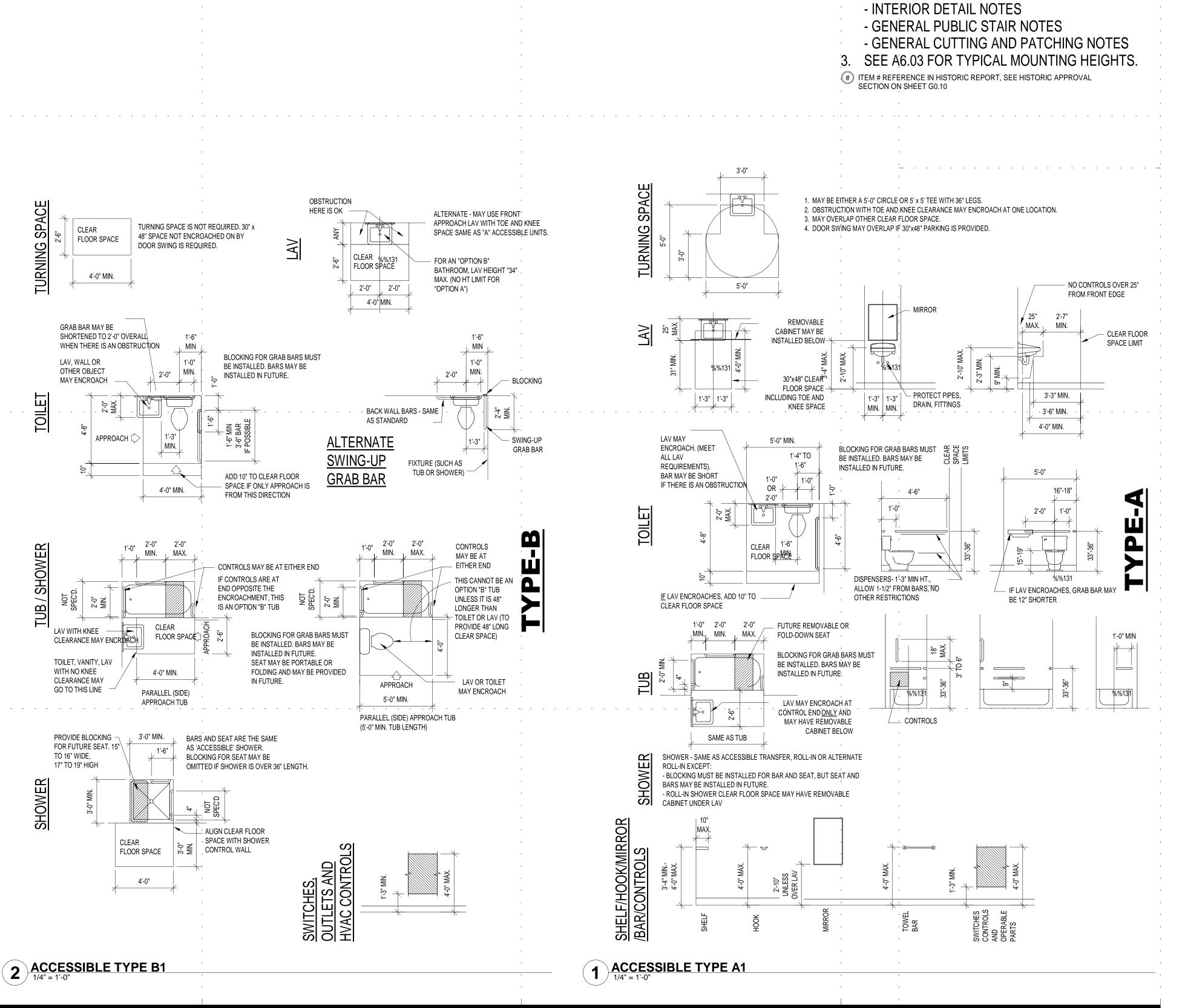
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INTERIOR DETAILS STANDARD MOUNTING
HEIGHTS

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GENERAL SHEET NOTES

INFORMATION.

1. SEE G0.01, G0.02, AND G0.03 FOR CODE

- GENERAL BUILDING PLAN NOTES

- GENERAL UNIT PLAN NOTES

GENERAL BATHROOM NOTESGENERAL ELEVATOR NOTES

- GENERAL KITCHEN NOTES

- HISTORIC APPROVAL INFORMATION

2. SEE G0.10 FOR PROJECT NOTES INCLUDING:

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DRAWING TITLE:

Standards for Type-A and Type-B Units

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GENERAL FINISH ABBREVIATIONS:

BLIND-H Horizontal Blind
BLIND-V Vertical Blind
CONC Concrete
CPT # Carpet & Type
CT # Ceramic Tile & Type
FRP Fiber Reinforced Panel
GB Gypsum Board (Fire-Taped)
GB-PT Gypsum board - Painted
GC Gypcrete Underlayment with finished durable surface

GB-PT Gypsum board - Painted
GC Gypcrete Underlayment with
LIN Linoleum
MD Metal Decking
MP Metal Plate
PC Precast Concrete Plank
PL Plaster
PT-# Paint & Type
SMOOTH Smooth Finish (Level 5)
SV # Sheet Vinyl & Type
SEALED Sealed Concrete
TRZ Existing Terrazzo
TXT Textured Finish (Level 3)

VCT # Vinyl Composition Tile & Type
VB Vinyl Base & Type

1			ROO	M FINISH SCHEDULI	E - COMMON	I AREAS	
ROOM	ROOM NAME	FLOOR	BASE	WALL FINISH	CEILING	WINDOW TREATMENT	COMMENTS
000A	LOWER CORRIDOR	CONC	VB	PL-PT, PL-PT, MAS	CONC	NONE	
001	TENANT STORAGE	CONC	VB ONLY @ GB WALLS	GB-PT, MAS	CONC	-	
002	TENANT STORAGE	CONC	VB ONLY @ GB WALLS	GB-PT, MAS	CONC	-	
003	STORAGE	CONC	VB ONLY @ GB WALLS	GB-PT, MAS	CONC	-	
004	STORAGE	CONC	VB ONLY @ GB WALLS	GB-PT, MAS	CONC	-	
005	WATER	CONC	VB ONLY @ GB WALLS	GB-PT, MAS	CONC	-	
006	LAUNDRY	CONC	FRP @ GB WALLS	FRP, GB-PT, MAS	CONC	NONE	INSTALL FRP UP TO 4' HEIGHT ON ALL G.B. WALLS
008	ELECTRIC	CONC	NONE	GB, MAS, MP	CONC	-	
009	TRASH/RECYCLING	SEALED	NONE ·	MAS-PT	CONC	NONE	
010	STORAGE	CONC	NONE	MAS-PT	CONC	-	
100A	HISTORIC LOBBY	TRZ	TRZ	PL-PT, GB-PT	PL-PT	?	SEE SHEET A1.60
109	TOILET	CT	СТ	PL-PT, GB-PT, SMOOTH	GB-PT, SMOOTH	-	
110	STORAGE	ŢŖŹ	VB	PL-PT	GB-PT	.	
111	HALL	TRZ	TRZ	PL-PT	PL-PT	-	
112	OFFICE	TRZ	TRZ	PL-PT	PL-PT	?	
113	BATH	TRZ	TRZ	PL-PT	PL-PT	-	
114	CLOS.	TRZ	TRZ	PL-PT	PL-PT	-	
115	VEST.	TRZ	TRZ	PL-PT	PL-PT	-	' '
116	ANTE	TRZ	TRZ	PL-PT	PL-PT	-	
200A	GUARD CORRIDOR	CONC	MP, VB	MP-PT, GB-PT	PL-PT	?	
200B	CORRIDOR	GC	MP, VB	MP-PT, GB-PT	MP-PT	NONE	
209	ELEC.	CONC		GB	MP	-	
210	JANITOR						•
300A	GUARD CORRIDOR	CONC	MP, VB	MP-PT, GB-PT	PL-PT	?	
309	ELEC.	CONC	- '	GB	MP	-	
310	JANITOR	CONC	MP	MP-PT	MP	-	
400A	GUARD CORRIDOR	CONC	MP, VB	MP-PT, GB-PT	PL-PT	?	
400B	CORRIDOR	GC	VB ·	MAS-PT, GB-PT	PC-PT	-	
409	STOR.	CONC	VB ·	GB-PT	MP-PT	-	
410	JANITOR	CONC	MP	MP-PT	MP	-	
500B	CORRIDOR	CONC	VB	MAS-PT, GB-PT	MD-PT	-	
501	LOWER MECH.	CONC	-	GB, MAS	PC	-	
502	UPPER MECH.	CONC	-	GB, MAS	PC	-	
503	BUILDING STORAGE		1				
600	PENTHOUSE	CONC	- ,	MAS	PC		
E ·	ELEV.	CONC	- '	MP	PC	-	
SA	SA1		1				
SA	STAIR A		· ·				
SA0	STAIR A						
SB	STAIR B						

1	ROOM FINISH SCHEDULE - DWELLING UNITS (DU)						
LEVEL	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG. HT.	NOTES
BASEMENT ,	ALL SPACES (EXCEPT BATH)	SEALED	VINYL	GB-PT	CONC - PAINTED	9'-0"	
1	BATH	SEALED	VINYL	GB-PT	CONC - PAINTED	9'-0"	
FIRST FLOOR	UNIT 107 ALL SPACES	TRZ	TRZ	PL-PT, GB-PT	PL - PAINTED	12'-0"	CROWN MOLDING TO BE RESTORED AND PAINTED
1	UNIT 107 BATH	TRZ	VINYL	PL-PT, GB-PT, SMOOTḤ	GB-PT, SMOOTH	10'-3"	INSTALL FALSE CEILING OVER BATHROOM
1	ALL SPACES (EXCEPT BATH)	TRZ	VINYL	GB-PT	GB-PT	11'-0"	
1	BATH	TRZ	VINYL	GB-PT, SMOOTH	GB-PT, SMOOTH	11'-0"	
SECOND/THIRD FLOOR	ALL SPACES (EXCEPT BATH)	GC	VINYL	GB-PT*	MP - PAINTED	8'-10" +/-	
1	BATH	LIN	VINYL	GB-PT, SMOOTH*	MP - PAINTED	7'-10" +/-	INSTALL FALSE CEILING OVER BATHROOM
FOURTH FLOOR	ALL SPACES (EXCEPT BATH)	GC	VINYL	GB-PT*	MP - PAINTED	8'-7 1/2"/VAULTED	
1	ВАТН	LIN	VINYL	GB-PT, SMOOTH*	MP - PAINTED	7'-10" OR 8'-7 1/2"	INSTALL FALSE CEILING OVER BATHROOM WHERE INDICATED ON RCP'S
FIFTH FLOOR	ALL SPACES	CONC	VINYL	GB-PT*	PC - PAINTED	10'-0" +/-	
1						1	

NOTES:
-INSTALL HORIZONTAL LOUVER BLINDS AT ALL DU WINDOW OPENINGS
-ALL DUCTWORK, ELECTRICAL CONDUIT AND SPRINKLER PIPING WITHIN UNITS TO BE EXPOSED AND PAINTED
*NOTE LOCATIONS ON UNIT PLANS WHERE MP WALLS ARE EXPOSED TO VIEW. MP WALLS ARE TO BE PAINTED



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I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

REVISION

DATE

Signature:

Typed or Printed Name: _____ANDREW MADSON

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PROJECT NAME:

St. Louis Co Jail -Conversion to Housing

521 W. 2ND STREET Duluth, MN 55802

ROOM FINISH SCHEDULE

DRAWN BY: Author
CHECKED BY:Checker
PROJ. NO: 180039

DRAWING NO:

\7.00



7 SIGN TYPE ST7

STAIR B NO ROOF **ACCESS** 1 THROUGH 5 EXIT DISCHARGE FIRST FLOOR

STAIR A NO ROOF **ACCESS** 1 THROUGH 5 EXIT DISCHARGE FIRST FLOOR

STAIR B NO ROOF **ACCESS** 1 THROUGH 5 EXIT DISCHARGE FIRST FLOOR

ST-10 1' - 0" .060 NG ACRYLIC 1/4" ROUNDED CORNER SUB SURFACE PAINTED **MAXIMUM OCCUPANCY** COLOR TO BE SELECTED BY ARCHITECT PROFILE COLOR TO BE SELECTED BY ARCHITECT 61 CENTER / UP 4 1/2" NUMBER 1 1/2" CG TRIUMVIRATE BOLD CENTER / UP 1 1/2" Library hunter and BRAILLE: 1/2" / up 3/8" RASTERS

MOUNTING:

STAIR A NO ROOF **ACCESS** 1 THROUGH 5 EXIT DISCHARGE FIRST FLOOR

STAIR B NO ROOF **ACCESS** 1 THROUGH 5 EXIT DISCHARGE FIRST FLOOR

STAIR B

NO ROOF

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1 THROUGH 5

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FIRST FLOOR

MECHANICAL .060 NG ACRYLIC 1/4" ROUNDED CORNERS SUB SURFACE PAINTED FIRE PROTECTION EQUIPMENT COLOR TO BE SELECTED BY ARCHITECT _ 1. Thirt TEXT 1" CG TRIUMVIRATE BOLD PROFILE COLOR #___ IF TWO LINES ILS 50% IF COPY OF LONGER THAN 9" CONDENSE TO FIT MANAGEMENT BRAILLE: 1/2" / up 3/8" RASTERS OFFICE MOUNTING FIRE ALARM CONTROL PANEL 4611 VHB namina pares STAIR A 8 | SIGN TYPE ST6 | 3" = 1'-0"

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SUB SURFACE VINYL SIGNAGE 12" X 18" 3/8" RADIUS CORNERS STANDARD LAYOUT 080" NON-GLARE AF ACRYLIC SUB SURFACE PAINTED COLOR TO BE SELECTED BY ARCHITECT 1 1/2" & 5" TEXT - SUB-VINYL COPY HELVETICA BOLD TYPESTYLE 1" FLOOR DISCHARGE INFORMATION HELVETICA MEDIUM TYPESTYLE COPY COLOR TO BE SELECTED BY ARCHITECT BRAILLE: 1/2" / up 3/8"

NOTE: SEE SPECIFICATION FOR ADDITIONAL INFORMATION ON SIGNS



701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029

April 11, 2013

Blue Limit, LLC

620 South 6TH Street

Minneapolis, MN 55404

1/10/20

DATE

11-6-2015

I HEREBY CERTIFY that this plan, specification o

supervision and that I am a duly Licensed Architec

report was prepared by me or under my direct

under the laws of the State of Minnesota

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Conversion to Housing

St. Louis Co Jail -

521 W. 2ND STREET

Duluth, MN 55802

Signature:

Typed or Printed Name:

PROJECT NAME:

DRAWING TITLE:

SIGNAGE

THIS SQUARE APPEARS 1/2"x1/2"

100% CONSTRUCTION DOCUMENTS

ISSUED FOR

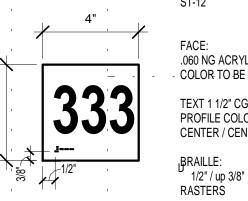
Post Bid Addendum 4 REVISION

ANDREW MADSON

ON FULL SIZE SHEETS

FIRST SURFACE 220-10 WHITE VINYL MOUNTING: Sheet Reissued Addendum No 2

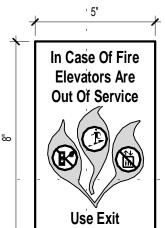
SIGN TYPE ST1



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SIGN TYPE ST23" = 1'-0"



.060 NG ACRYLIC SUB SURFACE PRINTED WHITE VINYL FLOOD MOUNTING:

3 SIGN TYPE ST3



.060 NG ACRYLIC SUB SURFACE PAINTED COLOR TO BE SELECTED BY ARCHITECT

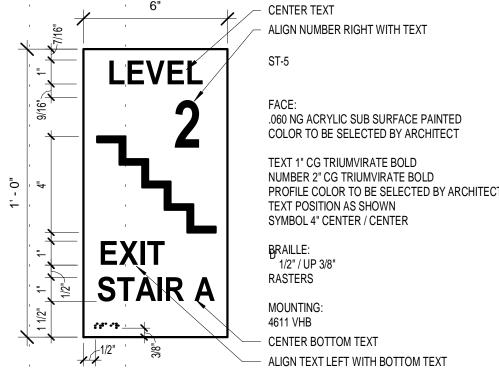
TEXT 3/4" CG TRIUMVIRATE BOLD PROFILE COLOR TO BE SELECTED BY ARCHITECT CENTER / UP 1 1/4"

PICTOGRAM CENTER / UP 3 1/2"

CENTER / UP 1/2"

MOUNTING: 4611 VHB

SIGN TYPE ST43" = 1'-0"



DRAWN BY: Author CHECKED BY:Checker PROJ. NO: 180039

DRAWING NO:

6 SIGN TYPE ST8

ST-1

5 SIGN TYPE ST5

RECEIVED MAR 0 0 2019
OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

UNITED STATES DEPARTMENT OF THE INTER NATIONAL PARK SERVICE



NPS conditions or comments attached

NATIONAL PARK SERVICE HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION 39 NPS Project N

NPS Project Number 39526

nstru	ctions: This page must bear the applicant's original signature and mu ation form. In the event of any discrepancy between the application for locations), the application form takes precedence. A copy of this form wi			based on the descriptions in this architectural plans, drawings and
	Property Name St. Louis County Jail		· · · · · · · · · · · · · · · · · · ·	
	Street 521 West Second Street			
	City Duluth County St	. Louis	_ State MN	Zip 55802
	Name of Historic District Duluth Civic Center Histor	ic District		
•				
	Listed individually in the National Register of Historic Places; dat	Luth Civic Center Histor	— ic District	
	Located in a Registered Historic District, Harrie of district			. 01/30/2019
	Part 1 – Evaluation of Significance submitted?	e submitted 11/21/2018	Date of certificat	ion <u>01/30/2013</u>
2.	Project Data		# 0	Oar
	Date of building 1924, 1980	Estimated rehabilitation costs (QRE)	\$8,720	2,045
	Number of buildings in project 1	Floor area before / after rehabilitation	34,106	/ 30,089 sq ft
	Start date (estimated) 07/01/2019	Use(s) before / after rehabilitation	Jail	_ / Housing
	Completion date (estimated) 07/31/2020	Number of housing units before / after	rehabilitation 0	/ 31
	Number of phases in project 1	Number of low-moderate income housing		
3.	Project Contact (if different from applicant) Name Tamara Ludt or Quentin Collette	Company PVN		
	Street 575 9th Street SE, Suite 215			
	Zip <u>55414-1399</u> Telephone <u>(612)</u> 843-4140	Email Address Iudt@pvnwor	Ks.com / COI	Tette@pviiworks.com
4.	Applicant I hereby attest that the information I have provided is, to the best of nowner of the above-described property within the meaning of "owner' described property, the fee simple owner is aware of the action I am owner, a copy of which (i) either is attached to this application form a CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singula factual representations in this application may subject me to fines and imprisonment of up to 8 years.	set forth in 36 CFR § 67.2 (2011), and/or laking relative to this application and has indincorporated herein, or has been previous r shall include the plural wherever approp d imprisonment under 18 U.SC. § 1001, v	r (2) [_] If I am not the notation objection, as noted ously submitted, and wriate. I understand the which, under certain contents.	e tee simple owner of the above- i in a written statement from the (ii) meets the requirements of 36 at knowing and willful falsification of ircumstances, provides for
	Name Grant Carlson	_ Signature		Date 2-20-19
	Applicant Entity Jail Holding, LLC		N	
	Street 521 West Second Street	City Duluth	· · · · · · · · · · · · · · · · · · ·	State MN
	Zip 55802 Telephone (612) 720-3448	Email Address grant@blue	elim.com	
	Applicant, SSN, or TIN has changed since previously submitted	d application.		
NP	S Official Use Only			
	National Park Service has reviewed the Historic Preservation Certifica	ition Application – Part 2 for the above-na	med property and ha	s determined that:
	the rehabilitation described herein is consistent with the historic char meets the Secretary of the Interior's Standards for Rehabilitation. Th only to the owner of a "certified historic structure" after rehabilitation	is letter is a preliminary determination onl	le, with the district in y, since a formal certi	which it is located and that the project fication of rehabilitation can be issued
X	the rehabilitation or proposed rehabilitation will meet the Secretary of	f the Interior's Standards for Rehabilitation	n if the attached cond	litions are met.
	the rehabilitation described herein is not consistent with the historic descretary of the Interior's Standards for Rehabilitation.	character of the property or the district in	which it is located and	d that the project does not meet the
	9.10.19 Karon	tan Oll		
Da	te National Park Service Author	ized Signature		

UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE

CONDITIONS SHEET

ropert	y nai	ame: Saint Loius County Jail	Project Number: 39526		
ropert	y ado	ddress: 521 West Second Street			
		Duluth, Saint Louis County, MN 55802			
The r	ehab	abilitation of this property as described in the Historic Certificat	ion Application will meet the Secretary of the Interior's Standards for		
Reha	bilita	itation provided that the following condition(s) is/are met:	complished using the gentlest means possible and without damaging		
	2)	the surface of the material. This work must be accompled. Assessing Cleaning and Water-Repellent Treatments Abrasive Cleaning to Historic Buildings. Specification State Historic Preservation Office before proceeding with masonry before and after cleaning must be submitted with Repointing mortar must be done on an as-needed basis.	for Historic Masonry Buildings and Preservation Brief 6: Dangers of a and test cleaning samples should be reviewed and approved by the th this work. Good overall and close-up color photographs of the ith the Request for Certification of Completed Work (Part 3). only and match the color, texture, strength, joint width and joint the recomplished in accordance with the guidance provided in		
		Preservation Brief 2, Repointing Mortar Joints in Histo be reviewed and approved by the state Historic Preserv	ation Office before proceeding with this work. Good quality overall		
	3)	Cleaning of architectural metals must be accomplished the material. This work must be accomplished in accomplished in accomplished in accomplished the material. This work must be accomplished in accomplished the material. This work must be accomplished in accomplished the material with the material accomplished to the material with the material accomplished to the material with the material with the material with the material with the material. This work must be accomplished the material. This work must be accomplished in accomplished the material. This work must be accomplished in accomplished the material. This work must be accomplished in accomplished the material. This work must be accomplished in accomplished the material. This work must be accomplished in accomplished the material. This work must be accomplished in accomplished the material. The material will be accomplished in accomplished the material will be accomplished in accomplished the material will be accomplished in accomplished the material will be accomplished to	using the gentlest means possible, without damaging the surface of dance with the guidance provided in Preservation Brief 6: Dangers of and test cleaning samples should be reviewed and approved by the ith this work. Good overall and close-up color photographs of the ith the Request for Certification of Completed Work (Part 3).		
	4)	Non-historic windows may be replaced; however, propoperation, design and profiles of historic windows. Sid	e-by-side detail drawings at head, upper jamb, lower jamb, meeting		
	<i>5)</i> 6)	Window bars and cell door operators shall be retained Historic doors shall be retained and reused in place wh use of a door in its historic location, alternative approp	enever possible, unless beyond repair. If code does not allow for the criate locations shall be considered. If a historic door opening within a spit, but must be left exposed at corridor side.		
l	7)				
	8)	New mechanical, electrical and plumbing systems mucharacter of the building. Systems must be set back from window. Plumbing systems, including waste plumbin spaces. Decorative features in plaster and other finish installation of the systems meet the Standards, details	om the windows and transoms if they drop below the head height of the g, shall not emerge exposed through ceilings at primary or public es may not be cut to make way for new systems. In order to ensure the of the location, size and concealment or finish of the ductwork and the		
	9)	Plaster repair materials shall not cover historic windo the historic proportions and relationship of wall to his	w trim and detailing, or create deep wells around the window that alter toric window and trim.		
7	[-	29/19 1			
- 1	1 4	State Official Signature Historic	al Architect, MN SHPO State Contact Telephone Number		

Telephone Number

Property name St. Louis County Jail NPS Project Number 39,526

Property address 521 West Second Street, Duluth, MN 55802

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 - First Level Addition
 - Second Level
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 - Fourth level
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 - First Level
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 - Fifth Level
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- **6. DOCUMENTATION** Historic and Past Drawings
 - 1924 Building (Holstead and Sullivan Architects, dated February 1923)
 - 1924 Building (unknown, dated ca. 1976)
 - 1924 Building (Fugelso, Porter, Simich and Whiteman Architectural and Environmental Planning, dated 3/30/1978)
 - 1924 Building (unknown, dated 1978)
 - 1980 Building (unknown, dated 1980)
- 7. **CONSTRUCTION DOCUMENTS** Drawings
 - St. Louis County Jail Conversion to Housing (LHB, dated 2/7/2019)
- **8. OTHER** Preliminary Consultation
 - Request for preliminary consultation (PVN, dated 4/23/2018)

Notes to reviewer:

- Items 6, 8, and 9 omitted from this application for brevity. (Items available upon request.)
- Item 7 replaced with 100% CDs (LHB, 1/10/2020)

Property name St. Louis County Jail NPS Project Number 39,526

Property address 521 West Second Street, Duluth, MN 55802

9. OTHER – Reuse Studies

 Study for Feasibility of Conversion of Old St. Louis County Jail to Office Space (Stanius Johnson Architects, Inc, dated September 1994)

- Saint Louis County Jail Reuse Study (Minnesota Consultation Team and Thomas R. Zahn & Associates, dated Summer 1999)
- Historic Jail Adaptive Reuse: Duluth, MN (Blue Limit LLC, dated 2013)

Property name St. Louis County Jail NPS Project Number 39,526

Property address 521 West Second Street, Duluth, MN 55802

1. NARRATIVE

Part 2

Property name	St. Louis County Jail	NPS Project Number 39,526
Property address	521 West Second Street, Duluth, MN 55802	

5. Detailed Description of rehabilitation work

Number 1		
Feature Site	Date of Feature	1924, 1980, 2011

Describe existing feature and its condition

The St. Louis County Jail is a rectangular, five-story, Neo-classical Revival building that was constructed in 1924. There is 1980 one-story addition against the west façade of the building. The addition is at grade on the southeast side and below grade on northwest side. The building is bounded by Mesaba Avenue on the northwest and West Second Street on the south and east. The surrounding area to the north and northwest is primarily a residential neighborhood. The building's setbacks from West Second Street are consistent with the configuration of the other buildings in the Duluth Civic Center Historic District, including the Saint Louis County Courthouse, Duluth City Hall, and Federal Building – U.S Courthouse and Custom House. This area of Duluth is built into a hillside which rises to the north and northwest sides, causing a grade change along the north and south façades of the building.

The landscaping generally includes: grass lawn areas in front of the north and south façades; concrete paved sidewalks along West Second Street; paved parking spaces in front of the east façade and to the south of the addition; granite short walls at the front yard along West Second Street; a set of granite steps and walkway pavers in front of the primary entrance; a granite stair leading to a concrete alley along the north façade; concrete retaining walls along Mesaba Avenue, parallel to the north façade and along West Second Street; and trees on the north hill. There is an area well at the west façade under the addition.

The site is generally in fair condition. The granite short walls appear to be in good condition. The granite stair is in fair condition with cracked steps and missing mortar joints. Some granite walkway pavers at the front of the primary entrance have settled. Concrete retaining walls are in fair condition with cracking. The concrete pavement is typically in fair condition with cracking, differential settlement, and surface deterioration, and poor condition at the alley along the north façade with severe cracking and differential settlement. Cracking in the asphalt layer of the parking spaces is typical.

Describe work and impact on feature

The non-historic one-story addition will be removed to restore the historic setting of the site and provide parking for the proposed residential use. The northwest concrete wall of the addition will remain and act as a retaining wall. The retaining wall will be stabilized with soil nailing reinforcement to counteract the lateral earth pressure (pending structural investigations). The existing parking lot will be re-paved to provide a more efficient parking layout. One new concrete driveway will be created at the west parking area. Concrete retaining walls will remain as is. The existing concrete sidewalks will mostly remain and be repaired (see Item #12). The concrete sidewalk along the west granite short wall will be removed to build a concrete ramp providing code-required accessibility to the building. Portions of the existing concrete sidewalk and the existing curb cut will be removed to accommodate the new concrete driveway and curb cut. A 6-

Property name	St. Louis County Jail	NPS Project Number39,526
Property address	521 West Second Street, Duluth, MN 55802	

5. Detailed Description of rehabilitation work

foot-wide portion of the west granite short wall will be removed for the installation of a concrete walkway providing code-required accessibility to the front yard. The granite stair, steps, and walkway pavers will remain and be repaired. Small cracks will be infilled with stone restoration mortars. Deteriorated beyond repair granite pieces will be replaced with granite cladding salvaged from the demolition of the 1980 addition. The area well at the west side will be backfilled.

New landscaping will include turf at the east portion of the front yard, shrubs along the short granite walls to provide some privacy to the front yard, a patio paved with granite salvaged from the demolition of the 1980 addition, exterior lighting (see Item #30), and trees aligned along West Second Street to restore the historic landscaping (see historic photos in attachment). A concrete pad will be installed at the east side of the building to accommodate a new transformer (see Item #30).

Property name	St. Louis County Jail	NPS Project Number 39,526
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5. Detailed Description of rehabilitation work

Number 2			
Feature	Exterior Walls - Masonry	Date of Feature	1924, 1980, 2011

Describe existing feature and its condition

The St. Louis County Jail is constructed of load-bearing exterior brick and clay tile walls finished with grey granite cladding. The addition is constructed of cast-in-place concrete walls clad with grey granite. Each façade of the 1924 building features a decorative granite roundel at each upper corner and a terra cotta cornice. The cornice consists of closely spaced modillions supporting a projecting roofline embellished with acroteria. The upper portion of the south façade's corners bears a sculptured cartouche or shield, above which is an animal head. The primary entrance of the 1924 building features a granite portico with an ornamental entablature. The 1980 addition features vertical granite panels protruding from the southeast façade.

Window openings on the 1924 building and 1980 addition feature granite sills. There is a metal fire escape on the north façade of the building (see Item #8).

The masonry is generally in good to fair condition with missing mortar joints, biological growth, graffiti, abandoned embedded metal hardware, and limited minor cracking. The granite window sills are in good condition. The terra cotta cornice appears to be in good condition.

S1.30 – S1.50, S3.00, D1.00, D2.00, D2.01, A0.10, A2.00, Drawing numbers A2.01, M2.00

Photo numbers E.01-E.10, E.15-E.23, E.25

Describe work and impact on feature

The walls of the 1980 addition will be mostly removed as part of the demolition of the addition (see Item #1). The terra cotta cornice, granite cladding, portico, ornamental features, and sills will remain. Stone rehabilitation will include limited spot repointing, crack infills, graffiti removal, and cleaning. Deteriorated or missing mortar joints will be repointed per *Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings.* Repointing mortar will match the color, texture, strength, joint width, and profile of the existing mortar joints. Graffiti will be removed by using removal techniques that will not damage the surface of the granite. Chalked graffiti will be removed with soft brushes or by poulticing with water, organic solvents or alkali-based paint removers. Alkali-based bleaches may be used in a poultice to bleach or decolorize certain dyes contained in some painted graffiti. The base of the granite cladding will be cleaned using the gentlest means possible. Cleaning will follow guidance as provided in *Preservation Brief 1: Assessing Cleaning and Water-Repellant Treatments for Historic Masonry Buildings*.

The granite cladding of the 1924 building will be repaired at the junction with the 1980 addition. Holes in the granite will be patched with stone restoration mortars to match. Granite damaged beyond repair will be replaced with granite cladding salvaged from the demolition of the 1980 addition. Alternately, if technically not feasible, suitable substitute materials matching the existing granite in appearance, color, and texture will be used. The first-level south window opening at the west façade will be restored to its original size by infilling the base of the wall with salvaged granite or suitable substitute materials. Clay tile salvaged form the removal of interior partition

Property name

St. Louis County Jail

Property address

521 West Second Street, Duluth, MN 55802

5. Detailed Description of rehabilitation work

walls will be reused to reconstruct the window opening at the interior (see Item #15). If not feasible, concrete masonry units will be used. At the interior face of exterior walls of the 1924 building, the brick and clay tile masonry will be locally removed at the second through fourth levels to create beam pockets supporting new steel channel beams (see Item #13 for more details).

Property name	St. Louis County Jail	NPS Project Number 39,526
Property address	521 West Second Street, Duluth, MN 55802	

5. Detailed Description of rehabilitation work

Number 3			
Feature Windows	Date of Feature	1924, 1980, unknown	

Describe existing feature and its condition

All window openings are historic. Each façade displays regular patterns of fenestration with evenly-spaced rectangular punched window openings. The majority of the windows were previously removed and the openings infilled with glass block. One basement window on the north façade appears to be historic, as it consists of a multi-divided lite steel window with wire glass and steel bars. Most non-historic windows feature an inner small metal vent, hopper-style aluminum window or one-by-one aluminum window, and have steel bars and an operable metal screen on the interior side. On the south façade, the four first-level window openings to the west of the primary entrance have an aluminum sliding window with glass block above. According to historic photographs, historic windows were casement style with divided lights and hopper-style transoms above. Basement windows have masonry window wells. The historic windows of the light well at the fourth level were removed when the fifth level was added (see Items #16 and #17). The historic steel frame and safety bars remain at some window openings of the light well and were removed and infilled with concrete masonry units (CMU) elsewhere. The first-level south window bay at the west façade was altered and converted to a door bay. The 1980 addition features metal sliding windows and steel lintels.

The historic window that remains at the basement is in poor condition with severe corrosion and non-historic alterations such as the installation of an inner vent. Non-historic windows are in fair condition with cracked and missing glass blocks, staining, missing sealing joints, surface deterioration and corrosion on the blades of the inner vents, staining at the inner aluminum windows, surface corrosion and peeling paint at the interior steel bars, and surface corrosion at the operable metal screens. The aluminum sliding windows are typically in good to fair condition with missing or deteriorated sealant joints. The metal windows and steel lintels of the addition are in fair condition with evidence of corrosion. Window wells appear to be in fair condition with miscellaneous debris accumulating at the bottom.

D1.00-D1.40, D2.00, D2.01, A2.00, A1.40, A1.72, A1.73, A1.74, A2.01, A2.32, A3.00,

Photo numbers E.01-E.08, E.19-E.24, H.01 Drawing numbers A5.30, A5.31

Describe work and impact on feature

The non-historic glass block, vents, aluminum windows, and metal screens will be removed. The historic basement window and interior steel bars throughout the building will be typically removed. Interior steel bars will remain at the south windows of the transverse corridors and the glass doors of the fire escape (see Item #8). Based on a historic photograph and in the absence of any other historical documentation, new painted aluminum windows matching the historic steel window configuration and assumed profiles will be installed and consist of simulated divided light casement windows with a fixed transom above. Code-required fall-prevention devices will be installed at the interior side of the windows. To reduce the amount of ductwork to be installed at

Property name	St. Louis County Jail	NPS Project Number 39,526
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5. Detailed Description of rehabilitation work

the units to provide tempered air, interior window screens will be installed to reduce heat gain from sunlight. Basement level windows will be fixed and have simulated divided lights. Window wells will remain and the debris will be removed. At the fourth-level light well, window openings with CMU infills will mostly remain as is. Seven of these infilled window bays will be altered to provide access to the units and new stair shaft (see Items #22 and #28). The remaining steel window frames and safety bars at the fourth-level light well will be removed and infilled with CMU. On exterior walls, the existing exterior sealant will be carefully removed and new high-quality elastomeric sealant will be installed at the perimeter of each window opening.

Property name	St. Louis County Jail	NPS Project Number 39,526
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5. Detailed Description of rehabilitation work

Number 4			
	Primary Entrances – South and		
Feature	Southeast Façades	Date of Feature	1924, 1980

Describe existing feature and its condition

There are two primary entrances at the first level of the building. The primary entrance on the south façade of the building is above grade and consists of historic double-leaf metal-paneled doors with a decorative metal transom above. The primary entrance located at the east end of the southeast façade of the addition features a non-historic hollow metal storefront door with a clear glass light and a side transom.

The historic metal door is in fair condition with staining, evidence of corrosion on the frame, and a missing west door leaf (stored on site). The non-historic metal door is in fair condition with evidence of corrosion and surface deterioration.

D1.00, D2.00, D2.01, A0.10,
Photo numbers E.01, E.02, E.07, E.10, E.13, E.18 Drawing numbers A1.00, A1.60, A2.00, A2.01, A5.30

Describe work and impact on feature

The historic metal door of the 1924 building will remain, be reused as a primary entrance, and be restored. The west door leaf stored on site will be re-installed. The two door leaves will be fixed in their open position. Surface corrosion will be removed from the doors and transom with a soft wire brush. A transparent rust-inhibitive product will be applied on the doors and frame. The historic hardware will remain. Historic doors will be fixed in their open position and the doorway will remain open.

Property name	St. Louis County Jail	NPS Project Number39,526
Property address	521 West Second Street, Duluth, MN 55802	

5. Detailed Description of rehabilitation work

Number 5			
	Secondary Entrances – North, West,		
Feature	and Southeast Façades	Date of Feature	1924, 1980

Describe existing feature and its condition

There is a secondary entrance located in the second eastern bay of the north façade. The secondary entrance provides access to the first-level kitchen and kitchen storage rooms. This service door appears to be historic and consists of a single-leaf metal door with a one-over-one wire glass light and divided wire glass transom and side lites. The non-historic addition features a secondary entrance flat slab metal door at the west end of the southeast façade.

The historic metal door is in poor condition with severe corrosion, distorted metal paneling, and a non-historic alteration (modern aluminum-framed glass lite). The non-historic metal door is in fair condition with missing paint, corrosion, and loose hardware.

D1.00, D2.00, D2.01, A0.10,
Photo numbers E.02, E.05, E.07, E.08, E.11, E.14 Drawing numbers A1.00, A2.00, A2.01, A5.30

Describe work and impact on feature

The service door at the 1924 building is deteriorated beyond repair and will be removed and replaced with a new custom metal-framed door matching the historic door and transom configuration with simulated divided lights. An accessible secondary entrance will be provided at the west façade of the 1924 building by reusing the existing doorway connecting the building to the 1980 addition. The non-historic interior door at the doorway will be removed and replaced with a new aluminum door with a glass lite (see also Item #28).

Property name	St. Louis County Jail		NPS Project Number <u>39,526</u>
Property address	521 West Second Street, Duluth	, MN 55802	
5. Detailed Descrip	ption of rehabilitation work		
Number 6			
Loadin	g Entrance – Garage Door at		
Feature East Fa	ıçade	Date of Feature	Unknown
Describe existing	feature and its condition		
	y of the east façade that provides		nistoric divided wire glass transom wer level. The garage door
The non-histori deterioration, a	c metal door is in fair condition v	vith distorted m	etal paneling, surface

Describe work and impact on feature

Photo numbers E.03, E.12, E.15, H.01

The non-historic garage door will be removed and replaced with a custom double-leaf metal door with recessed panels and simulated divided lights, matching the historic door configuration based on a historic photograph. The historic garage door appeared to be a metal-paneled accordion door with clear lights. A metal exhaust vent louver will be provided at the new garage door transom (see Item #29 for more details).

D1.00, D2.01, A0.10, A1.00,

Drawing numbers A2.01, A5.30, M2.00

Property name	St. Louis County Jail		NPS Project Number 39,526
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5. Detailed Description of rehabilitation work			
Number 7			
Feature Signage		Date of Feature	1924
Describe existing feature and its condition			

Historic exterior building signage remains and includes: 1) the words "THIS BUILDING WAS ERECTED IN THE YEAR A.D. 1923 BY THE SAINT LOUIS COUNTY BOARD, AS A JAIL FOR THE SAFE KEEPING OF THE PRISONERS" carved in the metal transom above the primary entrance at the south façade; 2) "THE GREAT PRIVILEGE IS GIVEN TO ALL TO DEVELOP STRENGTH OF CHARACTER, TO LEAD CLEAN AND HONEST LIVES, TO RENDER DILIGENT AND WORTHY SERVICE, TO HELP OTHERS AND TO BE LOYAL CITIZENS OF THE REPUBLIC AND OBEDIENT TO ITS LAWS" carved in the terra cotta frieze along the south façade.

The historic metal signage is generally in fair condition and poor condition along the door opening with signs of corrosion. The historic terra cotta signage appears to be in good condition.

G0.02, D1.00, D2.00, A0.10,

Photo numbers E.01, E.02, E.08, E.10, H.01, H.03 Drawing numbers A2.00

Describe work and impact on feature

The historic terra cotta signage will remain as is. The historic metal signage will remain and be repaired (see Item #4). Per building use and standard code requirements, the rehabilitation work will also include the installation of exterior and interior signage. Exterior signage will be provided for the accessible parking stall and building entrances. Accessible building entry directional signage will be installed at two locations on the south short granite wall (see Item #1). A free-standing accessible parking stall signage will be installed at the front of the accessible parking stall at the west parking area. New metal signage reading "521 W. 2ND STREET" will be installed in the mortar joints of the north granite short wall along West Second Street. Interior signage will include: unit entrance and directions, elevator and stairs, community spaces, support spaces and mechanical rooms, room occupancy, emergency exit signage, and evacuation maps.

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5. Detailed Descrip	ption of rehabilitation work		
Number 8			
Feature Fire Es	cape	Date of Feature	Unknown
Describe existing	feature and its condition		
connected to th "servery room"	nistoric metal fire escape at the the e second through fourth levels of (see historical drawings) – providentral corridor (see Item #20). T	the building. A des access to th	small vestibule – historically a

The metal fire escape is in fair condition with distorted landings, peeling paint, and surface corrosion. The steel doors leading to the fire escape are in fair to poor condition with evidence of corrosion and broken wire glass panes.

consist of double-leaf steel doors with two by three wire glass lite, divided transom, steel bars on the interior side, and appear to be historic. The fire escape is anchored to the exterior walls.

D1.20, D1.40, D2.00, A0.10,
Photo numbers E.05, E.19 Drawing numbers A1.20, A1.40, A2.00, A5.30

Describe work and impact on feature

The fire escape will be removed. Anchor holes in the granite cladding will be patched with stone restoration mortars to match as close as possible. The second-through fourth-level steel doors and bars will remain and be repaired. Wire glass panes will be replaced with clear glass. Light rust, flaking and excessive paint with be removed with manual or mechanical abrasion techniques, such as a wire brush. At locations where medium to severe corrosion occurred, techniques such as chemical cleaning or sandblasting with low pressure (80-100 psf) with a grit size between #10-#45, and a pencil point blaster will be used. Doors will then be gently cleaned and primed with rust-inhibiting primer and repainted with two coats of finish paint (compatible with the primer). Doors will be fixed in closed position. The masonry surrounds will be caulked with a high-quality elastomeric sealant.

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5. Detailed Description of rehabilitation work

Number 9	
Feature Roof – Roofing, Parapet, Drainage	Date of Feature 1978, 1980, 2011

Describe existing feature and its condition

The building has a non-historic flat roof without parapet on all four sides. The roof construction is part of the 1978 fifth-level addition. The current roofing system is a modern replacement (2011) and consists of a low-slope rubber membrane. Roof edges feature non-historic metal coping. The current drainage system consists of non-historic internal rainwater leaders. The non-historic addition has a flat roof with concrete roof pavers over a rubber membrane. The short parapet walls on the northwest, southeast and southwest sides are covered with granite coping.

The roofing membrane of the building is in good to fair condition with evidence of former patch repairs and staining due to ponding water. The metal coping is in good condition. The condition of the roofing system of the addition could not be assessed as it was concealed by the concrete roof pavers. The concrete pavers are in fair condition with loose and cracked pavers, debris, and biological growth. The granite coping is in good condition.

S1.60, S4.00, A1.40, A1.50,

Photo numbers E.25-E.30 Drawing numbers A2.32, A3.00

Describe work and impact on feature

At the 1924 building, the roofing membrane, metal coping, and drainage system will remain as is. Six 2 by 4 foot structural openings will be made in the non-historic pre-cast concrete roof planks to install skylights. The metal-framed skylights will provide natural daylight to the fourth-level light well (see also Item #16). The skylights will protrude up to 16 in above the roof level. Steel angle headers will be anchored at each end of the structural openings. Short steel angles will be welded to the steel angle headers to provide support to the new skylights.

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Property address	521 West Second Street, Duluth	n, MN 55802	
5. Detailed Descript	tion of rehabilitation work		
Number 10			
Feature Roof – F	Penthouse, Access	Date of Feature	1978
Describe existing for	eature and its condition		
enclosing the pri penthouse protr	ntly accessed through the meta mary vertical circulation core o udes above the roof level, is ma tion does not have a dedicated	of the building (s de of CMU, and i	ee Items #22 and #23). The
	r condition with graffiti on the arface corrosion, and peeling ar		<u>-</u>

Describe work and impact on feature

The non-historic penthouse will remain as is. The interior face of the CMU walls will be painted.

condition with minor staining and abandoned embedded metal rods that are corroded.

Photo numbers 5.17, 5.18 Drawing numbers A2.01, A3.01, A4.01

E.01, E.02, E.05, E.25, E.26, E.29,

D2.00, D2.01, A1.50, A2.00,

Property name	St. Louis County Jail		NPS Project Number 39,526
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5. Detailed Descri	ption of rehabilitation work		
Number 11			
Feature Roof -	Mechanical Equipment	Date of Feature	N/A
Describe existing	feature and its condition		
The building do	es not currently have mechan	ical equipment on	the roof.
Photo numbers	E.26-E.28	Drawing number	rs A1.40, M2.40

Describe work and impact on feature

To avoid strengthening the existing roof structure and having a rooftop unit that would be visible from Mesaba Avenue, a new make-up air mechanical unit will be installed in the east mechanical room at the fifth level to provide the building with tempered air. Mechanical roof penetrations will be created, including: boiler intake and exhaust vents, louvered outside vents, and water heater intakes and flues.

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5. Detailed Description of rehabilitation work

Number 12		
		1924, ca. 1976, 1978, 1980,
Feature Structure	Date of Feature	various unknown

Describe existing feature and its condition

The building has historic load-bearing brick and clay tile exterior walls and clay tile interior walls. The basement level features stone walls, clay tile walls, and exposed round concrete columns. The CMU walls at the perimeter of the fifth level and at the penthouse level are not historic. The floors at the lower through fourth levels are historic and constructed of concrete, concrete over a steel-plated ceiling, or concrete over clay tile over a steel-plated ceiling. At the fifth level, there is a non-historic concrete slab poured over the historic steel-plated ceiling of the fourth level (see also Item #17). The third through fifth levels are supported by the steel framing of the cells and corridors (see Item #13). Historic steel beams are exposed at the second through fourth-level transverse corridors (see Item #20). The non-historic addition is constructed of cast-in-place concrete walls.

Generally, stone basement walls are painted and clay tile walls are plastered. There are mechanical chases in the perimeter walls at the first through fourth level that used to accommodate the former vertical steam piping system. Some first-level interior clay tile walls were removed likely ca. 1976. CMU walls are typically painted.

The concrete columns and stone and clay tile walls at the lower level are in fair condition with typical deterioration of the finishes (see Item #25). The brick and clay tile walls at the first through fourth levels are in fair condition with broken and missing masonry units. The CMU walls are generally in good condition and fair condition with peeling paint, dark staining, and graffiti. The steel beams at the transverse corridors are in fair to poor condition with corrosion and peeling paint. Floors are generally in good to fair condition (see Items #26 and #27).

L.09, L0.10, L.13, L.15-L.17, 1.01,		
1.14, 1.15, 1.22, 1.23, 1.48-1.50,		
2.05, 2.07, 2.20, 3.05, 3.06, 3.08,		
3.09, 3.31, 4.05-4.07, 4.11, 4.12,		S1.10-S1.60, D1.00-D1.40, A1.00-
4.14, 4.15, 4.27, 4.28, 5.01, 5.04-		A1.40, A2.31-A2.33, A3.00, A3.01,
5.18	Drawing numbers	A4.00, A5.01, A5.21, A6.01

Describe work and impact on feature

Photo numbers

At perimeter walls and interior walls slated to remain, broken and missing brick and clay tile walls will be replaced to match the existing. Brick and clay tile partition and closet walls will be selectively removed at the first level to accommodate the new unit layout, and at the mechanical shaft at the fifth level. The existing mechanical chases in the perimeter walls will remain as they are and will be reused to the extent possible. The chases will be covered with gypsum board over steel channels (see Item #25 and #29 for more details). Some interior CMU walls will be removed at the fifth level. The fifth-level perimeter CMU walls supporting the roof structure and the CMU walls of the penthouse will remain.

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5. Detailed Description of rehabilitation work

Seven historic window openings infilled with CMU at the fourth level light well will be made taller and converted to door openings to provide access to residential units and the new west stair shaft (see Items #3 and #22). The non-historic CMU infills and historic brick below the windows will be removed. Five window openings at the west end of the fourth-level light well will be infilled with CMU. Door openings will be converted to windows and window openings will be created at the CMU walls of the non-historic fifth-level center corridor to provide indirect natural daylight to the units flanking the fourth-level light well. Windows will be metal-framed, single lite, and fixed.

The steel-plated ceilings and beams will remain and be repaired. Surface corrosion will be removed with a wire brush. A rust-inhibitive primer and paint will be applied on the beams. Concrete floors will remain and be repaired in accordance with *Preservation Brief 15: Preservation of Historic Concrete: Problems and General Approaches.* Concrete rehabilitation work will include injecting cracks with an elastomeric, urethane, or polyurethane sealant to keep out moisture and reduce air infiltration. Sand will be applied onto the surface of the sealant to help conceal the repair and blend with the adjacent concrete. Sections of floor to be removed include: new mechanical chases from the first through fifth levels, the northeast corner of the building for the construction of a new stair shaft (see Item #22), the non-historic fifth-level corridor (see Item #20), and six locations at the fifth level for the creation of two-story units (see Item #17). Floor penetrations will be provided within units and support spaces to accommodate new HVAC, ductwork, and plumbing. Floor openings will be infilled with concrete at the first-level floor at the non-historic service stair, and the fourth-and fifth-level floors at the mechanical air shaft.

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5. Detailed Description of rehabilitation work

Number 13		
Feature Structure – Cell Framing	Date of Feature	1924, various unknown

Describe existing feature and its condition

The second, third, and fourth levels feature a self-supporting steel-framed system that provides structural support for the jail cells and corridor walls. The steel-framed system is constructed of steel bars and plate walls that support the floors above. Floors are composite systems made of concrete over a steel-plated ceiling or concrete over clay tile over a steel-plated ceiling (see Item #12). The second- through fourth-level steel-framed system is supported by the second-level concrete slab.

The steel framing is typically in fair condition with evidence of surface corrosion and peeling paint. Framing is in poor condition at the third-level mechanical corridors (see Item #20) with severe corrosion of some steel angles and plates.

2.07, 2.09, 2.11-2.15, 2.19, 2.23, 2.24, 2.26, 2.27, 3.10-3.13, 3.16-3.18, 3.23, 3.24, 3.26-3.32, 4.06, Photo numbers 4.17-4.22, 4.29-4.31 Drawing numbers A1.71, A2.10, A3.00

Describe work and impact on feature

After nearly a decade of study and difficult rehabilitation attempts, the jail cells on the second through fourth levels have proven to be the greatest obstacle to the successful reuse of the St. Louis County Jail building. Given the density, small footprint, and negative connotations associated with the cells, some steel bar and plate cell walls will be removed to accommodate residential units at the second through fourth levels. Thanks to a sensitive design approach, almost 40% of the steel-plated and bar walls of the cells will be retained.

Given the self-supporting feature of the existing steel cell framing, the partial removal of some cell walls requires a structural strengthening of the floor framing. New steel beams and columns will be installed to retain and restore the structural capacity of the existing floor framing. Steel channel beams will be installed under the steel-plated ceilings of the second through fourth levels and be exposed. At connections with existing masonry walls, the steel beams will be pocketed into the masonry and bear on welded steel bearing plates anchored into the masonry. Steel tubular columns will be installed throughout the second and third levels and support the new beams; therefore reducing the amount of wall connections with the perimeter brick and clay tile walls (see structural drawings). The new columns will be typically concealed by new partition walls or installed within an existing steel-plated wall. Some columns will be installed within the steel-bar walls of the transverse corridors and the living room of the new units.

The steel-plated walls of the cells will remain exposed in the mechanical corridors.

Cell walls to remain that are located within units will be typically concealed within a new gypsum wall enclosure. Gypsum wall enclosures will be installed at demising walls and bathrooms to conceal plumbing, and between the kitchens and living rooms to conceal the steel bars. The upper portion of the steel bar walls between the kitchens and living rooms at the cells of the second and

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5. Detailed Description of rehabilitation work

third levels will remain exposed to retain the feeling of transparency and diffusion of natural daylight, also respecting the historic use of the building. Historic steel-plated and bar walls will be either fully removed or partially removed to accommodate new doorways within the units. Steel plates will be salvaged and used to patch holes in the steel-plated ceilings (see Item #26). At the steel bar walls of the prisoners' and guards' corridors, the top portion of the bar wall will remain exposed and have a new steel channel on each side to retain a sense of the historic perimeter circulation (see detail 3/S3.00).

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5. Detailed Description of rehabilitation work

Number 14		
Feature Lower Level	Date of Feature	1924

Describe existing feature and its condition

The lower level consists of a large open space on the west side with support spaces on the east side. There is a transverse hallway to the west of the primary vertical circulation core (see Item #22). There is a historic vault at the east end of the open space. There are non-historic lockers along the south wall of the open space. The support spaces, which are articulated around the primary vertical circulation core, include a garage, a mechanical room, and storage rooms. There is a non-historic refrigeration room in the northeast storage room. The garage, which is at grade at West Second Street, is about three feet above the lower level's unfinished slab. The lower level is primarily unfinished with exposed concrete slab on grade, concrete columns, and painted stone, brick, and CMU walls. The clay tile perimeter walls are plastered. The lower level is connected to the St. Louis County Courthouse via a concrete tunnel (see Item #21).

The lower level is generally in fair condition (see Items #25, #26 and #27on interior finishes).

S1.00, D1.00, A1.00, A1.73, A1.80, A2.33, A3.00, A3.01,

Photo numbers L.01-L.23 Drawing numbers A4.00, A4.01, A6.01

Describe work and impact on feature

The lower level will typically continue to accommodate support spaces including tenant storage on the west side and mechanical rooms on the east side. The open space will consist of tenant storage boxes distributed by new double-loaded corridors. The historic vault will remain and be use as a storage room. The non-historic lockers will be removed. New interior wood stud walls clad with plywood will be constructed in the open space for tenant storage boxes. A water service room will be created at the northeast corner of the large open space. A laundry room will be provided in the southeast mechanical room. The garage will accommodate a trash/recycling room. The non-historic refrigeration room will be removed. The northeast storage room will accommodate one bathroom, one bedroom, and closets of the two-story unit #108 (see also Item #15). New interior gypsum walls will be constructed in unit #108. The elevator mechanical room will accommodate the new electrical service. A new concrete or metal stair and landing will be provided at the north side of this room to accommodate the difference in floor level with the hallway. At the open space, the upper portion of the new storage walls will consist of galvanized wire mesh, allowing the column capitals of the mushroom concrete slab to be exposed and visible from the new corridors (see also Item #12). Horizontal metal angles will be fastened to the new stud walls at the top and bottom of the wire mesh.

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5. Detailed Description of rehabilitation work

Numbe	r 15		
			1924, ca. 1976, 1980, various
Feature	First Level	Date of Feature	unknown

Describe existing feature and its condition

The first-level layout consists of partitioned office and support spaces distributed by a center double-loaded corridor on the western half of the building. The eastern half of the building features a lobby (see Item #19), a vault, additional office spaces, restrooms, and closets surrounding the primary vertical circulation core (see Item #22). There is a mezzanine level at the east end of the building above the lower-level garage that has a short double-loaded corridor, an office, and a few support spaces. There is a meat cooler at the northeast office that does not appear to be historic. Interior partition walls consist of historic clay tile walls finished with plaster and some non-historic CMU and gypsum board walls. Alterations made to the first level include the removal of interior partition walls at some offices and restrooms at the southwest corner of the building. The first level is typically finished with historic terrazzo flooring over a concrete slab, plaster walls, and suspended plaster ceilings. In addition, the vestibule, lobby, and southeast office also feature stone wainscot and cladding, and decorative crown mouldings. The southwest offices have non-historic dropped acoustical tile ceilings.

The first level is generally in poor condition because of the removal of the former vertical steam piping system in perimeter walls, non-historic alterations, and long-term deterioration patterns (see Items #25, #26, and #27 on interior finishes).

S1.10, D1.00, A1.00, A1.60, A1.70, A1.71, A1.73, A1.74, A1.80, A1.90, A2.10, A2.30, A2.31, A3.00, A3.01, A4.00,

Photo numbers 1.01-1.47 Drawing numbers A4.01, A6.00

Describe work and impact on feature

The first level will generally consist of residential units on the western half and common spaces on the eastern half. Most of the historic clay tile office and closet walls will be removed to provide an efficient layout for the units (see Item #12). The vault will remain and be reused as a storage room. Non-historic CMU walls, gypsum walls, and the meat cooler will be removed. Typical studios feature an open kitchen/dining space with a sleeping area, and one bathroom. Typical one-bedroom apartments feature an open kitchen/dining space, one bedroom, one walk-in closet, and one bathroom. The northeast storage room will be converted to a two-story unit (room #108; see also Item #22). New interior partition walls will be constructed between and within the new units. New walls will not obstruct window bays. The mezzanine level will mostly remain as is (see Item #20). The historic vestibule, lobby, and southeast office will remain and be reused and their finishes will be mostly restored (see Items #19, #25, #26, and #27). New mail boxes will be provided at the west side of the north secondary entrance.

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5. Detailed Description of rehabilitation work

Number	16		
			1924, 1971, 1978, various
Feature :	Second through Fourth Level	Date of Feature	unknown

Describe existing feature and its condition

A transverse central corridor separates the second though fourth levels into two separate sections having cells. Each second- and third-level section has bath cells at its east ends. The finishes of the bath cells are not historic (see Item #25 and #27). The cells are distributed by prisoner's corridors that run along the north and south sides of the building (see Item #20). The prisoners' corridors are accessed through a safety vestibule on the second and third levels. There are guards' corridors along the perimeter of the building on the second and third levels. The second and third levels share the same layout and structural load-bearing system (see Item #13). The fourth level features cells distributed by prisoners' corridors at the west section. The center corridor at the west section used to be a light well (see Items #17 and #20). The east section has six non-historic cells along the north and east façades that are accessible via a horizontal circulation space that used to accommodate the school room (see Item #20). These cells have glazed concrete block walls. Cell #12 of the west section – see historical drawings - was altered to accommodate an additional shower room to the west of the juvenile and women's recreation rooms. The second through fourth levels are primarily unfinished given their utilitarian function and typically feature exposed concrete floors, steel cell framing, steel-plated ceilings, steel beams, and plaster on perimeter walls. Each cell typically features one or two wallmounted metal bed(s), one sink, one water closet, one radiator (fourth level only) and one wall- or ceiling-mounted light fixture.

The second through fourth levels are generally in poor condition (see Items #25, #26, and #27 on interior finishes).

S1.30-S1.50, S3.00, D1.20, D1.40, A1.20, A1.40, A1.61, A1.70-A1.74, A1.81, A1.82, A2.10, A2.32, A2.33, A3.00, A3.01, A4.00,

Photo numbers 2.01-2.27, 3.01-3.32, 4.01-4.31 Drawing numbers A4.01, A5.01, A6.00

Describe work and impact on feature

The second through fourth levels will primarily consist of residential units and a few support spaces (electrical). Some of the historic steel-plated and bar walls of the cells and corridors, the historic wall-mounted beds, and the non-historic cells at the fourth level will be removed to accommodate new units (see also Items #13 and #20). Typical studios feature one kitchen, one living room with a sleeping area, and one bathroom. Typical one-bedroom apartments feature one kitchen, one living room, one bedroom, one walk-in closet, and one bathroom. Typical two-bedroom apartments feature one kitchen, one living room, two bedrooms, and one bathroom. At the fourth level, units on the west side of the transverse corridor will be two-story one- and two-bedroom apartments with a double-height ceiling at the dining space/living room (see also Item #17). At the second and third levels, unit entrances will be recessed from the corridor (see Item #20). At the fourth level, the historic light well will be reused as a corridor to provide access to the units (see Item #20). New interior partition walls will be constructed between and within the new units. New walls will not obstruct window bays.

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5. Detailed Description of rehabilitation work

Number 17		
Feature Fifth Level	Date of Feature	1924, 1978

Describe existing feature and its condition

According to archival sources, it appears that the roof of the fourth level was an outdoor space used as an exercise yard. The open-air yard was accessed through a penthouse at the fifth level. The construction of the fifth level in 1978 involved several alterations to the building, including: removal of the roofing materials and gypsum blocks at the fourth-level light well floor and installation of a new concrete slab, removal of the roofing materials and gypsum blocks at the fourth-level roof down to the historic steel-plated ceiling and installation of a concrete slab throughout the new fifth level (enclosing the fourth-level light well), construction of CMU walls along the perimeter of the new fifth level, and vertical extension of the fifth-level penthouse to provide access to the roof of the new fifth level. The fifth level is a primarily partitioned space that includes a recreation room, storage rooms, mechanical rooms, and community spaces (e.g. "television" and "music" rooms, see past drawings). The center double-loaded observation corridor providing access to these rooms is connected to the primary vertical circulation core to the east and fourth-level secondary stair to the west (see Item #22). The fifth level is mostly unfinished with non-historic painted CMU, gypsum board partitions, precast concrete roof deck, exposed concrete slab, exposed ductwork, and exposed piping.

The fifth level is generally in good condition (see Items #25, #26 and #27 on interior finishes).

S1.60, S4.00, D1.40, A1.40, A1.72, A1.73, A1.74, A1.82, A2.32, A3.00, A3.01, A4.00, A4.01,

Photo numbers 5.01-5.16 Drawing numbers A5.01, A6.01

Describe work and impact on feature

The fifth level will consist of residential units on the western half and mechanical rooms on the eastern half of the building. Some of the CMU and all of the gypsum interior partition walls will be removed. The non-historic concrete slab will be removed at the center corridor to restore the historic fourth-level light well and at six locations to create a double-height space at the dining space/living room of the units. The removal of the slab at the units aims to provide indirect natural daylight to the fifth-level bedrooms, thus avoiding the need for creating new window openings in exterior walls. The apartments will be two-story units (see Item #16 for unit descriptions). A new stair will be installed in the fourth-level dining space/living room to provide access to the bedrooms and walk-in closets at the fifth level (see also Items #16 and #22). New interior partition walls will be constructed between and within the new units. A mechanical unit will be installed in the west mechanical room (see Item #11).

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5. Detailed Descript	tion of rehabilitation work		
Number 18			
Feature Addition	1	Date of Feature	1980
Describe existing fe	eature and its condition		
The non-historic addition consists of an open-plan center office space flanked by smaller offices at each end. The addition generally features an unfinished concrete slab, ceramic tile flooring, interior steel stud walls clad with gypsum, and dropped acoustical ceiling tiles.			
The addition is g	enerally in fair condition (see Ite	ems #25, #26 an	nd #27 on interior finishes).
			D1.00, D2.00, D2.01, A0.10,
Photo numbers1.	.48-1.53	Drawing numbers	A1.00, A2.00, A2.01

Describe work and impact on feature

The non-historic addition will be removed (see Items #1). The masonry of the 1924 building will be repaired at the junction with the addition (see Item #2 for more details).

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5. Detailed Description of rehabilitation work

Number 19			
Feature	Circulation – Lobby and Vestibule	Date of Feature	1924, ca. 1976, unknown

Describe existing feature and its condition

The main lobby is accessible from the primary entrance on the south façade of the building through a small vestibule (see Item #4). The lobby consists of a public space at the west and an open office space at the east. The lobby provides access to the central corridor, office spaces, and the elevator and stair of the primary vertical circulation core (see Items #22 and #23). The lobby space was altered over time, to include: installation of non-historic windows and door at the west counter at the public space and at the east end of the office space; installation of non-historic gypsum partitions and infills at the west and south sides of the primary stair shaft and northwest doorway; and removal of a door and counter at the public space. The lobby and vestibule were historically highly finished spaces featuring historic terrazzo flooring, stone wainscot and cladding, plaster walls, decorative crown mouldings, and suspended plaster ceilings concealing the second-level concrete slab.

The lobby is generally in poor condition. The vestibule is in fair to poor condition (see Items #25, #26, and #27 on interior finishes).

D1.00, A1.00, A1.60, A1.80,
Photo numbers 1.03-1.11 Drawing numbers A2.30, A2.31, A3.00, A3.01, A6.00

Describe work and impact on feature

The historic lobby and vestibule will be restored. Deteriorated or missing plaster walls, decorative crown mouldings, suspended plaster ceilings, stone wainscot and terrazzo flooring will be repaired (see Items #25, #26 and #27 for more details). The non-historic windows and door at the west counter of the public space and east end of the office space will be removed. The opening at the east end will be infilled with a new gypsum wall and door providing access to unit #107. The non-historic gypsum wall infill and partitions at the west and south sides of the primary stair shaft will be removed to restore the historic relationship between the lobby and the primary stair shaft, which is made possible by the creation of a new code-compliant stair at the northwest corner of the building (see Item #22 for more details). Extant historic counters will remain.

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5. Detailed Description of rehabilitation work

Numbe	Number 20			
			1924, ca. 1976 1978, various	
Feature	Circulation – Corridors	Date of Feature	unknown	

Describe existing feature and its condition

Horizontal circulation typically consists of single- and double-loaded corridors spanning west to east. A double-loaded corridor provides access to the offices and support spaces at the first and fifth levels. The historic first-level corridor leads to the addition at the west end of the building. The fifth-level corridor is not historic (see Item #17). There is a historic short double-loaded corridor at the first mezzanine level at the east end of the building providing access to an office and a few support spaces. There is a historic transverse corridor at the lower level. A historic transverse central corridor to the west of the primary vertical circulation core separates the second- through fourth-level layout into two separate sections. At the second and third levels, each section has a center mechanical corridor flanked by cells on each side. Prisoners' corridors provide access to the cells at the north and south sides of the building and a guards' corridor runs along the perimeter of the building. The mechanical, prisoners' and guards' corridors are all accessed via the transverse central corridor. Transverse corridors feature cell door operating devices on the west and east sides, and a vestibule and janitor's closet on the north side. At the east section of the fourth level, the guards' corridor was altered and extended towards the south façade to provide access to the non-historic cells along the perimeter of the building (see Item #16). At the west section of the fourth level, the current corridor used to be a light well prior to the addition of the fifth level (see Items #16 and #17). The light well has non-historic concrete flooring, painted historic brick walls, and non-historic exposed galvanized metal decking at the ceiling. There is a non-historic metal gate at the west end of the light well. There is a short doubleloaded corridor at the northeast end of the non-historic addition leading to the center office space. Historic corridors are finished with terrazzo flooring or borders, concrete flooring, plaster walls, steel cell bars and plates, and painted steel-plated ceilings and galvanized metal decking. Nonhistoric corridors feature concrete flooring, CMU and gypsum walls, painted pre-cast concrete ceilings, and dropped acoustical tile ceilings.

Historic corridors are typically in poor condition with deteriorated or missing finishes. Non-historic corridors are generally in good to fair condition (see Items #25, #26, and #27 on interior finishes).

L.04, L.11, 1.12, 1.13, 1.44, 1.48,		
2.05, 2.07, 2.08, 2.10, 2.12, 2.13,		
2.16, 2.18, 2.20-2.24, 3.05-3.09,		
3.11, 3.12, 3.14, 3.15, 3.17, 3.19-		\$1.30-\$1.50, \$3.00, D1.00-D1.40,
3.24, 3.28, 3.29, 3.31, 3.32, 4.05-		D1.90, A1.00-A1.40, A1.61,
4.09, 4.17, 4.18, 4.23-4.26, 4.29,		A1.70-A1.74, A1.80-A1.82, A2.32-
4.30, 5.05, 5.06	Drawing numbers	A2.34, A3.00, A3.01, A5.01
	2.05, 2.07, 2.08, 2.10, 2.12, 2.13, 2.16, 2.18, 2.20-2.24, 3.05-3.09, 3.11, 3.12, 3.14, 3.15, 3.17, 3.19-3.24, 3.28, 3.29, 3.31, 3.32, 4.05-4.09, 4.17, 4.18, 4.23-4.26, 4.29,	2.05, 2.07, 2.08, 2.10, 2.12, 2.13, 2.16, 2.18, 2.20-2.24, 3.05-3.09, 3.11, 3.12, 3.14, 3.15, 3.17, 3.19- 3.24, 3.28, 3.29, 3.31, 3.32, 4.05- 4.09, 4.17, 4.18, 4.23-4.26, 4.29,

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5. Detailed Description of rehabilitation work

Describe work and impact on feature

At the lower level, new double-loaded corridors will be created at the west open space to provide access to the tenant storage. At the first level, the historic west corridor and east mezzanine corridor will mostly remain. Portions of the west corridor will be removed at the west end to create a new code-required stair shaft and doorway, and a new entrance for unit #106 (see Item #22). The east doorway at the west corridor will be enlarged. A door opening will be created for unit #103. Based on historical and past drawings, the historic doorway at unit #103 was infilled ca. 1976. Three west corridor door openings will be infilled with insulated steel stud framing finished with gypsum (see also Item #28). A portion of the short mezzanine corridor will be removed at the storage closet to connect the mezzanine level to the elevator.

At the second and third levels, the transverse central corridors will remain: steel bar and plated walls will remain exposed; the north janitor's closet and vestibule will remain; a furred wall will be provided at the elevator (see Item #23); one door operating device will remain and the two others will be removed to facilitate circulation within the corridor. The steel bar walls of the prisoners' and guards' corridors will be removed for the units. However, to retain a sense of the historic perimeter circulation, the top portion of the steel bar walls will remain exposed in the units (see Item #13). The majority of the steel-plated walls of the mechanical corridors will be retained, remain exposed, and be reused to provide access to the units. Steel plates will be selectively removed at the unit entrances to create a recess. The option of reusing the guards' corridor doorways as an entrance for the units adjoining the transverse corridors was explored. Reusing these doorways would require the removal of portions of the historic steel plated walls to bring the width of the doorways to code. To avoid this level of altering historic wall materials, access to these units will be provided through the utilitarian, mechanical corridors. The historic guards' corridor doorways will remain, be exposed, and be enclosed by a new gypsum partition wall at the unit side.

At the fourth level, the transverse central corridor will remain (treatments similar to the second and third level). The west prisoners' and east guards' corridors will be removed for the units. The light well will remain and be reused to provide access to the units. The non-historic metal gate will be removed. A new short corridor will be created to the east of the primary stair shaft to provide access to the new east units (see Item #22). At the fifth level, the corridor will mostly remain and be infilled with CMU or gypsum at the southwest and southeast portions to create a double-height light well.

Openings in interior walls will be infilled with CMU or gypsum at the first-level southeast office and the fifth-level vestibule. New door and doorway openings will be provided at the west steel-plated wall of the lower-level elevator mechanical room and the west brick wall of the trash/recycling room #009. New interior partition walls will be provided for the residential units and tenant storage. Typical new interior partition walls will consist of CMU or insulated steel stud walls finished with gypsum board.

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5. Detailed Descript	ion of rehabilitation work		
Number 21			
Feature Circulati	ion – Tunnel	Date of Feature	Unknown
Describe existing fe	eature and its condition		
is accessed throu tunnel has an exp infilled with a CM	gh a sloped floor at the southeas posed concrete floor and slab ab IU wall and a flat slab single-leaf	st corner of the ove, and painte f metal door abo	
	he tunnel is in fair condition wit nnel was not evaluated for struc		and staining likely due to water
Photo numbers L.	01, L.02	Drawing number	s_D1.00, A0.10, A1.00
Describe work and	impact on feature		

The tunnel opening at the jail building will be infilled with CMU at the east perimeter wall of the building.

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	5.	Detailed	Description	ot r	enabili	tation	work
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Number 22			
Feature Circulation – Stairs	Date of Feature	1924, 1978, various unknown	

Describe existing feature and its condition

The primary vertical circulation core includes a stair shaft and is located in the center of the building towards its eastern end. The stair shaft is historic and does not appear to have been altered over time except at the first, fifth, and roof levels (see Items #10, #17 and #19). The shaft runs from the lower level to the roof level and contains primary stair A. The shaft features historic painted steel-plated and plaster walls, a multi-divided steel window wall with wire or clear glass and steel safety bars at the west wall on the second through fourth levels, multi-divided lite steel windows with (painted) wire glass at the south wall, non-historic CMU walls at the fifth and penthouse levels, and painted pre-cast concrete planks at the ceiling of the roof penthouse. Stair A consists of a historic metal stair with metal railings, wood handrails, plaster at the underside of the stair flights and landings, terrazzo steps and landings at the lower through fourth levels, and a non-historic metal stair and railing at the fifth and penthouse levels. There are two secondary service stairs running from the lower to the first level: 1) one historic stair near the east end of the north façade (stair B) and 2) one non-historic stair leading to the office to the west of the lobby (stair C). The shaft enclosing stair B has historic steel-plated and plaster walls. Stair B is a historic metal stair with a metal railing, wood handrail, terrazzo steps and landings, and plaster at the underside of the stair flights and landings. Stair C is a concrete stair with non-slip rubber treads and risers. There is a non-historic secondary stair located in the middle of the fourth level center corridor of the west section (stair D) that runs from the fourth to the fifth level. Stair D is an unfinished concrete stair with wall-mounted metal handrails. The shafts enclosing stairs C and D are typically painted CMU walls.

Stair B and the historic portion of stair A are in fair to poor condition with peeling paint and evident signs of corrosion. The metal railing at stair B is partially missing. The non-historic portion of stair A, stair C, and stair D are in good to fair condition with staining, loose rubber risers at stair C, and signs of corrosion at the non-historic metal portion of stair A.

	L.05, L.06, L.18, L.21, 1.03, 1.16,		S1.00-S1.50, D1.00-D1.40, D1.90,
	1.38, 1.43, 2.01-2.03, 3.01-3.03,		A1.00-A1.50, A1.72-A1.74, A1.80-
	3.06, 4.01-4.03, 4.25, 5.01-5.03,		A1.82, A1.90, A2.32, A4.00,
Photo numbers	5.06, 5.14, 5.17	Drawing numbers	A4.01, A4.06, A6.00

Describe work and impact on feature

The installation of a new code-compliant stair shaft is critical to the reactivation the building, as the historic primary stair A does not meet the code requirements. To reduce the amount of alterations to stair A, a floor opening will be created at the northwest corner of the building between the lower and the fourth levels to install a new stair shaft. The floor opening was designed to accommodate a stair layout that would not obstruct the north window bays of the west façade. The new stair shaft will be made of painted CMU walls, feature a metal stud framed interior wall finished with gypsum, have a wood stair, and a code-required metal gate at the first level. The existing floor slab will be supported by the new CMU walls and steel framing (see also

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5. Detailed Description of rehabilitation work

Item #13).

The stair shafts, stairs, and finishes of the historic stairs A and B will remain. The terrazzo will be cleaned, sealed, and polished (see Item #27). Deteriorated plaster will be repaired (see Item #25 for plaster restoration). The metal stairs, steel-plated walls, multi-divided lite steel window wall with bars, and multi-divided lite steel windows will remain and be repaired. Surface corrosion will be removed with a wire brush. The steel walls, windows, and bars will receive a rust-inhibitive primer and be repainted with two coats of finish paint (compatible with the primer). The paint on the wire glass of the multi-divided steel windows at the south wall will be scraped. Stair A will be used as an exit access stair. Alterations at the shaft of stair A will include: removal of the nonhistoric gypsum infill and partition at the first level (see Item #19); removal of the lower-level east and south steel-plated and bar shaft walls; install a draft curtain and sprinklers at the ceiling of the first through fourth levels; install a furred wall finished with gypsum on both wall faces at the unit side of the shaft south wall (see detail 1/A6.00); enlarge the west door opening about 6 inches to the north to comply with code at the second through fourth levels; and enlarge the access panel opening on the east shaft wall to provide access to the mechanical corridors at the second through fourth levels. Enlarging the access panels at the east shaft walls allows the project to reuse the east mechanical corridors to provide access to the units; therefore avoiding alterations to the guards' corridor doorways (see Item #20). Metal railings and wood handrails will remain and be refinished. The non-historic portion of stair A at the fifth and penthouse levels will remain. Stair B will be used as a private stair for the two-story unit #108. The west handrail will be removed to install a new interior partition wall enclosing unit #108. The handrail will be reused to rebuild the portion that is missing at the south side. The non-historic stairs C and D will be removed.

A new stair and landing will be provided at the lower-level elevator mechanical room (see Item #14). Six new stairs will be provided at the two-story units of the fourth level (see Items #16 and #17). Most stairs will be constructed of metal and have a spiral shape. The new stair at unit #406 will be made of wood and feature a code-required intermediate landing as the unit floor area at the fifth level will exceed 250 SF.

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5. Detailed Description of rehabilitation work

Number 23			
Feature	Circulation – Elevator	Date of Feature	Unknown

Describe existing feature and its condition

There is a metal elevator that is part of the primary vertical circulation core of the building together with stair A. The elevator shaft is historic and runs from the lower to the fourth level. The elevator features a metal-paneled accordion door with wire glass lite at the shaft side and a metal-bar sliding door at the elevator cab side. In addition, there is a historic dumbwaiter to the east of the kitchen that runs from the first to the fourth level.

The elevator and dumbwaiter are not code-compliant and in fair to poor condition with peeling paint and evident signs of corrosion.

L.11, L.12, 1.33-1.36, 2.04, 3.01, D1.00-D1.40, A1.00-A1.40, A2.33, Photo numbers 3.04, 3.06, 4.04 Drawing numbers A3.01, M1.00-M1.40

Describe work and impact on feature

The historic elevator shaft will be retained (see Item #22 on metal restoration). To avoid intrusive structural alterations to the historic elevator shaft and floor slabs around it, a custom-made front-rear elevator will be designed to fit within the existing enclosure. The elevator cab will be removed. The accordion and sliding doors will be removed for the installation of a fire-rated furred wall and smoke control door. One leaf of the first-level accordion door will be salvaged and hung to a new interior partition wall in front of the elevator shaft at the first level. An opening will be created at the west side of the shaft at the lower and first mezzanine levels to provide accessibility to the new trash/recycling room and historic office, respectively. The dumbwaiter equipment will be removed. The dumbwaiter shaft will remain and be reused to run new piping.

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5. Detailed Descrip	etion of rehabilitation work			
Number 24				
Feature Circula	tion – Ramps	Date of Feature	1924	
Describe existing feature and its condition				
There is a concrete ramp at the southeast corner of the lower level leading to the tunnel (see Item #21). The ramp features a tubular metal railing at the west end. There is a short concrete ramp leading to the large open-space area of the lower level.				
The concrete ramps are in fair condition with staining and miscellaneous debris on the top surface. The metal railing is in fair condition with surface corrosion.				
Photo numbers _ l	03-L.05, L.14	Drawing number	rs_D1.00-D1.40, A1.00-A1.40, A5.01	

Describe work and impact on feature

The ramp at the southeast corner of the lower level will remain and be cleaned. The metal railing will remain and be prepped, primed, and re-painted. The short concrete ramp leading to the west open space will remain and be cleaned. New wall-mounted metal handrails will be provided at each side of the new plywood partitions.

New short concrete ramps will be provided at the following locations to accommodate the difference in finished floor level with the new gypcrete flooring at the units (see Item #27 for more details): the east end of the west mechanical corridors and west end of the east mechanical corridors at the second and third levels; to the east of the light well at the fourth level, and at the new east short corridor at the fourth level. A small portion of the existing concrete slab at the west or east end of the second-level mechanical corridors, fourth-level corridor to the east of the light well, and fourth-level new east corridor (see Item #20) will be removed to feather up the new concrete ramps.

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5. Detailed Description of rehabilitation work

Number 25			
	Interior Finishes – Exterior and		1924, ca. 1976, 1980, various
Feature	Partition Walls	Date of Feature	unknown

Describe existing feature and its condition

The building features the following interior wall finishes:

- 1. <u>Plaster</u>. Plaster is typically found at the interior side of exterior walls, some interior walls at the lower level, and most interior walls at the first level.
- 2. <u>Stone</u>. The walls and columns of the lobby, the vestibule, and the first-level southeast office are finished with stone wainscot. Some salvaged stone wainscot is stored in an office at the first level.
- 3. <u>Gypsum</u>. There are several modern gypsum partition walls in the addition and at the first and fifth levels of the building. The shafts of stairs A and C have non-historic gypsum walls or infills at the first level.
- 4. <u>Ceramic tile</u>. The modern second- through fourth-level bath cells and fourth-level cells at the east section have non-historic glazed concrete block. A first-level shower and restroom feature non-historic ceramic tile and ceramic tile wainscot, respectively.

Plaster is in fair condition with hairline cracking and missing or peeling paint, and poor condition where it is cracked, loose, delaminating, missing, or has peeling paint. The stone wainscot and cladding are in fair to poor condition where it is broken, cracked, missing, or stained. Gypsum walls are generally in fair condition with staining, peeling paint, and missing areas. Glazed concrete block and ceramic tile are typically in good to fair condition with broken or missing tiles.

L.03-L.05, L.07-L.11, L.13-L.20, L.22, L.23, 1.01-L1.31, L1.34, L1.37, L1.38, L1.40-L1.42, L1.44, L1.46-L1.53, 2.08-2.10, 2.16, 2.18, 2.20-2.22, 2.25, 3.08-3.10, 3.14-3.16, 3.19-3.22, 3.25, 4.07-4.10, 4.12, 4.15-4.18, 4.23-4.27, 4.29, Photo numbers 45.01, A5.31

Describe work and impact on feature

Plaster walls at the first-level lobby, vestibule, southeast office, northeast kitchen, mezzanine office, and the second through fourth-level transverse corridors will be retained and repaired per *Preservation Brief 21: Restoring Historic Flat Plaster – Walls and Ceilings*. Hairline cracks and small holes in the plaster will be repaired with a two-coat application process. For spalling areas of plaster, a skim coat will be applied to match the existing adjacent surface. Larger holes will have remaining plaster removed and the new plaster will be applied and lapped over extant historic plaster to create a strong and seamless patch. Missing or large expanses of deteriorated plaster will be replaced with finished gypsum board over metal lath. The walls will be re-painted. Plaster at the perimeter walls and elsewhere in the building will remain as is and be furred out with

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gypsum board over metal channels to conceal the new electrical conduit and wiring required for the residential reuse; therefore avoiding the creation of chases in historic masonry walls or exposed conduit and wiring (see Item #30). Thermal expansion/contraction of the new furring wall system will not damage the existing masonry wall given the wall mass, thickness, and strength. At perimeter walls, no thermal insulation will be installed to reduce the possibility of freeze-thaw damages to the masonry. The vapor permeability of the gypsum will help prevent trapped moisture in the wall assembly. The change of wall thickness and interference with the window bays will be minimal given the shallow depth of the gypsum and metal channel furred wall (2 ¼ inches). Plaster will be locally removed at locations where new steel channel beams will be pocketed into the masonry wall (see Items #2 and #13). The existing stone wainscot and cladding will remain. Missing and cracked stone will be replaced with salvaged stone stored on site and a similar stone matching the existing. Alternately, substitute materials such as quartz or artificial stone resin panels will be used. Substitute materials will be compatible with the historic stone in appearance, size, and thickness. Their physical properties will be similar to the historic stone or they will be installed in a manner that tolerates differences in material properties. At the first-level southeast office, plaster walls and stone wainscot will remain as is and be furred out at the new kitchen and bathroom to conceal piping. Non-historic gypsum board walls and infills will be removed throughout the building (see also Item #19). The non-historic glazed concrete block and ceramic tile will be removed.

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5. Detailed Description of rehabilitation work

Number 26		
Feature Interior Finishes – Ceilings	Date of Feature	1924, ca. 1976, 1980, unknown

Describe existing feature and its condition

The building features the following ceiling types:

- 1. <u>Plaster</u>. Historic suspended plaster ceilings are found at the vestibule, the lobby, and most offices and support spaces of the first level. The first-level lobby, vestibule, and southeast office feature decorative crown mouldings. The underside of the stair flights and landings of stairs A and B are finished with plaster. Based on past drawings, the suspended plaster ceiling at the east section of the fourth level is not historic.
- 2. <u>Steel plate</u>. Exposed historic steel plate and non-historic galvanized metal decking are found at the ceilings of the second through fourth levels.
- 3. <u>Dropped acoustical tile</u>. Non-historic dropped acoustical ceiling tile systems were previously installed in the addition and at the first-level office located at the southwest corner of the building.
- 4. <u>Gypsum.</u> There is a non-historic gypsum board soffit along the perimeter walls at the fifth level.

Historic plaster ceilings and mouldings are in fair condition with hairline cracking and missing or peeling paint, and poor condition where they are cracked, loose, delaminating, missing, or have peeling paint. The non-historic plaster ceiling is in fair condition with holes and peeling paint. The steel-plated ceilings and galvanized metal decking are typically in fair condition with holes, peeling paint, and surface corrosion. The dropped acoustical tile ceilings are in poor condition with missing tiles. The gypsum board soffit is typically in good to fair condition with minor staining.

1.01-1.10, 1.12-1.23, 1.26, 1.28-		
1.31, 1.33, 1.38, 1.40-1.44, 1.46,		
1.48-1.50, 1.52, 1.53, 2.02-2.13,		
2.16, 2.18, 2.20-2.24, 3.01-3.12,		
3.14-3.17, 3.19-3.24, 3.28, 3.29,	D1.00-D1.40, D1.90, A1.00-A1	.40,
3.32, 4.01-4.12, 4.14, 4.15, 4.17,	A1.60, A1.70-A1.82, A2.30-A2.	.33,
4.18, 4.20, 4.22-4.30, 5.02, 5.03,	A3.00, A3.01, A4.00, A4.01,	
5.05-5.10, 5.12, 5.13, 5.15-5.18	Drawing numbers A4.06, A5.01, A6.00, A6.01	

Describe work and impact on feature

Photo numbers

Historic suspended plaster ceilings will be retained and repaired at the lobby, vestibule, and southeast office (see Item #25 on plaster restoration). Elsewhere in the building, the historic and non-historic plaster ceilings will remain as is and be covered with a new gypsum board ceiling. Deteriorated crown mouldings will be repaired matching the profile of the existing. Steel channels will be installed at the rear side of the mouldings to provide support and will be connected to the clay tile walls with wire ties. The ceilings and mouldings will be re-painted. Gypsum board will be installed at the ceiling of the flights and landings of stairs A and B where large areas of plaster is

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missing. Historic steel-plated ceilings will be retained and remain exposed. Holes will be patched with steel plates salvaged from the removal of some cell walls (see Item #13). Light rust, flaking, and excessive paint will be removed with manual or mechanical abrasion techniques, such as a wire brush. Steel-plated ceilings will be gently cleaned and primed with rust-inhibiting primer and repainted with two coats of finish paint (compatible with the primer). The non-historic galvanized metal decking at the fourth level ceiling will be removed to create a double-height light well. The non-historic dropped acoustical tile ceiling will be removed to restore the historic ceiling height. The gypsum board soffit will be removed. A gypsum board soffit will be installed at the bathroom of unit #107.

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5. Detailed Description of rehabilitation work

Number 27			
Feature Interi	or Finishes – Floors	Date of Feature	1924, 1978, 1980

Describe existing feature and its condition

The building features the following floor finishes:

- 1. <u>Terrazzo</u>. Historic terrazzo flooring and base remain at the first and first mezzanine level, stair A, and stair B. The first-level corridor has terrazzo borders. The terrazzo flooring has a rubber floor base at some non-historic partition walls.
- 2. <u>Stone</u>. The vestibule and a small portion of the first-level landing of stair A features stone flooring.
- 3. <u>Ceramic tile</u>. The second- through fourth-level bath cells and first-level shower at the southwest corner of the building have non-historic ceramic tile installed on an elevated floor. The vestibule at the primary entrance of the 1980 addition has non-historic ceramic tile.
- 4. <u>Concrete</u>. The building features historic concrete floors at the lower level, some first-level support spaces, and the second through fourth levels. The concrete floors at the fourth-level light well, the fifth level, and the addition are not historic.
- 5. <u>Steel</u>. The third-level mechanical corridors feature unfinished structural steel plates and angles at the floor.

Terrazzo flooring is generally in fair condition with staining, cracking, and remnants of glue from previously removed non-historic flooring materials. Floor finishes between the terrazzo borders at the first-level corridors are missing. The stone flooring appears to be in good condition. The ceramic tile appears to be in good to fair condition with staining, dirt, and miscellaneous debris. The concrete floors appear to be in good to fair condition where cracked. Rubber floor bases are generally in fair condition with missing, loose, or stained floor bases. The steel plates and angles are in poor condition with severe signs of corrosion.

	L.01-L.19, L.21-L.23, 1.01-1.10,		
	1.12-1.18, 1.20, 1.22-1.26, 1.28-		S1.00-S1.40, D1.00-D1.40, A1.00-
	1.34, 1.37-1.44, 1.47-1.53, 2.01-		A1.40, A1.70-A1.74, A2.31, A3.00,
	2.05, 2.07-2.27, 3.01-3.32, 4.01-		A3.01, A4.00, A4.01, A4.06,
Photo numbers	4.22, 4.24-4.31, 5.01-5.18	Drawing numbers	A5.01, A6.00

Describe work and impact on feature

The terrazzo flooring will be retained and cleaned, sealed, and polished. Cracks will be patched with epoxy matching the existing. The terrazzo will be gently cleaned with a pH balanced cleaner. The rubber floor base will be removed. The first-level corridor will be finished with a self-leveling resin or epoxy between the terrazzo borders to create a code-compliant level surface. The stone flooring will be retained and cleaned. The non-historic ceramic tile flooring and elevated floors will be removed. Concrete floors will remain as is and be covered with an acoustic membrane and gypcrete flooring at the unit side of the second through fourth levels to provide acoustical insulation between floors and retain the exposed steel-plated ceilings (see Item #26). The steel at the third-level mechanical corridors and the concrete at the second-level mechanical corridors,

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5. Detailed Description of rehabilitation work

fourth-level light well, and fourth-level new east corridor will be topped with a concrete slab to match the finished floor level at the unit side and create ramps providing accessibility (see Item #24). The third-level mechanical corridors steel plates and angles will remain as is and act as formwork for the new concrete slab that will provide a level surface. The concrete flooring will remain exposed and be sealed elsewhere throughout the building. Floor openings will be created at several locations (see Item #12).

Property name St. Louis County Jail NPS Project Number 39,526

Property address 521 West Second Street, Duluth, MN 55802

5. Detailed Description of rehabilitation work

Numbe	r 28		
			1924, ca. 1976, 1980, various
Feature	Interior Finishes – Doors	Date of Feature	unknown

Describe existing feature and its condition

The building has historic sliding and hinged cell doors made of steel bars with a food slot, sliding steel-paneled doors with a three-by-three divided lite and a food slot, steel doors with multidivided wire glass lights and safety bars, metal-paneled doors, metal-paneled doors with a transom above (metal-paneled transom, hopper-style transom with wire glass), and metal-paneled doors with a wire glass light, a mail slot and a louver. Additional historic metal-paneled doors are salvaged at the lower-level open space and in a first-level office. The building also features non-historic flat slab wood doors, flat slab wood doors with a clear or wire glass light, flat slab hollow metal doors, and flat slab hollow metal doors with a clear glass light at the first, fourth, and fifth levels. At the first-level corridor, the doors are not historic or missing; some historic doorways were infilled and new doorways were created in ca. 1976. The single-leaf aluminum door with a plexiglass lite at the vestibule is not historic. The east doorway at the fourth-level light well was partially infilled with CMU. The non-historic addition has flat slab wood doors.

Historic brass hardware remains on some historic metal doors. Non-historic wood and metal doors have brass/metal hardware.

The historic steel and metal doors are typically in fair to poor condition with evident signs of corrosion, peeling paint, non-code-compliant and missing hardware, where they are missing, and where they were altered (mail slot, louver, missing/altered transom, infilled door opening). The non-historic wood and metal doors are generally in good to fair condition with staining and minor finish deterioration.

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L.01, L.02, L.04, L.05, L.07, L.10,
1.02-1.13, 1.18, 1.20, 1.21, 1.23,
1.27-1.29, 1.32, 1.34, 1.38, 1.39,
1.42, 1.44, 1.45, 1.48, 1.50, 1.51,
2.01, 2.07, 2.11-2.13, 2.17, 2.19,
2.22-2.24, 2.26, 2.26, 3.01, 3.05,
3.06, 3.07, 3.11-3.13, 3.17, 3.18,
3.22-3.24, 3.26, 3.28-3.30, 4.01,
4.05-4.09, 4.11, 4.13, 4.15, 4.17-
4.19, 4.24-4.27, 4.29, 4.30, 5.01,
Photo numbers
5.05, 5.06, 5.08, 5.11-5.13, 5.16
Drawing numbers A4.01, A5.20, A5.21, A6.00
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Describe work and impact on feature

Historic metal doors will typically be removed throughout the building. Historic doors to remain include: the steel bar door at the lower-level hallway, the metal-paneled door at the north side of the lobby (fixed shut), most metal-paneled doors at the first-level mezzanine, some second-

Property name St. Louis County Jail NPS Project Number 39,526

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5. Detailed Description of rehabilitation work

through fourth-level prisoner's corridor steel bar doors (fixed shut or in fully open position), the steel bar and wire glass doors at the west side of stair shaft A (fixed shut in fully open position), and the steel bar and plated doors at the vestibule and janitors closets of the second-through fourth-level transverse corridors. The interior side of the north door at the lobby will be covered by steel framing, insulation, and gypsum board. Existing transoms above doors to be retained at the first-level corridor will remain; however, they will be fixed shut. Non-historic infill materials will be removed and replaced with clear glass. Paint on transom lights will be removed. At doors to be removed, transoms will be salvaged. The feasibility of reusing salvaged transoms at new doors will be assessed. New first-level corridor doors will feature a transom matching the existing. Existing and new transoms will be protected with dedicated sprinkler heads (see Item #32). Nonhistoric doors will typically be removed throughout the building. The aluminum door at the vestibule will be removed and replaced with a new aluminum storefront door. The non-historic west door connecting the 1924 building to the 1980 addition will be removed to install a new exterior door (see Item #5). Doors and doorways will be partially or fully infilled with CMU or insulated steel stud framing finished with gypsum board at some locations at the historic firstlevel corridor and non-historic fifth-level corridor. Infills at the first-level corridor will be mostly done at historic door openings. The doorway of unit #104 that will be partially infilled is a nonhistoric doorway dated ca. 1976 (based on historical and past drawings). The fifth-level doors at the center corridor will be converted to window bays and infilled with CMU below the new windows. Windows will be metal-framed, single lite, and fixed. The CMU infill at the door opening at the east end of the light well will be removed to restore the historic door opening. Seven infilled window openings at the fourth-level light well will be enlarged to accommodate new doors for the units and new west stair shaft. The door opening in the steel-plated wall of the transverse central corridor leading to the west mechanical corridor providing access to the units at the second and third levels will be enlarged to four feet to match the width of the mechanical corridor. New solid core wood doors with code-compliant hardware will be provided throughout the building, hollow metal doors for service doors, and plywood doors at the lower-level tenant storage boxes. Historic doors salvaged at the lower- and first-levels will remain stored on site.

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5. Detailed Description of rehabilitation work

Number 29		
Feature Mechanical – HVAC System	Date of Feature	1924, 1980, various unknown

Describe existing feature and its condition

Existing HVAC equipment is primarily located at the lower level. The building currently provides heat by means of historic radiators located below or next to exterior windows, and in the fourth level cells. Radiator piping is typically concealed on all floors. Ductwork for heating and ventilation is exposed at the lower level, some first-level offices, the second- and third-level mechanical corridors, and the fifth-level center corridor. Ductwork is concealed above the dropped acoustical tile ceilings at the addition.

The existing HVAC system appears to be in fair condition. The radiators and ductwork are generally in good to fair condition due to surface and paint deterioration.

L.03-L.05, L.07, L.08, L.10, L.11, L.15-L.17, L.19, L.20, L.22, 1.01, 1.06, 1.14, 1.15, 1.22, 1.26, 1.48, 1.53, 2.08, 2.10, 2.16, 2.18, 2.20, 2.21, 3.08, 3.09, 3.14, 3.15, 3.19-3.21, 3.31, 3.32, 4.12, 4.14, 4.17, 4.18, 4.20, 4.22, 4.29, 4.31, 5.05,

D1.00-D1.40, A1.00-A1.40,

Photo numbers 5.06 Drawing numbers M2.00-M2.60

Describe work and impact on feature

The existing HVAC system, associated ductwork and piping, and radiators will be removed. Hot water boilers will be installed at a fifth-level mechanical room. Hot-water baseboards with covers will be provided at the perimeter of the building to serve the units, common spaces, and support spaces. Baseboards will typically be flush-mounted throughout the building and recessed in existing wall cavities at the first-level lobby, unit #107, and unit #108. Baseboards will be controlled by integral thermostatic control valves. The vestibule, the new west stair shaft, and the tenant storage area at the basement level will be heated with electric unit heaters. The existing mechanical chases of the former vertical steam piping system in the perimeter walls will be reused to route the new vertical hot water piping risers to the extent possible. Pipe penetrations through floors and walls will also be created. Water meter and fire sprinkler equipment will be installed at the northeast corner of the large open space at the basement level. The exterior gas meter to the east of the primary entrance of the building will be replaced with a new gas meter. The new painted galvanized ductwork will be concealed by the historic suspended plaster ceilings at the first level and exposed at the lower level, fifth-level units, and fifth-level light well ceiling. In addition, new ductwork will be minimally exposed in a few units of the first through fourth levels due to the vertical air distribution provided by the new mechanical chases. Painted spiral duct (typically 4 inch round) will be installed tight to the walls and ceilings of the office #110, the living rooms of units #201 and #301, and the bedrooms of units #207, #208, #307, #308, #407, and #408. Per Preservation Brief 24 - Heating, Ventilating, and Cooling Historic Buildings: Problems and

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5. Detailed Description of rehabilitation work

Recommended Approaches, the new ductwork will be installed such that future removal is possible without further damage to the building. Fire-smoke dampers will be provided at shaft penetrations. Horizontal wet venting will be typically provided for the sanitary system at the bathrooms of the units. To avoid a mechanical opening in the granite cladding or altering an historic window opening, a metal exhaust vent louver will be provided at the garage door transom to exhaust air from the laundry and trash rooms.

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5. Detailed Description of rehabilitation work

Number 30		
Feature Electrical – Power and Lighting	Date of Feature	1924, 1980, various unknown

Describe existing feature and its condition

Electrical conduit is generally concealed by interior partition walls and suspended ceilings. The electrical conduit is also exposed in some spaces throughout the building along walls and ceilings. The majority of the interior light fixtures are not historic. Interior lighting primarily consists of historic, utilitarian, square metal light fixtures in the cells and some corridors of the second-through fourth levels (recessed at the second- and third-level cells), non-historic ceiling-mounted and suspended fluorescent strip light fixtures, non-historic wall-mounted light fixtures at the fourth-level cells, and non-historic dropped ceiling lighting. Exterior lighting is limited to modern wall-mounted single light fixtures located above the overhead garage door, at the northeast corner of the building, and on the east side of the secondary entrance on the north façade. There is a modern recessed round light fixture above the primary entrance of the addition.

The electrical conduit is typically in good to fair condition, as it is loose in some locations. The historic interior lighting is typically in poor condition due to corrosion and missing light covers. The non-historic interior lighting is in poor condition with missing fluorescent tube lights and loose wires. The non-historic interior lighting is generally non-sympathetic to the style of the building. It is unknown whether the interior and exterior lighting is operational.

L.03, L.04, L.05, L.07, L.11, L.17,
1.01-1.06, 1.10, 1.14, 1.15-1.19,
1.22, 1.23, 1.27-1.29, 1.42, 1.481.50, 1.53, 2.04, 2.06, 2.08-2.10,
2.14, 2.15, 2.21, 3.04, 3.08-3.10,
3.14-3.16, 3.19-3.22, 3.26, 3.27,
3.30, 4.04-4.09, 4.11, 4.12, 4.14,
4.15, 4.17, 4.18, 4.21, 4.22, 4.24,
4.26, 4.28-4.30, 5.01, 5.02, 5.05Photo numbers

Drawing numbers

E4.10

Describe work and impact on feature

The existing electrical distribution and panels will be removed and replaced throughout the building. A new transformer sitting on a concrete pad will be provided (see Item #1). New electrical rooms will be located at the former lower-level elevator mechanical room, a second-level cell (room #209), a third-level cell (room #309), and the fifth-level mechanical rooms. Individual metering shall be provided for resident units. New electrical conduit will be typically concealed in new interior and furred walls, and exposed on some existing walls/ceilings. New main telecommunication backboards will be installed in the former elevator equipment room at the lower level. An interior voice/data distribution system, CATV distribution system, telephone-type entry and access control system, and fire alarm and detection system will be provided. A fire alarm panel will be installed on the east wall of the vestibule. Exterior lighting will include general site

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5. Detailed Description of rehabilitation work

and parking lighting. New modern and simple-in-design exterior light poles and fixtures will be provided at the east and south sides of the building. A wall-mounted photo control device will be installed at the west end of the south wall for exterior lights. The device will be connected to the wall through the mortar joints. Given their poor condition, historic and non-historic interior light fixtures, including the wall- and ceiling-mounted light fixtures in the cells, will be removed throughout the building. Interior lighting will consist of decorative pendant light fixtures in the lobby and first-level corridor, utilitarian metal square light fixtures in public corridors, architectural LED lightbars in the second- through fourth-level recessed unit entrances, simple-indesign light fixtures in the units; LED strip-luminaires in support and storage spaces, LED emergency battery packs for emergency egress illumination, and LED exit fixtures with battery backup. Occupancy sensors will be provided throughout the building. Power receptacles will be installed throughout the building. Stand-alone smoke detectors will be installed in bedrooms and smoke/CO detectors in corridors.

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5. Detailed Description of rehabilitation work

Numbe	er 31		
	Plumbing – Piping Layouts and		
Feature	Fixtures	Date of Feature	1924, 1980, various unknown

Describe existing feature and its condition

Plumbing fixtures throughout the building primarily consist of sinks, water closets, and showers in the bath cells. It is unknown whether the plumbing fixtures in the second- and third-level cells are historic. The plumbing fixtures throughout the first level and in the fourth-level cells do not appear to be historic. The showers are not historic. Piping is typically exposed at the lower level, the second- and third-level mechanical corridors, and the fifth level. The current roof drainage system consists of internal rainwater leaders.

The plumbing fixtures are generally in good condition at the showers and fair to poor condition elsewhere with evidence of staining and corrosion. The piping at the mechanical corridors is in fair condition with surface corrosion and paint deterioration.

L.03-L.05, L.07, L.08, L.10, L.11,
1.07, 1.19, 1.20, 1.24, 1.25, 1.47,
2.09, 2.11, 2.14, 2.15, 2.19, 2.252.27, 3.10, 3.13, 3.16, 3.18, 3.253.27, 3.30-3.32, 4.16, 4.21, 4.31,
Photo numbers 5.04, 5.07 Drawing numbers M1.40

Describe work and impact on feature

The existing plumbing piping and fixtures will be removed and replaced throughout the building. The service sink in the janitor's closet at the second- through fourth-level will remain as is (see Item #20). A separate fire sprinkler and domestic water service line will be extended from the site to the water service room at the northeast corner of the lower-level open space. The sanitary sewer service will be extended from the site to the building. Gas piping will be installed from the meter to the units and common areas gas-fired equipment (see also Item #29). A sump basket and pump will be provided for the new elevator pit drain. The sump pump will discharge into the sanitary system. New code-approved plumbing fixtures will be installed throughout the building, including: toilets, tubs/showers, shower valves, wall-mounted lavatories, faucets, and kitchen sinks. Plumbing piping will be concealed by the suspended plaster ceilings at the first level, the steel-plated ceiling at the third-level transverse corridor, furred walls at the units and some perimeter walls, and exposed elsewhere. Floor drains will be provided in the laundry room, trash room, and mechanical rooms.

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5. Detailed Description of rehabilitation work

Number 32	
Feature Fire Protection	Date of Feature Unknown

Describe existing feature and its condition

Exposed sprinkler systems were observed at different locations throughout the building, including: the second- through fourth-level transverse central corridors, the fourth-level light well, the fifth level, and the shaft of stair A at the penthouse level.

The sprinkler system appears to be in good condition.

2.01, 2.04, 3.01, 3.06, 4.01, 4.04, 4.05, 4.24-4.26, 5.01, 5.05, 5.06, Photo numbers 5.08, 5.13, 5.15, 5.16, 5.18 Drawing numbers M1.00

Describe work and impact on feature

The existing sprinkler systems will be removed and replaced with a new code-compliant system throughout the building. The replacement sprinkler system allows the transom windows to be retained in the first-level corridor of the building (see Item #28).

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2. IMAGE KEY PLANS

Site

Exterior and Penthouse Level

Lower Level

First Level

First Level – Addition

Second Level

Third Level

Fourth level

Fifth Level



PRESERVATION PLAN DULUTH PUBLIC LIBRARY HERITAGE PRESERVATION LANDMARK Adopted 1-22-92

I. <u>INTRODUCTION</u>

The following preservation plan contains design review guidelines which will serve as a basis for the Duluth Heritage Preservation Commission's permit review decisions with regard to The Duluth Public Library Heritage Preservation Landmark. These guidelines define the acceptable means by which the building's unique physical appearance can be preserved and enhanced through rehabilitation, restoration, or new construction.

One purpose of these guidelines is to provide assurance to the owner of the property that the permit review process will be based on clear standards rather than the taste of individual commission members.

The guidelines will be interpreted with flexibility depending on the particular merit of the proposed changes and their impacts on the portion of the building under review. Consideration will be given to the availability of historic building materials. When applying the guidelines, the Commission will also consider the economic impacts of the design requirements. Decisions of the Heritage Preservation Commission are subject to appeal to the City Council within ten days of written notice of the decision by any party aggreived by the Commission's decision.

II. AREAS TO BE PRESERVED

- A. South, east and west exterior building facades.
- B. Entrance stairways, walks, approaches; and grounds.
- C. Second Street foyer.
- D. Main interior staircase leading from the Second Street foyer to the Board Room on the second floor.
- E. Central interior rotunda with green marbleized columns.

III. NEW CONSTRUCTION

New construction refers generally to any new addition to the building. The basic principle for new construction with the historic, Duluth Public Library Preservation Landmark is to maintain the scale and character of the present building. In this case, any such addition would need to provide height, massing,

setback, materials, and rhythm compatible to the original building. Guidelines for new construction focus on general rather than specific design elements as follows:

A. Setback-Siting.

In general, new construction should match the setback of the original building.

B. Massing, volume, and height.

Any new construction should conform to the massing of the original structure respecting the height, volume, and scale of adjacent structures.

C. Roofs, Caps and Cornices.

New roof, cap and/or cornice design should replicate the style of roof and materials of the original structure.

D. Materials and Detail.

Any new construction should match the brick and sandstone of the existing building.

E. Windows and Doors.

Windows should relate to those of the existing building in terms of solid to opening ratios, distribution of window openings, and window setback from the wall surface. The proportion, size, and detailing of windows and doors in any new construction should restore the appearance of the original facade and relate to that of the existing building. Doublehung windows are traditional in the district and shall be encouraged for new construction. Window and door frames shall be wood, appropriately colored aluminum and/or vinyl clad materials.

IV. RESTORATION AND REHABILITATION

In general, the United States Secretary of the Interior's Recommended Standards for Historic Rehabilitation shall be followed (see Attachment A). In addition, the following standards shall be applied:

- A. Masonry and Walls.
 - 1. Original masonry and mortar shall be retained whenever possible without application of waterproofing, water repellent coatings or surface consolidation treatments unless these

treatments are absolutely required to solve a specific technical problem.

- 2. Where necessary, repair or replacement of deteriorated materials should be made with new material that duplicates the old as closely as possible.
- 3. To preserve the life of building materials, masonry should be cleaned only when necessary to halt deterioration or to remove graffiti and stains. The most gentle method shall be used, such as the use of low pressure water or approved chemical solutions.
- 4. The original or early color and texture treatment of masonry surfaces should be retained wherever possible.
- 5. When repointing, old mortar shall be duplicated in composition, color and texture and be duplicated in joint size, profile type, and method of application in order to preserve the original appearance. If laboratory analysis shows the composition characteristics of the original mortar to be unsuitable, mortar composition may be altered. If the mortar composition is to be altered, the appearance of the mortar shall duplicate the color and texture of the original mortar. Mortar shall be no more than 1 part in 8 Portland Cement.
- B. Roofs, Cornices and Details.
 - 1. The copper material of the existing roof should be matched when in need of repair and the existing patina matched to the extent possible. With respect to those portions of the roof not visible from street level, the manner of repair or replacement is less critical, however, new roofing materials should blend in with the existing building.
 - 2. All historic craftsmanship, detailing and decorative features that give the roof its essential character should be preserved or restored. Similar material shall be used to repair or replace deteriorating or missing architectural elements such as cornices, brackets, cupolas, chimneys, cresting, vanes, architectural ornamentation, gutters, downspouts, and railings wherever possible.
- C. Windows and Doors.
 - 1. Existing window and door openings shall be retained. Whenever possible, original windows and doors and their hardware shall be repaired for reuse.
 - 2. A missing or non-repairable original window or door should be replaced with a window or door that has an appropriate

profile and resembles the original and which is recessed to its original depth.

- 3. Replacement of windows and doors with new stock windows, sashes or doors shall not be allowed if they require alteration of the frame opening or if the size of the window panes, sash or door cause changes in the scale and original proportions of the building.
- 4. Infilling of window openings is generally not acceptable.
- 5. Plastic or metal awnings and fake shutters should not be allowed. Shutters are inappropriate for this building.
- 6. Heating and air conditioners should be installed in such a manner as to not damage window and door frames or require the removal of the original doors or windows. Window or door installation shall be considered only when all other viable heating and cooling systems installations will result in significant damage to historic materials.
- 7. Storm windows and doors should be selected to be compatible with the character of the building and shall not damage window and door frames or require the removal of the original windows or doors. Exterior storm windows should be appropriate in size and color and should be operable.
- 8. Lintels, sills, pediments, hoods and steps should be retained or repaired if possible. If repairing, the color and texture shall match existing colors and textures.

D. Interiors

- 1. Replacement and repair materials shall match as closely as possible to the materials used in floorings plaster trim work, metal castings and wood trim.
- 2. Marble and tile floorings should not be covered with carpeting or be replaced.
- 3. Original and custom finishes such as marbleizing shall be maintained and if damaged shall be refinished and replicated as closely as possible.

V. SIGNS AND ACCESSORIES

Signs shall be compatible with the character of the building. Signs should not conceal architectural detail, clutter the building's image, or distract from the unity of the facade.

- A. Materials: sign materials shall complement materials of the existing building. Surface design elements shall not distract from or conflict with the structure's age and/or design. Materials which are the same as those that were used for signage during the period of the building construction shall be encouraged. Newer materials and technologies such as extruded aluminum and plastics, internally lit cabinet signs, or backlit awning signs are not appropriate for the building.
- B. Type Styles: the type styles used to letter the signboard shall enhance the building's design and materials. Type styles should also be compatible with types from the period of the building's construction.
- C. Method of Attachment: painted signs may be permissible on glass windows and doors. The facade shall not be damaged in sign installation except for minor attachment. The method of attachment shall respect the structure's architectural integrity. The sign shall become an extension of the buildings architectural features wherever possible.
- D. Lighting: The location of exterior lights shall be appropriate to the individual structure. Subdued lighting is preferred. There shall be no flashing, blinking, moving or varying intensity lighting, fixtures shall relate to the historic period of the building's construction.

VI. DEMOLITION

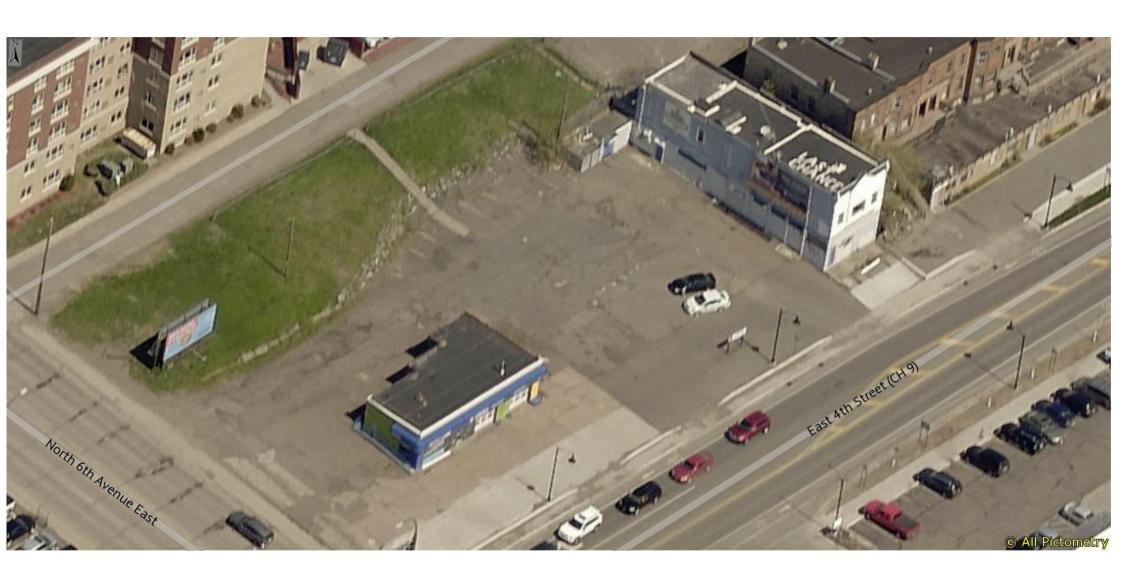
The Heritage Preservation Commission is charged with reviewing permit applications for demolition of structures under Duluth City Code, Chapter 28A, Article II, Sec. 28A-5; Duluth City Code, Chapter 10, Article II, Sec. 10.3; and Duluth City Code, Chapter 10, Article III, Sec. 10-4.

In general, demolition of the Duluth Public Library Heritage Preservation Landmark will be discouraged. In the event that a building is over 50% destroyed by fire or an act of God, demolition may be permitted.

Brewery Creek Apts



Brewery Creek Apts 2





VIEW OF MAIN ENTRY FROM SOUTHWEST







VIEW FROM SOUTHEAST





Planning & Development Division

Planning & Economic Development Department

Room 160 411 West First Street Duluth, Minnesota 55802



Date: April 5, 2021

To: Heritage Preservation Commission and Planning Commission

From: Steven Robertson, Senior Planner

RE: Proposed UDC Text Amendments Related to Historic Preservation

In coordination with the City Attorney's office, staff is reviewing UDC provisions associated with historic preservation. The current language in the UDC has standards relates to historic districts and historic landmarks. The language is intended to be applicable for locally designated historic landmarks and the two locally designated historic districts. To reduce ambiguity, staff recommend an amendment to the applicable UDC section to clarify that the intent of local historic preservation efforts and the work of the Heritage Preservation Commission is on locally designated landmarks and districts.

..Title

AN ORDINANCE AMENDING SECTIONS 50-18.3, 50-36.3, 50-37.14, 50-41.8 AND 50-41.12 RELATED TO HISTORIC PRESERVATION

..Body

CITY PROPOSAL:

The city of Duluth does ordain:

Section 1. That Section 50-18.3 of the Duluth City Code, 1959, as amended, be amended as follows:

50-18.3 Historic Resources Overlay (HR-O).

A. Purpose.

The purpose of this Section 50-18.3 is to preserve, protect and promote any areas, places, buildings, structures, lands, districts and other objects having a special historical, community or aesthetic interest or value through a process of local designation. The provisions of this section are not intended to apply to historic districts or landmarks designated under authority of federal or state law. The Historic Resources Overlay:

- 1. Safeguards the heritage of the city by preserving properties that reflect elements of the city's cultural, social, economic, political, engineering, visual or architectural history;
- 2. Protects and enhances the city's appeal and attraction to residents, visitors and tourists, while enhancing its economic viability through the protection and promotion of its unique character as related to its history and heritage;
- 3. Enhances the visual and aesthetic character, diversity and interest of the city;
- 4. Fosters civic pride in the beauty and notable accomplishments of the past;
- 5. Promotes the preservation and continued use of historic properties for the education and general welfare of the people of the city;

B. Designation of **local** historic resources.

- 1. Through the process for designating historic resources in Section 50-37.8, or its predecessor ordinance previously codified as Chapter 28A of the City Code, the heritage preservation commission has designated:
 - (a) Two <u>locally designed</u> historic preservation districts: the Duluth Civic Center Historic District, and the Duluth State Normal School Historic District, whose boundaries are shown on Exhibits 50-18.3-1 and 50-18.3-2; and
 - (b) Those <u>locally</u> designated historic preservation landmarks on file with the secretary of the planning commission;
- 2. The heritage preservation commission and planning commission may from time to time recommend, and the council may approve, additional <u>locally designated</u> historic preservation districts or <u>locally designated</u> landmarks pursuant to Section 50-37.8;

C. Review of construction/demolition activities.

Within those <u>locally</u> designated <u>local_</u>historic preservation districts shown on Exhibit 50-18.3-1 and <u>with</u> <u>regard to</u> those <u>locally designated</u> historic preservation landmarks on file with the secretary of the planning commission:

1. Construction and demolition activities, including all street and utility activities, shall be approved pursuant to Section 50-37.14;

- 2. The issuance of city permits to do any of the following shall be approved pursuant to Section 50-37.14:
 - (c) Remodel, repair or alter in any manner that will change the exterior appearance;
 - (d) New construction, including parking facilities;
 - (e) Move a building;
 - (f) Change the nature or appearance of a designated historic preservation landmark or district, including landscape features;
 - (g) Demolition in whole or in part;

D. Emergency repair.

In emergency situations where immediate repair is needed to protect the safety of the structure and its inhabitants, the building official may approve the repair of only those items needed to ensure safety. Such repairs shall be limited to those necessary to correct the safety emergency. In the case of a permit issued pursuant to this subsection D, the building official shall require that the repairs be made in conformance with the U.S. secretary of interior's recommended standards for heritage preservation projects and adopted historic preservation guidelines for the landmark or district to the extent possible. In addition, the building official shall immediately notify the historic preservation commission of the action and specify the facts or conditions constituting the emergency situation;

E. Building code enforcement.

This Section 50-18.3 is also intended to encourage the sensitive rehabilitation, restoration, stabilization and preservation of historic buildings throughout the city. These rehabilitation and preservation efforts should provide for the upgrading and maintenance of the safety features of the building or structure to provide a practical level of safety to the public and surrounding properties. While ensuring this increased level of public safety, the enforcement authorities are encouraged to be open to acceptable alternative solutions and alternative compliance concepts, where practical, that will permit the continued use of existing buildings and structures without creating overly restrictive financial burdens on owners or occupants. Nothing in this Section shall be construed to prevent the ordinary maintenance or repair of any exterior elements of any building or structure.

Section 2. That Section 50-36.3 of the Duluth City Code, 1959, as amended, be amended as follows:

50.36.3 Heritage preservation commission.

B. Creation.

Pursuant to Minnesota Statute 471.193, there is hereby created and established a city of Duluth heritage preservation commission, hereinafter called the "commission." The commission shall have the responsibility of recommending to the city council the adoption of ordinances designating areas, places, building structures, works of art or other objects having special historical, cultural or architectural interest for the community as historical preservation landmarks or districts;

C. Membership and terms.

The commission shall consist of seven voting members, all of whom are to be citizens of the city, five of whom will be appointed by the mayor with the approval of the council; one will be appointed by the county historical society, and one will be appointed by the planning commission. Members shall be persons who have demonstrated an interest in the historical, cultural or architectural development of the city or who own

property within a historic preservation district. At least two of the five members appointed by the mayor shall be preservation-related professionals;

Appointments shall be for a term of three years. In the event of a vacancy, the vacancy for the unexpired term shall be filled in the same manner as the appointment was originally made. Members shall serve without compensation and shall continue to hold office until their successors have been appointed and confirmed:

D. Powers.

The heritage preservation commission shall have the following powers:

- Recommendation of <u>locally designated</u> historic preservation <u>landmarks</u> and districts to the city council:
- 2. Approve, approve with conditions or deny applications for historic construction and demolition permits pursuant to Section 50-37.14;
- 3. Recommend historic preservation guidelines specific to a <u>locally designated historic preservation</u> landmark or <u>locally designated historic preservation</u> district;
- 4. Make an annual report to the state historic preservation officer by October 31 of each year;
- 5. Conduct continuing survey of all areas, places, buildings, structures or similar objects in the city that the commission, on the basis of information available or presented to it, has reason to believe are or will be eligible for designation as historic preservation landmarks or districts;
- 6. Work for the continuing education of the citizens of the city with respect to the historic and architectural heritage of the city and keep current and public an official list of designated historic preservation landmarks and districts;
- 7. The commission may retain the services, on a permanent or part-time basis, of technical experts and other persons as may be required to perform the commission's duties;
- 8. The commission shall have authority to solicit gifts and contributions to be made to the city and to assist in the preparation of applications for grant funds to be made to the city for the purpose of historic preservation;
- 9. The commission may recommend to the planning commission and council that certain properties eligible for designation as <u>locally designated</u> historic preservation landmarks or <u>locally designated</u> historic preservation districts be acquired by gift, by negotiation or other legal means;
- 10. Upon final designation of a locally designated historic preservation landmark or locally designated historic preservation district, adopt historic preservation guidelines specific to the landmark or district. Such guidelines shall detail allowable architectural and/or site modifications, essential features to be retained and any other criteria by which future proposals for modifications shall be judged. The United States secretary of the interior standards for treatment of historic properties shall be among the standards used to create such a program. These guidelines are intended to provide assurance to owners of properties within historic preservation landmarks or districts that any permit review process will be based on clear and objective standards rather than the taste of individual commission members;
- 11. The commission may nominate a historic preservation landmark or district to the national register of historic places, but only with the consent of the council.

Section 3. That Section 50-37.14 of the Duluth City Code, 1959, as amended, be amended as follows:

50-37.14 Historic construction/demolition permit.

This Section only applies to applications for construction or demolition within a locally designated historic preservation district or on a local historic property listed in Section 50-18.3 where the city must confirm whether the application complies with the standards in Section 50-18.3 and with all other applicable provisions of this Chapter and state law.

E. Application.

An application for a historic construction/demolition permit shall be filed pursuant to Section 50-37.1.B;

F. Procedure.

The application shall be reviewed by the heritage preservation commission. The commission shall conduct a public hearing pursuant to Section 50-37.1.I, with public notice as required by Section 50-37.1.H and make a decision to adopt, adopt with modifications, or deny the application based on the criteria in subsection C below;

G. Criteria.

The commission shall approve the application, or approve it with modifications, if the commission determines that the application complies with all applicable provisions of this Chapter and state law and that the work to be performed shall not adversely affect the historic preservation landmark or district based on adopted historic preservation guidelines.

Historic Construction / Demolition Permit



Section 4. That Section 50-41.8 of the Duluth City Code, 1959, as amended, be amended as follows:

50-41.8 Definitions: H

<u>Habitable room.</u> Any room used or intended to be used for sleeping, cooking, living or eating purposes, excluding such enclosed spaces as closets, pantries, bath or toilet facilities, service rooms, corridors, laundries, unfinished attics, foyers, storage space, utility rooms or similar spaces.

<u>Habitable unit.</u> Any habitable room or group of habitable rooms that provide sleeping facilities alone or in combination with required cooking, eating or living facilities.

<u>Hardship.</u> The property in question cannot be put to reasonable use under existing regulations and the plight of the landowner is due to circumstances unique to the property and not created by the landowner. Economic considerations alone shall not constitute a hardship.

<u>Hazardous waste.</u> Any refuse, sludge or other waste material or combinations of refuse, sludge or other waste material in solid, semisolid, liquid or contained gaseous form that because of its quality, concentration, or chemical, physical or infectious characteristics may:

- A. Cause or significantly contribute to an increase in mortality or an increase in serious irreversible or incapacitating reversible illness; or
- B. Pose a substantial present or potential hazard to human health or the environment when improperly treated, stored, transported, or disposed of, or otherwise managed. Categories of hazardous waste materials include, but are not limited to: explosives, flammables, oxidizers, poisons, irritants and corrosives. Hazardous waste does not include: source, special nuclear or by-product material as defined by the Atomic Energy Act of 1954, as amended.

<u>Height of building.</u> The vertical distance at the center of the principal front of a building, measured from the grade on that front to the highest point of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable or of a mean height level between eaves and hip or gambrel roof. <u>Height of tower or structure.</u> The vertical distance measured from the pre-existing grade level to the highest point on the tower or structure, even if said highest point is an antenna or lightening protection device.

<u>Height of wall or fence</u>. The vertical distance measured from finished grade on the highest side of the fence or wall to the top of the fence or wall.

<u>Historic preservation district.</u> A contiguous collection or group of lands, parcels, sites, structures, buildings or objects that is determined to be historically, culturally or architecturally significant as a whole and has been locally designated as a historic preservation district pursuant to Section 50-18.3 of this Chapter.

<u>Historic preservation guidelines.</u> The established criteria by which any proposed changes, including architectural or site modifications to a <u>locally</u> designated historic preservation district or <u>locally designated</u> historic landmark shall be judged.

Historic preservation landmark. Any individual property, parcel, place, building, structure, work of art or other object that has been determined to be historically, culturally or architecturally significant and has been locally designated as a local historic preservation landmark pursuant to Section 50-18.3 of this Chapter.

<u>Hosting platform.</u> Any entity, website, smartphone application or other intermediary used to facilitate reservations of vacation dwelling units, accessory vacation dwelling units, or accessory home shares within the city.

<u>Hotel or motel.</u> A building or series of buildings operated as a commercial establishment providing accommodations to the transient traveling public in habitable units for compensation, and including both short-stay and extended stay facilities, and that may offer customarily incidental services. A hotel must have a minimum of five separate habitable units, and must have a reception desk staffed at all times. <u>Hospital.</u> An institution or place where sick or injured in-patients are given medical or surgical care, at either public or private expense, but excluding a nursing home and excluding institutions where persons suffering from permanent types of illness, injury, deformity or deficiency or age are given care and treatment on a prolonged or permanent basis.

<u>Section 5. That Section 50-41.12 of the Duluth City Code, 1959, as amended, be amended as follows:</u>

50-41.12. **Definitions:** L.

Land development. A human-made change to, or construction on, the land surface that changes its runoff characteristics.

Land disturbing activity. Land change that may result in soil erosion from water or wind and the movement of sediments into or upon waters or lands of or downstream of the city, including clearing, grading, excavating, transporting and filling of land. Land disturbing activity does not include:

- A. Minor land disturbing activities such as home gardens and individual home landscaping, repairs and maintenance work;
- B. Construction, installation and maintenance of electric, telephone and cable television utility lines or individual service connection to these utilities;
- C. Installation of septic tank lines or drainage fields unless included in an overall plan for a land disturbance activity relating to construction of a building to be served by the septic tank system;
 - D. Tilling, planting or harvesting of agricultural, horticultural or silviculture crops;
 - E. Installation of fence, sign, telephone and electric poles and other kinds of posts or poles;
- F. Emergency work to protect life, limb or property and emergency repairs, except if the land disturbing activity would have required an approved erosion and sediment control plan except for the emergency, then the land area disturbed shall be shaped and stabilized in accordance with the requirements of Section 50-18.1.E.

Landing area. The area of the airport used for the landing, taking off, or taxiing of aircraft.

Land owner. The legal or beneficial owner of land, including those holding the right to purchase or lease the land, or any other person holding proprietary rights in the land.

Landscape plan. An accurate scale drawing that indicates the major natural features of a site and all proposed buildings, structures and site improvements in sufficient detail to allow the evaluation of impacts on natural systems and other aspects of the development.

Laundromat. An establishment providing home type (large institutional or commercial type) washing, drying or ironing machines for use on the premises.

Link. For purposes of the connectivity index described in Section 50-23.3, links are stretches of road that connect "nodes" as defined below. Street stub-outs are considered as links, but temporary deadend streets internal to a development, private streets in gated sections or alleys shall not be counted as links. Every road segment that connects a node in the development to the external street network shall be counted as a link in the index calculation.

Loading space. A space within the principal building or on the same lot as the principal, providing for the off street standing, loading or unloading of trucks and trailers.

Locally designated historic preservation district. A contiguous collection or group of lands, parcels, sites, structures, buildings or objects that have been locally determined to be historically, culturally or architecturally significant as a whole and has been locally designated as a historic preservation district pursuant to Section 50-18.3 of this Chapter.

Locally designed historic preservation landmark. Any individual property, parcel, place, building, structure, work of art or other object that has been locally determined to be historically, culturally or architecturally significant and has been locally designated as a local historic preservation landmark pursuant to Section 50-18.3 of this Chapter

Local watershed. All the water that drains to a natural waterway located primarily within the city.

Lot. Land occupied or intended for occupancy by a use permitted in this Chapter, including one main building together with its accessory buildings, and the yards and parking spaces required by this Chapter, and having its principal frontage upon a street or upon an officially approved place. For the purposes of this Chapter, the term "lot" may include two or more lots of record that are contiguous or separated only by a public easement not exceeding 25 feet in width, are owned by the same owner and where none of the parcels can be severed or legally sold, conveyed or used without the other parcels by virtues of a legally binding agreement that runs with the land and is recorded in the office of the county recorder. If at any time any parcel that had been recognized as part of any lot by reason of such proximity, ownership and agreement are severed, legally sold, conveyed or used separately from the other parcel or

parcels making up said lot, the parcel so severed, legally sold, conveyed or used shall henceforth not be considered part of the lot, any uses relying on its status as part of the lot shall become nonconforming and the provision of Section 50-39 shall not be applicable to any such use.

Lot, corner. A lot abutting upon two or more streets at their intersection.

Lot, double frontage. A lot having a frontage on two streets as distinguished from a corner lot.

Lot, flag. A lot so shaped and designed that the main building site is setback from the street and that portion of the lot providing access has a width less than 25 percent of the lot width at its greatest point.

Lot, front. The area of a lot that abuts a public street is the front of the lot. For corner lots, the shortest side fronting upon a street shall be considered the front of the lot unless structures exist on the lot. In that case, the frontage shall be established by the orientation of the buildings, or of the principle entrance if building orientation does not clearly indicate lot frontage. For corner lots, where no other method determines conclusively the front of a lot, the city engineer shall select one frontage on the basis of traffic flow on adjacent streets, so that the lot is considered to front on the street with the greatest traffic flow.

Lot frontage. Frontage shall be the dimension of the lot line at the street, except where the lot line at the street is not straight, in which case the frontage shall be the dimension across the lot at the required front yard line.

Lot of record. A parcel of land that is part of a subdivision, the map of which has been recorded by the county recorder or a parcel of land described by metes and bounds the description of which has been recorded by the county recorder.

Lots on the block face. When a dimensional standard is calculated based on a dimension measured for "lots on the block face" the measurement shall apply only to (a) developed lots on the same side of the street between the next two intervening side streets, and (b) lots that face developed streets (not to streets shown on a plat or map that have not been constructed). For purposes of this measurement, all contiguous lots in common ownership shall be considered as a single lot (not as separate platted lots).

Low density residential lot. A single lot located in an area that is zoned for one-family or two-family residences and in which the predominant land use is such type of residences.

Low density residential structure. A one-family or two-family home.

Lowest floor. The lowermost floor of the lowest enclosed area, including basement and crawl space.

Section 6. That this ordinance shall be effective thirty (30) days after its passage and publication.

STATEMENT OF PURPOSE:

				Date of Duluth Historic Preservation Landmarks & Districts
File #	Ord. #	Name of Property	Address of Property	Designation
90131	9040	Duluth Public Library	101 W. 2nd St.	11/2/1991
90132	9041	Masonic Temple Building	203 E. Superior St.	11/2/1991
90194	9042	Duluth State Normal School Historic District	5th St. b/t 22nd & 23rd Ave. E.	11/2/1991
92087	9124	Duluth Union Depot	506 W. Michigan St.	4/11/1993
92089	9125	Aerial Lift Bridge	Lake Ave. S. @ Ship Canal	4/11/1993
92133	9126	Irving School	101 N. 56th Ave W.	4/11/1993
92088	9127	Duluth Central High School	Lake Ave. & 2nd St.	4/11/1993
93006	9261	Former Minnesota Point Lighthouse	Eastern Tip of MN Point	8/27/1995
92193	9262	Duluth Civic Center District (Courthouse, Jail, City Hall, Federal Building)	W. 1st St. @ 5th Ave W.	8/27/1995
95019	9263	Former Sacred Heart Cathedral	201 W. 4th St.	8/27/1995
95148	9288	Former Lincoln Library	2229 W. 2nd St.	1/28/1996
96025	9299	Harry C. & Marjory Congdon Dudley Residence	3600 London Rd.	6/9/1996
98024	9331	Former City Hall	132 E. Superior St.	7/6/1997
99083	9332	Former City Police Station	126 E. Superior St.	7/6/1997
98102	9417	Former Lester Park Branch Library	106 N. 54th Ave E.	9/5/1999
98103	9418	Former Woodland Branch Library	3732 Woodland Ave.	9/5/1999
97073	9469	Killorin Residence	2708 Branch St.	1/7/2001
05016	9828	Alfred and Jane McCordic Residence (Immigrant House Bed and Breakfast)	2104 E. Superior St.	6/3/2007
05034	9997	George H. and Charlotte S. Crosby House	2029 E. Superior St.	11/1/2009
09063	10029	Weston-Tiffany Greysolon Du Lhut Window	·	6/27/2010
09063	10030	Weston-Tiffany Minnehaha Window		6/27/2010
10116	10057	John J. Astor Park, A/K/A Historical Park	133rd Ave. W. & 2nd St.	11/28/2010
13-123	10276	Former Chester Park United Methodist Church	819 N. 18th Ave. E.	1/27/2014
14-030	10299	Clayton Jackson McGhie Memorial	31 N. 2nd Ave. E.	7/16/2014
15-175	10440	Former St. Peter's Church	810 W. 3rd St.	3/14/2016
17-074		Duluth Womens Club	2400 East Superior Street	8/28/2017
17-133		Lincoln Park Pavillion	501 North 25th Ave West	9/25/2017
17-176		Leif Erickson Stage in Leif Erickson Park	12th Ave East and London Rd	2/26/2018
18-007		Lake Superior and Mississippi Railroad		71/5/2019

Listed Properties on the National Registry of Historic Places, Updated Feb 10 2015

Reference	City	Resource	Address	Listed
Number		Name		Date
71001028	3 Duluth	Duluth Union Depot	5th Ave., W. and Michigan St.	19711209
72001488	3 Duluth	Duluth Central High School	Lake Ave. and 2nd St.	19721109
73002174	l Duluth	Aerial Lift Bridge	Lake Ave.	19730522
74002206	Duluth	Minnesota Point Lighthouse	On Minnesota Point	19741227
75002091	Duluth	Traphagen, Oliver G., House	1509-1511 E. Superior St.	19750404
75002088	3 Duluth	Duluth Missabe and Iron Range Depot (Endion)	200 Lake Place Dr.	19750416
75002090) Duluth	Kitchi Gammi Club	831 E. Superior St.	19750416
75002089	Duluth	Engine House No. 1	101 East Third St.	19750512
76002175	Duluth	Moe, Bergetta, Bakery	716 E. Superior St.	19760603
76002176	Duluth	Munger Terrace	405 Mesabi Ave.	19761212
78003125	Duluth	Duluth Public Library	101 W. 2nd St.	19780505
78003126	Duluth	US Fisheries Station, Duluth	6008 London Rd.	19781128
80004341	Duluth	Chester Terrace	12101232 E. 1st St.	19801119
83000946	Duluth	Endion School	1801 E. 1st St.	19830210
83000945	Duluth	Duluth South Breakwater Inner (Duluth Range Rear) Lighthouse	S Breakwater	19830804
84001690) Duluth	Fitger Brewing Company	600 E. Superior St.	19840209
85001999	Duluth	DeWitt-Seitz Building	394 Lake Ave., S.	19850905
85002757	Duluth	Duluth State Normal School Historic District	E. Fifth St.	19851108
86001382	2 Duluth	Sacred Heart Cathedral and Cathedral School	206 and 211 W. Fourth St.	19860626
86003097	Duluth	Duluth Civic Center Historic District	Fifth Ave. W and First St.	19861106
89000858	3 Duluth	WILLIAM A. IRVIN (freighter)	Minnesota Slip, Duluth Harbor	19890713
89001826	Duluth	Bridge No. L6007	Skyline Pkwy. over Stewart Creek	19891106
89002127	Duluth	Hartley Building	740 E. Superior St.	19891215
91000439	Duluth	St. Mark's African Methodist Episcopal Church	530 N. 5th Ave. E.	19910416
91000896	Duluth	Wirth Building	13 W. Superior St.	19910725
91001057	Duluth	Congdon, Chester and Clara, Estate	3300 London Rd.	19910815
92000844	Duluth	THOMAS WILSON (Whaleback Freighter) Shipwreck	Address Restricted	19920723
92001611	Duluth	Irving School	101 N. 56th Ave. W.	19921120
94000342	Duluth	USS ESSEX Shipwreck Site	Address Restricted	19940414
95001163	B Duluth	United States Army Corps of Engineers Duluth Vessel Yard	Jct. of Ninth St., S. and Minnesota Ave.	19951023

98000720 Duluth	Bridge No. 5757	MN 23 over Mission Cr.	19980626
02000934 Duluth	Lester River BridgeBridge No. 5772	London Rd. over the Lester R.	20020906
05000446 Duluth	Sacred Heart Cathedral, Sacred Heart School and Christian Brothers (Bou	n 315 N 2nd Ave. W	20050519
06000455 Duluth	Duluth Commercial Historic District	Superior and 1st bet. 4th Ave. W and 4th Ave. E	20060531
11000324 Duluth	Duluth Armory	1301-1305 London Rd.	20110601
11000325 Duluth	YWCA of Duluth	202 W. 2nd St.	20110601
11001040 Duluth	Engine House No. 1 (Boundary Increase and Additional Documentation)	101 E. 3rd St.	20120120
12001175 Duluth	Lincoln Branch Library	2229 W. 2nd St.	20130114
16000873 Duluth	Bridge No. L8515	Lewis Street over Tischer Creek	20161220
01600872 Duluth	Bridge No. L6113	4th Street over Tischer Creek	20161220